

**CHAPTER 11**  
**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS**  
**CHAPTER 553, PART V, FLORIDA STATUTES**  
**August 1999**

***NOTICE TO WAIVER APPLICANTS***

Please make certain you comply with the following:

- The person submitting the waiver request application as the Applicant **MUST** sign the application. Should you fail to do so, your application will be returned.
- If a licensed design professional (architect or engineer) has designed the project, his or her comments **MUST** be included as a part of this application.
- Be as explicit as possible. The more information provided to the Florida Building Commission, the more informed its decisions can be. If you are claiming financial hardship, please specify why and to what degree.
- If at all possible, **PLAN TO ATTEND** the Accessibility Advisory Council and the Florida Building Commission meetings. Sometimes pertinent facts are inadvertently omitted, or information provided/presented in the Request for Waiver application is not clear. Your attendance at the meetings to answer questions will enhance the possibility of the waiver being approved, since the Council and the Commission will receive the most complete information - from you. When we receive the completed application, we will send you a notice of the time, date, and place for both the Council and the Commission meetings.

Enclosed are: a **Checklist for Use by the Applicant**, a **List of Required Information**, the **Request for Waiver** application, and a copy of the administrative rule governing the Florida Building Commission procedures for reviewing requests for waivers from accessibility requirements.

If you have questions or would like additional information, please call the Codes and Standards Office at (850) 487-1824.

This application is available in electronic format at:  
[http://www.dca.state.fl.us/fhcd/fbc/access\\_waiver/waiverap.htm](http://www.dca.state.fl.us/fhcd/fbc/access_waiver/waiverap.htm).

Department of Community Affairs  
**FLORIDA BUILDING COMMISSION**  
555 Shumard Oak Boulevard  
Tallahassee, Florida 32399-2100

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[http://www.dca.state.fl.us/fhcd/fbc/access\\_waiver/waiverap.htm](http://www.dca.state.fl.us/fhcd/fbc/access_waiver/waiverap.htm).

**Please mail this application to the Department of Community Affairs at the address above. As well as a hard copy, please include a copy of the application (without drawings or plans) on a 3.5 floppy disk in PC format.**

This application is available in alternate formats upon request.

#### **LIST OF REQUIRED INFORMATION:**

1.  Drawings that will clearly present your project and that identify the issue(s) that relate to the waiver you are requesting. As a minimum, the following drawings must be submitted:

a. Project site plan



b. 24" x 36" minimum size drawings

c. Building/project sections (if necessary to assist in understanding the waiver request)

d. Enlarged floor plan(s) of the area in question

2.  One set of reduced scale (11" x 17") versions of the drawings submitted in item one above.

3. <sup>POWER</sup>  
POINT One set of overhead transparencies (8-1/2" x 11") of the drawings submitted in item one above. When numerous features are shown on the drawings, please designate the location of the waiver items by highlighting or outlining in color the affected areas.

4.  When substantial financial cost of compliance is alleged, supporting cost estimates with quotes from at least two vendors or contractors and catalog information.

5. <sup>POWER</sup>  
POINT If you feel photographs and/or renderings are necessary for your presentation, provide 40 legible color photocopies of the photographs and/or renderings. If color photocopies of photographs are provided, use a minimum size of 4" x 6" photographs with a maximum of two photographs per photocopied page.

6.  Please submit a hard copy of this application to the Department of Community Affairs, as well as a copy of the application on a 3.5 floppy disk in PC format. PLEASE NOTE: Do not submit drawings or plans on the disk.

**General Information:**

a. **Equipment:** An overhead projector is provided at the presentation; any other equipment necessary for your presentation, such as TV/VCR, slide or LCD projectors, etc., is the responsibility of the applicant.

b. **Verbal Descriptions:** Presentations may be to sight or hearing impaired persons; visual presentations should consider adequate verbal and text descriptions of charts and pictures.

Your application will be reviewed by the Accessibility Advisory Council. You will have the opportunity to answer questions and/or make a short presentation **not to exceed 15 minutes**. The Council will provide recommendations to the Florida Building Commission. The Commission will review the application. You will have another opportunity to answer questions and/or give a short presentation **not to exceed 15 minutes**. The Commission will consider all information and the Council's recommendation before voting on the waiver.

This application is available in alternate formats upon request.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS  
CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

**1. Name and address of project for which the waiver is requested.**

Name: PUT GOD 1<sup>st</sup> INVEST, Inc.

Address: 919 4<sup>th</sup> STREET

MIAMI FL 33139

**2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:**

Applicant's Name: SAME AS BELOW

Applicant's Address: \_\_\_\_\_

Applicant's Telephone: 305-970-8881 FAX 954-923-8881

Applicant's E-mail Address: jking@civildaddeng.com


Relationship to Owner: CONTRACTOR/ENGINEER

Owner's Name PUT GOD 1<sup>st</sup> INVEST, Inc.

Owner's Address: 919 4<sup>th</sup> STREET

Owner's Telephone: (305)-535 7595 FAX N/A

Owner's E-mail Address: N/A

  
Signature of Owner:

Contact Person: John King

Contact Person's Telephone: (305)- 970-8881 E-mail Address: jking@civildaddeng.com

This application is available in alternate formats upon request.  
Form No. 2001-01



**3. Please check one of the following:**

- New construction.
- Addition to a building or facility.
- Alteration to an existing building or facility.
- Historical preservation (addition).
- Historical preservation (alteration).

**4. Type of Facility.** Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

This is a one-story split-level 1,135 square feet historical building. Office and recording studio are the main functions of the building.

**5. Project Construction Cost (Provide cost for new construction, the addition or the alteration):**

~~\$59,049.00~~ \$159,049.50

**6. Project Status:** Please check the phase of construction that best describes your project at the time of this application. Describe status.

- Under Design  Under Construction\*
- In Plan Review  Completed\*

\* Briefly explain why the request has now been referred to the Commission.

No major alteration will be made to the exterior "Façade" of the building. It is anticipated that the main elevation will be modified with the installation of a door and mechanical lift to provide disable access to the building.

**7. Requirements requested to be waived.** Please reference the applicable section of the Florida law. Only Florida-specific accessibility requirements may be waived.

**Issue**

1: Per Florida Building Code Sec 11-4.1.7(3) Historical Preservation. At least one accessible route complying with section 11-4.3 from a site access point to an accessible entrance shall be provided.

Response: To preserve the architecture of the building, a public access has been provided on the West side of the building via a ramp designed in accordance with the Florida Building Code Chapter 11. This will eliminate the use of a Platform lift at the main elevation which would alter the architecture of the main elevation.

#### Issue

2: Per Florida Building Code Sec 11-4.1.6 (3) (g) Platform lift should be provided as part of the accessible route.

Response: The presence of split levels along the accessible route inside the building requires the use of platform lift in places where supporting walls might need to be removed to provide an opening for the installation of the lift. This will compromise the integrity of the structure of the building.

**8. Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

The use of the Platforms a minimum of two (2) would increase the cost of remodeling which can be prevented by the construction of an accessible ramp providing access to the general public (RECEPTION). A Restroom is provided for Disabled use accessible without the use of a Platform lift.

Substantial financial costs will be incurred by the owner if the waiver is denied.

The installation of the Platform lifts not only will increase the remodeling cost but also will generate additional cost for operation and maintenance.

The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

SEE COSTS EST.

**9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.**

a. SEE ATTACHMENTS



b. \_\_\_\_\_

c. \_\_\_\_\_

✓ **10. Licensed Design Professional:** Where a design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

FULTON J. SALAZAR ARCHITECT

357. HIALEAH DR HIALEAH, FL  
305 888-5682

F. J. Salazar  
2/2/13

Signature Printed Name

Phone Number (305) 888-5682.

(SEAL)

**CERTIFICATION OF APPLICANT:**

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to be the best of my knowledge true and correct.

Dated this 2 day of FEB, 20 13

Fulton J. Salazar  
Signature

Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the

permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under [Section 775.083](#), Florida Statutes.

**REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.**

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The building official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The building official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_

Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

Yes  No Cost of Construction \_\_\_\_\_

**Comments/Recommendation**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Jurisdiction

\_\_\_\_\_

Building Official or Designee \_\_\_\_\_

Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Certification Number

\_\_\_\_\_



Telephone/FAX

Address

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**Form No.: 2001-02, Page 1 of 2 Certification of Licensed Design Professional for Replicated Designs to be Placed on Consent Agenda**

NOTE: This form is to be used only for cases in which design documents are duplicates of previously approved waivers and the project can be placed on a Consent Agenda pursuant to Rule 9B-7.003(3), Florida Administrative Code.

I, FULTON SALAZAR, a licensed architect/engineer in the state of Florida, whose Florida license number is 26000809, hereby state as follows:

1. I am the architect/engineer of record for the project known as (name of project) FUT GOD 1<sup>ST</sup> INVEST, INC, for which the Owner seeks a waiver of one or more accessibility requirements in an application to which this Certification is attached.

2. I hereby certify that to the best of my knowledge and belief to the Florida Building Commission that the design documents for the (insert project described in paragraph 1 above) \_\_\_\_\_ are the same as the design documents previously submitted to the Commission and referenced in paragraph 3 below, except that the two projects are built or to be built on different parcels of land at different locations.

3. The licensed design professional of record (identify the licensed design professional of record), \_\_\_\_\_, prepared the design documents for the project known as

\_\_\_\_\_, for which the majority of the Accessibility Advisory Council recommended approval and the Commission granted a waiver of one or more accessibility requirements in Final Order No. \_\_\_\_\_.

Printed Name: \_\_\_\_\_ Affix certification seal below:

Address: \_\_\_\_\_

\_\_\_\_\_

CITY OF MIAMI BEACH  
BUILDING DEPARTMENT

PLANS PROCESSING APPROVALS

01-03-2013

ACTIVITY NUMBER: B1003431

SITE ADDRESS: 919 4TH ST MBCH

LIST OF APPROVALS:

Item: 00001 Zoning Section

06/14/2010 JS Action: DN please drop off for review. please provide color photographs of the entire building. at the time of planning approval please provide the completed staff level review form and \$50.00 fee

06/16/2010 JGM Action: DN Is this a change of use or ADA improvements to an existing licensed recording studio? Research shows violation for operating without a license from 2004.

Please clarify scope of work, if exterior work is included please include color photos of the proposed areas of work including doors, windows, ramps...etc..

Upon approval please provide the completed staff level review form and corresponding fee based on exterior work.

A concurrency form has been submitted to RGL for a change of use from SFR to 1135sf recording studio.

10/13/2010 IV Action: DN Please drop off for further review.

01/21/2011 JGM Action: DN Please note that the change of use triggers the requirement for the nonconformity of the substandard parcel size (it is 4,000sf in area where 6,000sf of area is required in the CPS2 district) to be legalized. This is done through the variance process gaining approval from the Board of

Adjustment. Please coordinate a meeting with Diana Rio and Richard Lorber at your earliest convenience to discuss your application.

The following are outstanding zoning issues to be addressed:

A concurrency determination for the change of use from residential (sfr) to office (recording studio) for 1135sf.

Supply ample color photos of all exterior areas, including the elevations of the building. Please

elaborate what the "x"s are identified with an accessibility logo--are they lifts?

Clarify if demolition is proposed along the front facade from a window opening to a door- NOTE if so, this will not be approvable at staff level.

Please modify site plan to include the property lines, setback distances to property lines, remove unnecessary hatching and grassing which confuses the drawing, demonstrate clearly the where the ramp is and where the landings are, and where the railings are. Show dimensions of proposed paving.

Show detail of front railing.

Front elevation does not show proposed railing or proposed "lift".

These comments are not exhaustive, and additional comments and concerns may arise.

06/19/2011 JGM Action: DN Please note that the change of use triggers the requirement for the nonconformity of the substandard parcel size (it is 4,000sf in area where 6,000sf of area is required in the CPS2 district) to be legalized. This is done through the variance process gaining approval from the Board of

Adjustment. Please coordinate a meeting with Diana Rio and Richard Lorber at your earliest convenience to discuss your application.

The following are outstanding zoning issues to be addressed:

A concurrency determination for the change of use from residential (sfr) to office (recording studio) for 1135sf: Preliminary figures are: Concurrency fee of \$1,524.15 and admin fee of \$275.

Demolition of front facade may not be approvable at staff level and will need Historic Preservation Board approval.

Site plans are still insufficient, sheets A1 and A2 do not show entire site and property lines. Please

modify site plan to include the property lines, setback distances to property lines, remove unnecessary hatching and grassing which confuses the drawing, demonstrate clearly the where the ramp is and where the landings are, and where the railings are. Show dimensions of proposed paving.



CITY OF MIAMI BEACH  
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Show detail of front railing-the proposed exterior handrails cannot be approved as designed, please provide a handrail and accessibility rail that contain a "flat" profile not a tubular design and return rail must return to ground.

These comments are not exhaustive, and additional comments and concerns may arise.

06/21/2012 JGM Action: INFO JGM pick up JOB and OFFICE copy and assign to JGM

06/22/2012 JGM Action: DN ADA accessibility features that require demolition will not be approved.

Applicant is seeking waiver from state to not require lifts and ramps.

11/29/2012 JGM Action: DN Demolition of front facade may not be approvable at staff level and will need Historic Preservation Board approval for installation of accessibility of features (lift, ramp, handrails).

Contact Debbie Tackett ext 6467 to discuss application options.

Item: 00002 Building/Accessibility Section

06/14/2010 ju Action: AP change of use requires drop off

06/18/2010 ju Action: CO - indicate method of obtaining vertical accessibility to all areas

- provide details and elevations of ADA compliant restroom

10/13/2010 MI Action: CO -Same comment above.

01/04/2011 mra Action: CO Regular drop-off

01/14/2011 mra Action: CO B1003431

1. Attach OWNER/QUALIFIER/CONTRACTOR Estimate Construction Cost Affidavit

2. State that code in effect is FLORIDA BUILDING CODE, EXISTING 2007

3. Provide a wall legend. Show new walls layout dimensions

4. Correct floor elevations or stair risers the don't match

5. Coordinate civil drawings with architectural drawings

6. Show existing doors dimensions. Minimum door dimension 36" wide

7. Where is door #3?

8. Check the common path of travel. Must be 75 feet maximum. No diagonal travel path.

9. Handrails to comply with FBC 1012 (Show compliance with details). Provide handrails to both sides of stairs

10.-Provide vertical accessibility to each level, or obtain a waiver from the FBC (see instructions to file for waiver at the end of FBC section 11 Part A),

11.-Show the accessible route from street sidewalk to building entrance. Forward slope not less than 1:20 and cross slope not more than 2%

12.-Attach lift specifications.

13.-Lift on grass area??

14.-Show how far the new sidewalk goes.

15.-Provide 36"min between planter and edge of sidewalk.

16.-Coordinate Bathroom #3. On floor plan does not show a shower. Show bathroom dimensions and fixture clear floor space.

17.-New fixtures in bathroom #1 must be accessible. Show compliance.

These comments are provided as a courtesy to the applicant and are not guaranteed to address every single detail of non-compliance. It is the responsibility of the design professional to use these comments as a guide to thoroughly review the plans for items in need of correction.

06/08/2011 mra Action: CO Most comments not addressed. Please make an appointment with a Building plan reviewer for explanation of comments.

01/03/2012 RAJ Action: INFO INFO: Need to show new drinking fountain on A sheets.

06/29/2012 mra Action: CO B1003431

\*4.-Correct floor elevations or stair risers the don't match. \*NOT DONE

\*5.-Coordinate civil drawings with architectural drawings. \*NOT DONE .

\*9.-Handrails to comply with FBC 1012 (Show compliance with details). Provide handrails to both sides of stairs.

\*COORDINATE FLOOR PLAN (A-1) AND A-3

CITY OF MIAMI BEACH  
BUILDING DEPARTMENT

PLANS PROCESSING APPROVALS

01-03-2013

ACTIVITY NUMBER: B1003431

SITE ADDRESS: 919 4TH ST MBCH

\*10.-Provide vertical accessibility to each level, or obtain a waiver from the FBC (see instructions to file for waiver at the end of FBC section 11 Part A),\*ACCORDING TO CIVIL DRAWINGS THE THERE IS A CHANGE OF ELEVATION BETWEEN RECEPTION AND OUTSIDE SIDEWALK, ALSO THERE IS A CHANGE OF ELEVATION 06" BETWEEN WAITING AREA AND OFFICE

\*11.-Show the accessible route from street sidewalk to building entrance. Forward slope not less than

1:20 and cross slope not more than 2%. \*NOT DONE

\*14.-Show how far the new sidewalk goes.

\*15.-Provide 36" min between planter and edge of sidewalk. \*NOT DONE ON A-2

\*16.-Coordinate Bathroom #3. On floor plan does not show a shower. Show bathroom dimensions and fixture clear floor space. \*SEE ELEVATION ON A-1

\*17.-New fixtures in bathroom #1 must be accessible. Show compliance. \*NOT DONE

18.-Show a hi-lo drinking fountain details

11/30/2012 mra Action: CO B1003431

\*\*4.-Correct floor elevations or stair risers the don't match. \*\*NOT DONE

\*\*5.-Coordinate civil drawings with architectural drawings. \*NOT DONE .

\*\*9.-Handrails to comply with FBC 1012 (Show compliance with details). Provide handrails to both sides of stairs.

\*COORDINATE FLOOR PLAN (A-1) AND A-3. \*NOT DONE

\*\*10.-Provide vertical accessibility to each level, or obtain a waiver from the FBC (see instructions to file for waiver at the end of FBC section 11 Part A),\*ACCORDING TO CIVIL DRAWINGS THE THERE IS A CHANGE OF ELEVATION BETWEEN RECEPTION AND OUTSIDE SIDEWALK, ALSO THERE IS A CHANGE OF ELEVATION 06" BETWEEN WAITING AREA AND OFFICE.

\*NOT DONE

\*\*11.-Show the accessible route from street sidewalk to building entrance. Forward slope not less than 1:20 and cross slope not more than 2%. \*\*NOT DONE .

\*\*15.-Provide 36" min between planter and edge of sidewalk. \*\*NOT DONE ON A-2

\*\*16.-Coordinate Bathroom #3. On floor plan does not show a shower. Show bathroom dimensions and fixture clear floor space. \*SEE ELEVATION ON A-1. \*\*NOT DONE

\*\*17.-New fixtures in bathroom #1 must be accessible. Show compliance. \*\*NOT DONE

\*18.-Show a hi-lo drinking fountain details. \*NOT DONE

Item: 00070 Structural

06/14/2010 AV Action: DN 1. Verify if existing floor deck is structural made out of wood framing and if this is the case show existing framing and provide calculations. If existing floor is a slab on grade, please add information on plans.

2. Provide calculations for railing system. Provide post anchorage detail as per calculations.

10/13/2010 WS Action: DN Comments dated 6/14/2010 are not addressed

3. Submit written reply to previous comments

05/31/2011 AV Action: AP

01/03/2012 AV Action: AP resign

06/27/2012 AV Action: AP resign

Item: 00075 Valuation Verification

06/04/2012 GS Action: AP n/a will be done by Governmental compliance only

Item: 00003 Electrical Section

06/14/2010 em Action: CO b1003431

1. must provide all existing outlet and fixture layout.

2. must remove note referencing south florida building code.

3. must provide a scope of work.

[3APPRV]



CITY OF MIAMI BEACH  
BUILDING DEPARTMENT

PLANS PROCESSING APPROVALS

01-03-2013

ACTIVITY NUMBER: B1003431

SITE ADDRESS: 919 4TH ST MBCH

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4. must provide detailed riser diagram of the service
  5. must identified all existing circuit and new circuits
  6. must provide new panel schedule
  7. must provide AFCI protection as per NEC 210.12 for all new circuits
  8. all new smoke detector must be AFCI protected as per NEC 210.12

10/13/2010 em Action: CO b1003431

1. Plans must have sufficient clarity for the scope of work to be discernible. FBC Building 106.1.1.
2. Remove all references to the south Florida Building Code (SFBC). The code in effect is the Florida Building Code, 2009 (FBC).

3. These comments are provide as a courtesy and are not guaranteed to address every detail of non-compliance. It is the responsibility of the design professional. Using these comments as a guide, to thoroughly review the plans for items in need of correction.

01/04/2011 em Action: CO b1003431

1. Remove all references to the south Florida Building Code (SFBC). The code in effect is the Florida Building Code, 2009 (FBC). sheet E2.

05/31/2011 em Action: AP

01/03/2012 em Action: AP

06/25/2012 RM Action: AP B1003431

previously ap.

Item: 00005 Mechanical Section

06/14/2010 lfm Action: AP

05/31/2011 pq Action: AP Provide o/a calculations based on occupant load, as per ASHRAE 62.1

01/03/2012 lfm Action: AP

06/19/2012 lfm Action: CO B1003431

- 1 - Need to provide a new mechanical plan and sizing load calculation for change of use

06/27/2012 PQ Action: AP Spoke to Fulton Salazar AIA. Discussed the o/a requirements for the space.

Mr. Salazar asked me to note on plans that o/a would be provided by openable windows (natural ventilation). Bath exhausts to be provided.

Item: 00004 Plumbing Section

06/14/2010 RAJ Action: CO B1003431

-Clarify scope of plumbing work -existing kitchen fixtures to be removed and capped off?

-Provide drinking fountain as per FBC Plb 403.1.

-Provide dwv and water piping details for relocated fixtures.

-Provide general plumbing notes.

10/13/2010 RAJ Action: CO B1003431

-Provide sanitary isometric for new and relocated fixtures -include connections to existing system.

-F-1 -Provide fixture and faucet compliance with max. water consumption rates as per Miami Dade ord. 08-14.

-F-1 -Provide fixture compliance with referenced standards as per FBC Plb 406 through 421.

01/04/2011 RAJ Action: CO B1003431

-F-1 -Correct fixture and faucet to comply with max. water consumption rates as per Miami Dade ord. 08-14.

05/31/2011 RAJ Action: AP

01/03/2012 RAJ Action: CO B1003431

-Need to show new drinking fountain on A sheets.

06/26/2012 JZ Action: AP Corercted.

**CITY OF MIAMI BEACH  
BUILDING DEPARTMENT**

**PLANS PROCESSING APPROVALS**

**01-03-2013**

**ACTIVITY NUMBER: B1003431**

**SITE ADDRESS: 919 4TH ST MBCH**

Item: 00007 Engineering Section

06/14/2010 cef Action: CO Change of Use from SFR to Business Music Studio "Slip N' Slide"

- Base Flood Elevation is 8'00 NGVD
- Building Value as per Miami-Dade County Property Tax Appraisal is \$84,348.00
- Valuation of proposed project (\$50,000.00) together with five years improvements from 06/10/2005 to 06/10/2010 is \$50,000.00. This project could be over 50% of Building value.

As per CMB(Chapter 54 Floods) and FEMA(44 CFR PART 59)regulations "Substantial Improvement" means any rehabilitation, addition, or other improvement of a building over the past five years, when the cost of the improvement equals or exceeds 50% of Market Value of the structure before the start of construction of the improvements.

Project is determined to be a Substantial Improvement; the structure must meet requirements as New Construction.

To confirm that this project is not substantial, please provide the following:

A- COST APPROACH APPRAISAL (replacement cost of the building as new minus a depreciation percentage based on age and condition).

B- Owner/Qualifier/Contractor Estimate Construction Cost Affidavit.

After the submission of documents stated above, project is determine to be a substantial improvement, the existing building must meet the requirements for New Construction, and more comments will apply.

In addition to the above requirements, the Engineering section requires:

- Please provide copy an Elevation Certificate of the existing building.
- Please provide finish floors elevations on floor plans, elevation shall be base upon NATIONAL GEODETIC VERTICAL DATUM of 1929 (NGVD 1929)
- Dade County Impact Fee
- Concurrency Management Approval
- DERM Final stamp approval
- Water & Sewer allocation letter
- Copy of Ordinance 89-95 compliance form from WASA

06/14/2011 cef Action: CO Change of Use from SFR to Business Music Studio "Slip N' Slide"

- Base Flood Elevation is 8'00 NGVD
- Building Value as per Miami-Dade County Property Tax Appraisal is \$84,348.00
- Valuation of proposed project (\$146,314.50) together with five years improvements from 06/10/2005 to 06/10/2010 is \$146,314.50. This project at this time is over 50% of Building value.

As per CMB(Chapter 54 Floods) and FEMA(44 CFR PART 59)regulations "Substantial Improvement" means any rehabilitation, addition, or other improvement of a building over the past five years, when the cost of the improvement equals or exceeds 50% of Market Value of the structure before the start of construction of the improvements.

Project is determined to be a Substantial Improvement; the structure must meet requirements as New Construction.

To confirm that this project is not substantial, please provide the following:

A- COST APPROACH APPRAISAL (replacement cost of the building as new minus a depreciation percentage based on age and condition).

B- Owner/Qualifier/Contractor Estimate Construction Cost Affidavit.

After the submission of documents stated above, project is determine to be a substantial improvement, the existing building must meet the requirements for New Construction, and more comments will apply.

In addition to the above requirements, the Engineering section requires:

- Please provide copy an Elevation Certificate of the existing building.



**CITY OF MIAMI BEACH  
BUILDING DEPARTMENT**

**PLANS PROCESSING APPROVALS**

**01-03-2013**

**ACTIVITY NUMBER: B1003431**

**SITE ADDRESS: 919 4TH ST MBCH**

- 
- Please provide finish floors elevations on floor plans, elevation shall be base upon NATIONAL GEODETIC VERTICAL DATUM of 1929 (NGVD 1929)
  - Customer needs to upgrade the valuation of permit to \$146,314.50
  - Dade County Impact Fee
  - Concurrency Management Approval

Note:

- DERM Final stamp approval is on plans, signed by Maria Tur on 06/28/2011
- Water & Sewer allocation letter is not required
- Copy of Ordinance 89-95 compliance form from WASA is approved, signed by Jackie Clark-Jackson on 07/15/2010; copy is attached to the plans.

07/03/2012 cef      Action: CO Change of Use from SFR to Business Music Studio "Slip N' Slide"

- Base Flood Elevation is 8'00 NGVD

The Engineering approval is pending:

- Elevation Certificate (existing building) submitted is missing the information in item: C2.e) (lowest elevation of the machinery or equipment)
- Please provide the lowest finish floors elevations on floor plans, PROPERTY HAS MULTIPLE LEVELS, and elevation shall be base upon NGVD
- Customer needs to upgrade the valuation of permit to \$146,314.50 at the permit clerk counter
- Dade County Impact Fee
- Concurrency Management Approval
- COST APPROACH APPRAISAL (is required to confirm that this project is not substantial improvements). Since finish floor elevation of the existing house is below to Base Flood Elevation according to Elevation Certificate submitted

\*\*\*Please note that appraisal must state the building value prior to construction start.\*\*\*

11/27/2012 cef      Action: CO Change of Use from SFR to Business Music Studio "Slip N' Slide"

- Base Flood Elevation is 8'00 NGVD

The Engineering approval is pending:

- Elevation Certificate (existing building) submitted require corrections, item: C2.e) (lowest elevation of the machinery or equipment) and A.4 existing building use is residential. Please provide a new one
- Please provide the lowest finish floors elevations on floor plans, PROPERTY HAS MULTIPLE LEVELS, elevation shall be base upon NATIONAL GEODETIC VERTICAL DATUM of 1929 (NGVD 1929)
- Dade County Impact Fee
- Concurrency Management Approval

The following have been submitted:

- DERM Final stamp approval is on plans, signed by Maria Tur on 06/28/2011
- Water & Sewer allocation letter is not required as per letter from DERM; copy is attached to the plans
- Copy of Ordinance 89-95 compliance form from WASA is approved, signed by Jackie Clark-Jackson on 07/15/2010; copy is attached to the plans
- Property appraisal information is attached to the plans

Note:

Valuation of this Permit: \$146,314.50 (FEMA 50% only)  
Improvements in the last 5yrs: \$0.00  
Total Improvements including this Project: \$146,314.50  
Depreciated value of Improvements as per appraisal: \$353,128.00

CITY OF MIAMI BEACH  
BUILDING DEPARTMENT

PLANS PROCESSING APPROVALS

01-03-2013

ACTIVITY NUMBER: B1003431

SITE ADDRESS: 919 4TH ST MBCH

---

Improvements/Building Value Ratio: 41.4%  
This is not a Substantial Improvement.

Item: 00009 Public Works Department

06/14/2010 GF Action: AP Plans approved - as per Public Works/signature

NOTE:

work/materials/equipment to be inside private property.

Plans approved for interior work only.

\* All construction and/or use of equipment in the Right-of-Way and/or easement require a separate Public Works Department permit PRIOR TO START OF CONSTRUCTION.

07/03/2012 EHC Action: AP APPROVED-RE SIGN-

07/05/2012 MCJr Action: DN B1003431 DENIED

1- Due to change of use from SFR to Business Music Studio. Please contact Mr. Jose Gonzalez CMB Public Works Transportation Manager PH # (305) 673-7000 Ext-6768 to go over Traffic Impact issues / requirements.

11/16/2012 MCJr Action: AP B1003431 APPROVED

NOTES:

- All work, materials and equipment are to be retained inside private property.
- All construction and / or use of equipment in the Right of Way and / or easements will require a separate Public Works Department permit "PRIOR TO START OF CONSTRUCTION".
- No encroachments are to be installed or constructed in the public right of way under or above ground.

Item: 00006 Fire Section

06/14/2010 ta Action: CO needs to be dropped off

06/29/2010 ta Action: CO general:

per florida fire prevention code 2007 ed chap 43, this shall be reviewed as an existing business with all its requirements per chapter 39

sheet a-1:

1. state on plans that design shall comply with the florida fire prevention code 2007 ed chap 39
2. show life safety plan (travel distance,etc)
3. state on plans that all interior finishes shall comply with the florida fire prevention code 2007 ed chap 10 & table a.10.2.2 for business
4. provide occupancy load per the ffpc 07 ed chap 7 for business
5. provide floor elevation across all egress doors,needs to be level on both sides with 1/2" max across the threshold(note: the office door to the unlabeled area, recording booth area are not in compliance)
6. the step that connects the reception area to the unlabeled area(note: label all areas on plans) does not comply with the ffpc 07 ed chap 7 , 3 steps or less shall have a minimum tread of 13" and thier nosing stripped.
7. the "reception step", "break room stairs" do not comply with the ffpc 07 ed 7.2.2.4.1, handrails
8. provide info on the handrails for the main entrance. these handrails shall comply with the ffpc 07 ed

[3APPRV]



CITY OF MIAMI BEACH  
BUILDING DEPARTMENT

PLANS PROCESSING APPROVALS

01-03-2013

ACTIVITY NUMBER: B1003431

SITE ADDRESS: 919 4TH ST MBCH

7.2.2.4.4

9. the existing drawing shows steps out of the reception area, the new does not, clarify

sheet a-2:

1. the west elevation detail shows handrail/guardrail, this design does not comply with the ffpc 07 ed chap 7, rectify

sheet e-1:

1. provide info on sd's, are they single station? if yes, state on plans that all shall be 120v/w battery backup and located min 36" from any a/c grille

01/26/2011 ta Action: CO ITEMS STILL PENDING:

sheet a-1:

2. show life safety plan (travel distance, etc) (SHEET A-2 PROVIDES THE TRAVEL DISTANCES IN DIAGONAL TRAVEL, THIS DOES NOT COMPLY WITH THE FFPC 07 ED CHAP 7, THE METHOD IS 1' FROM THE MOST REMOTE AREA AND MEASURED AT RIGHT ANGLES, RECTIFY

4. provide occupancy load per the ffpc 07 ed chap 7 for business (PROVIDE THE SQ. FOOTAGE TO DETERMINE THE CORRECT OCCUPANT LOAD)

6. the step that connects the reception area to the unlabeled area (note: label all areas on plans) does not comply with the ffpc 07 ed chap 7, 3 steps or less shall have a minimum tread of 13" and their nosing stripped (PROVIDE NOTE ON PLANS REGARDING THESE STEPS THEIR NOSING BEING STRIPPED)
7. the "reception step", "break room stairs" do not comply with the ffpc 07 ed 7.2.2.4.1, handrails
8. provide info on the handrails for the main entrance. these handrails shall comply with the ffpc 07 ed 7.2.2.4.4

sheet a-2:

1. the west elevation detail shows handrail/guardrail, this design does not comply with the ffpc 07 ed chap 7, rectify (SHOW DETAIL DRAWING OF THE HANDRAIL & GUARDRAIL PER THE FFPC 07 ED 7.2.2.4.4 & 7.2.2.4.5)

sheet e-1:

1. provide info on sd's, are they single station? if yes, state on plans that all shall be 120v/w battery backup and located min 36" from any a/c grille (NOTE HAS BEEN ADDED BUT THE SD'S ARE NOT SHOWN)

IN ADDITION TO COMMENTS STILL PENDING PLEASE REFER TO CHECK LIST FOR ADDITIONAL COMMENTS

06/27/2011 firearmt Action: CO ITEMS STILL PENDING:

sheet a-1:

2. show life safety plan (travel distance, etc) (SHEET A-2 PROVIDES THE TRAVEL DISTANCES IN DIAGONAL TRAVEL, THIS DOES NOT COMPLY WITH THE FFPC 07 ED CHAP 7, THE METHOD IS 1' FROM THE MOST REMOTE AREA AND MEASURED AT RIGHT ANGLES, RECTIFY

[B:APPRV1]

CITY OF MIAMI BEACH  
BUILDING DEPARTMENT

PLANS PROCESSING APPROVALS

01-03-2013

ACTIVITY NUMBER: B1003431

SITE ADDRESS: 919 4TH ST MBCH

THIS SHEET IS NOT PROVIDED A SCALE TO ACCURATELY DETERMINE COMPLIANCE PER THE FFPC 07 ED TABLE A.7.6 FOR NEW BUSINESS

4. provide occupancy load per the ffpc 07 ed chap 7 for business (PROVIDE THE SQ. FOOTAGE TO DETERMINE THE CORRECT OCCUPANT LOAD)
6. the step that connects the reception area to the unlabeled area (note: label all areas on plans) does not comply with the ffpc 07 ed chap 7, 3 steps or less shall have a minimum tread of 13" and their nosing stripped. (PROVIDE NOTE ON PLANS REGARDING THESE STEPS THEIR NOSING BEING STRIPPED)

THESE STEPS IF NEW, SHALL HAVE HANDRAILS ON BOTH SIDES PER THE FFPC 07 ED CHAP 7. IF EXISTING & CONFORMING PER THE

FFPC 07 ED CHAP 7, SHALL HAVE A HANDRAIL ON 1 SIDE ONLY PER THE FFPC 07 ED CHAP 7

7. the "reception step", "break room stairs" do not comply with the ffpc 07 ed 7.2.2.4.1, handrails (SHOW HANDRAILS FOR ALL STEPS PER THE FFPC 07 ED CHAP 7 ON PLANS)
8. provide info on the handrails for the main entrance. these handrails shall comply with the ffpc 07 ed 7.2.2.4.4

SHEET A-3:

1. PLANS SHOW ON A-3 THE HANDRAIL/GUARDRAIL DETAIL, THE REJECTION OF THE LAST STRINGER TO THE TREAD SHALL BE 6"

SPHERE MAX. THE REJECTION BETWEEN THE PICKETS SHALL BE 4" SPHERE MAX.

2. PROVIDE DISTANCE OF HANDRAIL FROM THE GUARDRAIL PER THE FFPC 07 ED CHAP 7, RECTIFY
3. MAKE CROSS REFERENCE FOR EACH STEP, HANDRAIL, GUARDRAIL FOR THIS PROJECT, NOT JUST A TYPICAL AS SHOWN ON A-3

IN ADDITION TO COMMENTS STILL PENDING PLEASE REFER TO CHECK LIST FOR ADDITIONAL COMMENTS

06/20/2012 firearmt Action: CO ITEMS STILL PENDING:

sheet a-1:

4. provide occupancy load per the ffpc 07 ed chap 7 for business (PROVIDE THE SQ. FOOTAGE TO DETERMINE THE CORRECT OCCUPANT LOAD)
7. the "reception step", "break room stairs" do not comply with the ffpc 07 ed 7.2.2.4.1, handrails (SHOW HANDRAILS FOR ALL STEPS PER THE FFPC 07 ED CHAP 7 ON PLANS)

SHEET A-3:

3. MAKE CROSS REFERENCE FOR EACH STEP, HANDRAIL, GUARDRAIL FOR THIS PROJECT, NOT JUST A TYPICAL AS SHOWN ON A-3

11/03/2012 firearmt Action: CO ITEMS STILL PENDING:

[BAPPRV]



CITY OF MIAMI BEACH  
BUILDING DEPARTMENT

PLANS PROCESSING APPROVALS

01-03-2013

ACTIVITY NUMBER: B1003431

SITE ADDRESS: 919 4TH ST MBCH

sheet a-1:

7. the "reception step", "break room stairs" do not comply with the ffpc 07 ed 7.2.2.4.1, handrails(SHOW HANDRAILS FOR ALL STEPS PER THE FFPC 07 ED CHAP 7 ON PLANS)

PROVIDE RAMP RATIO TO VERIFY COMPLIANCE WITH THE FFPC 2010 CHAP 7, MAY REQUIRE HANDRAILS FOR THIS

SHEET A-3:

3. MAKE CROSS REFERENCE FOR EACH STEP, HANDRAIL, GUARDRAIL FOR THIS PROJECT, NOT JUST A TYPICAL AS SHOWN ON A-3

Item: 00080 M. D. W. A. S. D

11/27/2012 cef Action: AP - Water & Sewer allocation letter is not required as per letter from DERM; copy is attached to the plans  
- Copy of Ordinance 89-95 compliance form from WASA is approved, signed by Jackie Clark-Jackson on 07/15/2010; copy is attached to the plans

Item: 00023 Accessibility Section

Item: 00010 D.E.R.M. (Env Res Man)

11/27/2012 cef Action: AP - DERM Final stamp approval is on plans, signed by Maria Tur on 06/28/2011

Item: 00021 Dade County Impact fees?

Item: 00065 Elevator

07/05/2012 JA Action: DN B1003431 - 919 4th ST -

1. Provide exact location and detail of lift(s)  
2. Lift shall be hydraulic type mounted flush with bottom landing by using a pit. Lift shall be enclosed without automatic ramps.

11/19/2012 JA Action: DN Draw. A-4:

Plan view does not show any details of pit or travel height, location of disconnect, any lighting required. Entrance to the door is not clear and does not meet ADA.

Details of lift given (Hercules II) are generic and not job specific. Unit given on brochure is screw/belt driven. Only hydraulic unit with emergency manual lowering is acceptable.

Item: 00016 Plans Router Final Approval

**DIVISIONS & SECTIONS**

**QTY UNIT COST**

**DIVISION 1 - GENERAL CONDITIONS**

Superintendent	12 wks	\$	1,000.00	\$	12,000.00
PERMIT	1			\$	-
Dumpsters	6 ea	\$	400.00	\$	2,400.00
Temp toilet	3 MONTH	\$	300.00	\$	900.00
Final Clean	1 LS	\$	1,500.00	\$	1,500.00
Misc. Equip rent , compactor, demo saw, p/u & del	1 LS	\$	2,000.00	\$	2,000.00
				\$	-

**DIVISION 2 - SITE WORK DEMO**

Landscape removal hedges trees, bamboo, palms	1 LS	\$	500.00	\$	500.00
Remove rocks and step stones for pavers	15 CY	\$	30.00	\$	450.00
Rework irrigation	1 LS	\$	600.00	\$	600.00
Prep base for pavers to -3 1/2"	350 SF	\$	2.50	\$	875.00
New pavers peach coral charcoal mix	350.0 SF	\$	8.00	\$	2,800.00
Saw cut exterior walls for new Doors, lintel, jambs	4.0 EA	\$	250.00	\$	1,000.00
Demo interior partition	20.0 LF	\$	35.00	\$	700.00
Remove doors	11.0 EA	\$	200.00	\$	2,200.00
Floor protection	1.0 LS	\$	1,500.00	\$	1,500.00
Remove 5' x 2'-6" bar with sink & 2 ovens	1.0 LS	\$	1,450.00	\$	1,450.00
Or reconfigure/ shorten bar	1.0 LS	\$	1,100.00	\$	1,100.00
				\$	-

**DIVISION 3 - CONCRETE**

New lintels for door at ADA lift	3 EA	\$	800.00	\$	2,400.00
Grout cells for jambs 10' per x 6	60 VLF	\$	12.00	\$	720.00
Rebar for cells & lintels at exterior doors	1 LS	\$	500.00	\$	500.00
Concrete	1 LS	\$	3,000.00	\$	3,000.00
Pads for ADA lift	75 SF	\$	18.00	\$	1,350.00
				\$	-

**DIVISION 4 - MASONRY**

CMU patching	1 LS	\$	1,500.00	\$	1,500.00
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**DIVISION 5 - METALS**

Handrails N/A	1 sf	\$	6,500.00	\$	6,500.00
				\$	-

**DIVISION 6 - WOOD & PLASTICS**

Door casing 2 sets per door	14 Sets	\$	240.00	\$	3,360.00
Temp board up exterior openings at lifts const	3 EA	\$	250.00	\$	300.00
Interior dust screens when saw cutting	6 Ea	\$	50.00	\$	300.00
Frame new interior steps & platform at office wood	39 sf	\$	16.50	\$	253.50
Framing for new doors 2x metal or wood	14 Each	\$	80.00	\$	1,120.00
				\$	-
				\$	-
				\$	-

**DIVISION 7 - THERMAL AND MOISTURE PROTECTION**

	1 LS	\$	700.00	\$	700.00
				\$	-

**DIVISION 8 - DOORS & WINDOWS**

Doors & Frames material 14 openings	1 BID		1500	\$	1,500.00
Labor doors & frames	1 LS		2800	\$	2,800.00
Door Hardware material	14 EA	\$	50.00	\$	700.00
Door Hardware labor	14 LS	\$	10.00	\$	140.00
Closers	3 EA	\$	300.00	\$	900.00
Thresholds	3 Ea	\$	80.00	\$	240.00
Panic hardware	3 EA	\$	200.00	\$	600.00
Dead bolts	4 EA	\$	50.00	\$	200.00
Door stops	14 EA	\$	6.00	\$	84.00
				\$	-



**DIVISION 9 - FINISHES**

				\$	-
Paint Doors & Frames	14 EA	\$	50.00	\$	700.00
Interior touch up	1,000 SF	\$	2.50	\$	2,500.00
Exterior touch up	1,000 SF	\$	2.75	\$	2,750.00
Exterior stucco patching <50 sf	200 SF	\$	12.00	\$	2,400.00
Tile/wood floor patching R&R L&M	177 SF	\$	6.00	\$	1,062.00
Patching for new F/A installation	4 LS	\$	5.00	\$	20.00
				\$	-

**DIVISION 10 - SPECIALTIES**

Toilet accessories grab bars	1 Allow	\$	400.00	\$	400.00
Fire extinguisher	4 EA	\$	60.00	\$	240.00
Signage	1 LS	\$	800.00	\$	800.00
	1 ea			\$	-
				\$	-

**DIVISION 13 - SPECIAL CONSTRUCTION**

ADA wheel chair lift	3 EA	\$	4,900.00	\$	14,700.00
Install lift	2 EA	\$	1,200.00	\$	2,400.00
				\$	-
				\$	-

**DIVISION -- - PLUMING**

Remove plumbing fixtures	3 EA	\$	400.00	\$	1,200.00
Install new ADA fixtures	3 EA	\$	2,500.00	\$	7,500.00
Relocate hose bib/ shower stub for new ADA lift	1 bid	\$	3,000.00	\$	3,000.00
				\$	-

**DIVISION 16 - ELECTRICAL**

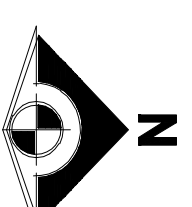
Electric bid	1 LS	\$	17,500.00	\$	17,500.00
Fire Alarm	1 LS	\$	8,500.00	\$	8,500.00
Relocate elect service	2 EA	\$	5,000.00	\$	10,000.00
Relocate elect service for wheel chair lift	3 EA	\$	1,500.00	\$	4,500.00
FPL relocate overhead service	1 ALLOW	\$	5,000.00	\$	5,000.00

\$ 146,314.50

# SLIP N' SLIDE RECORDS

MODIFICATION PER  
ADA CODE REQUIREMENTS  
CHANGE OF USE

919 4TH STREET  
MIAMI BEACH, FL 33139  
03-30-10

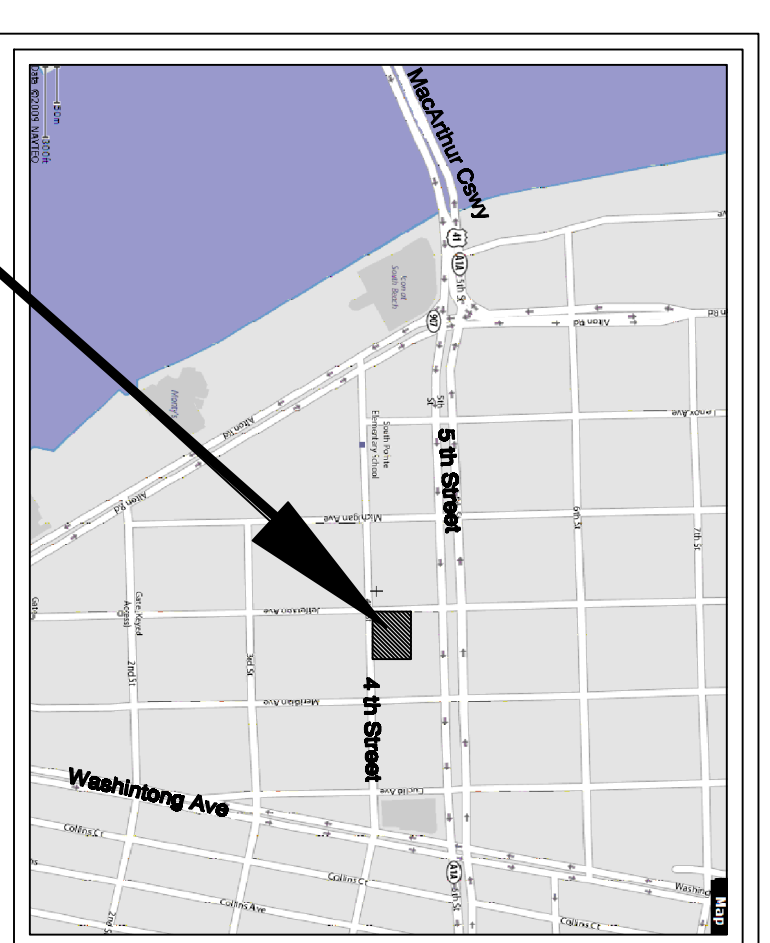


## INDEX

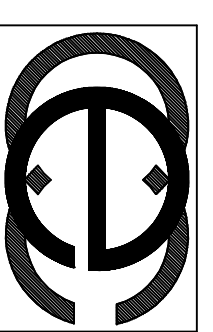
- 1 CURRENT SURVEY
- 2 A - 1 FLOOR PLAN
- 3 A - 2 ELEVATIONS
- 4 C - 1 SITE PLAN
- 5 C - 2 SECTIONS, DETAILS AND NOTES
- 6 E - 1 ELECTRICAL PLAN

### LEGAL DESCRIPTION:

THE WEST 40 FEET OF LOTS 5 & 6, BLOCK 81, OF OCEAN BEACH, FLA. ADDITION No. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



SITE  
LOCATION

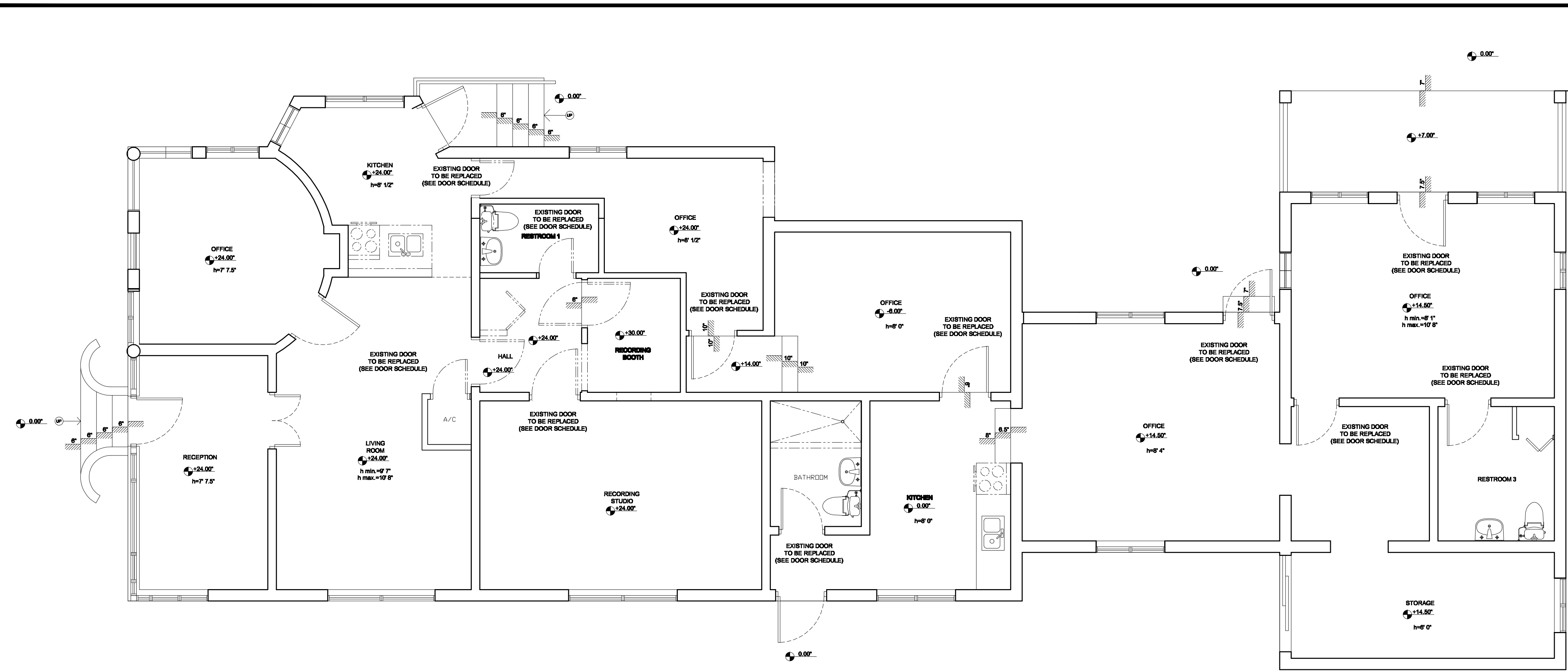


**CIVIL-CADD ENGINEERING**  
1313 SW 175<sup>th</sup> WAY  
PEMBROKE PINES, FL 33025  
(305) 970-8881

SIGN: \_\_\_\_\_

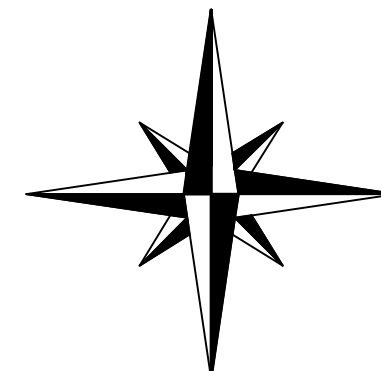
FULTON J. SALAZAR  
ARCHITECT AAY6000909  
391 HALEDAI DRIVE  
MIAMI BEACH, FLORIDA  
PHONE: (305) 589-2603





EXISTING FLOOR PLAN  
SCALE 1'-0"=1/4"

- SCOPE OF WORK**  
ALTERATION LEVEL II
1. CONVERT RESTROOM 3 TO ADA COMPLIANCE. INSTALL NEW ADA DOOR, TOILET, LAVATORY AND HANDBAR.
  2. EXIST. FIXTURES IN RESTROOM 1 TO BE REPLACED.
  3. REMOVE TUB IN EXIST. BATHROOM.
  4. REMOVE EXIST. KITCHEN.
  5. INSTALL NEW MOBILE ADA PLATFORM.
  6. INSTALL NEW ADA DOORS WHERE SPECIFIED.
  7. INSTALL NEW EXIT SIGN, EMERGENCY LIGHT AND SMOKE DETECTORS.
  8. PROVIDE NEW HANDRAILS.
- NOTE:  
-NO MECHANICAL WORK  
ALL EXTERIOR WALLS ARE CMU 8".



**TABLE 604.4  
MAXIMUM FLOW CONSUMPTION  
FOR PLUMBING FIXTURES**

PLUMBING FIXTURE OR FIXTURE FITTING	MAXIMUM FLOW RATE OR QUANTITY
Lavatory (hand wash)	1.5 gpm at 60 psi
Water closet	1.28 gallons per flushing cycle
Shower head	1.5 gpm at 60 psi
ANTI SCALD VALVE REQUIRED FOR TUB/SHOWER	

NOTE: THE MAXIMUM CONSUMPTION FLOW RATES AND QUANTITIES FOR ALL PLUMBING FIXTURES, FIXTURE FITTINGS AND APPLIANCES SHALL BE IN ACCORDANCE WITH TABLE 604.4, EFFECTIVE JANUARY 1, 2009

**WINDOW SCHEDULE**

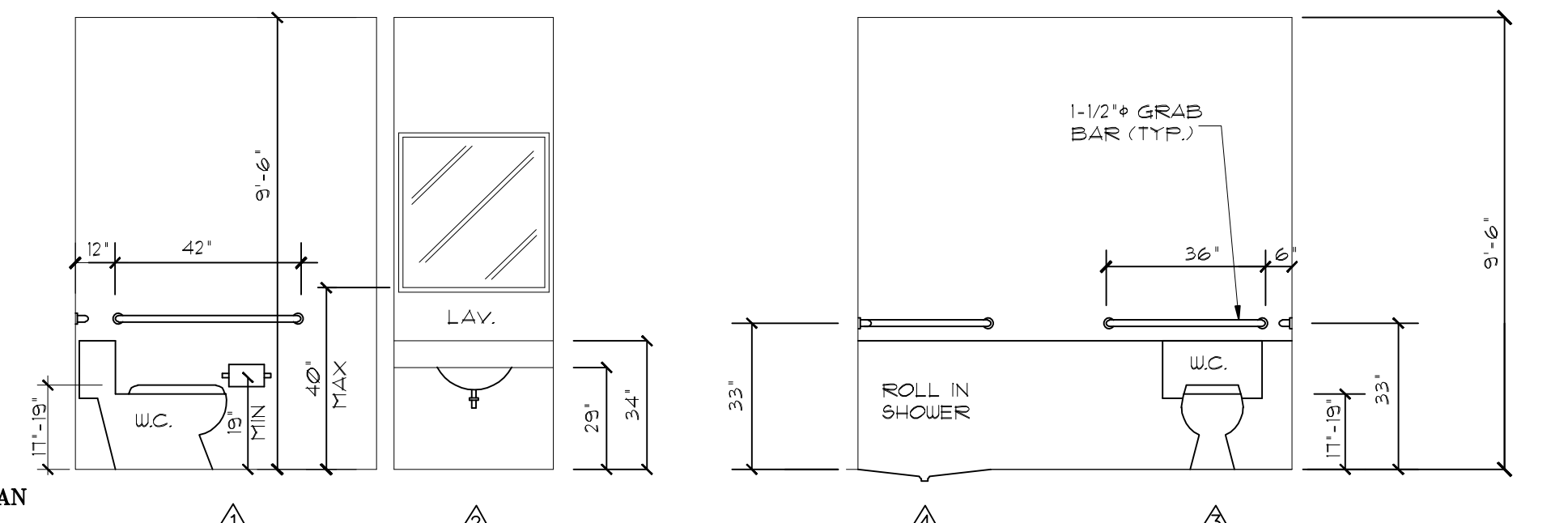
MARK	DIMENSIONS		QTY	MATERIAL	N.O.A.
	WIDTH	HEIGHT			
1 (EXIST.)	3'-1"	4'-4"	11	AL/ GLASS	-
2 (EXIST.)	1'-7"	5'-3"	5	AL/ GLASS	-
3 (EXIST.)	9"	5'-3"	2	AL/ GLASS	-
4 (EXIST.)	4'-3"	5'-3"	1	AL/ GLASS	-
5 (EXIST.)	3'-1"	3'-2"	2	AL/ GLASS	-
6 (EXIST.)	4'-3"	4'-7"	1	AL/ GLASS	-
7 (EXIST.)	3'-1"	3'-2"	2	AL/ GLASS	-
8 (EXIST.)	2'-4"	5'-5"	2	AL/ GLASS	-
9 (EXIST.)	2'-4"	5'-5"	1	AL/ GLASS	-
10 (EXIST.)			R= 1'	AL/ GLASS	-

**DOOR SCHEDULE**

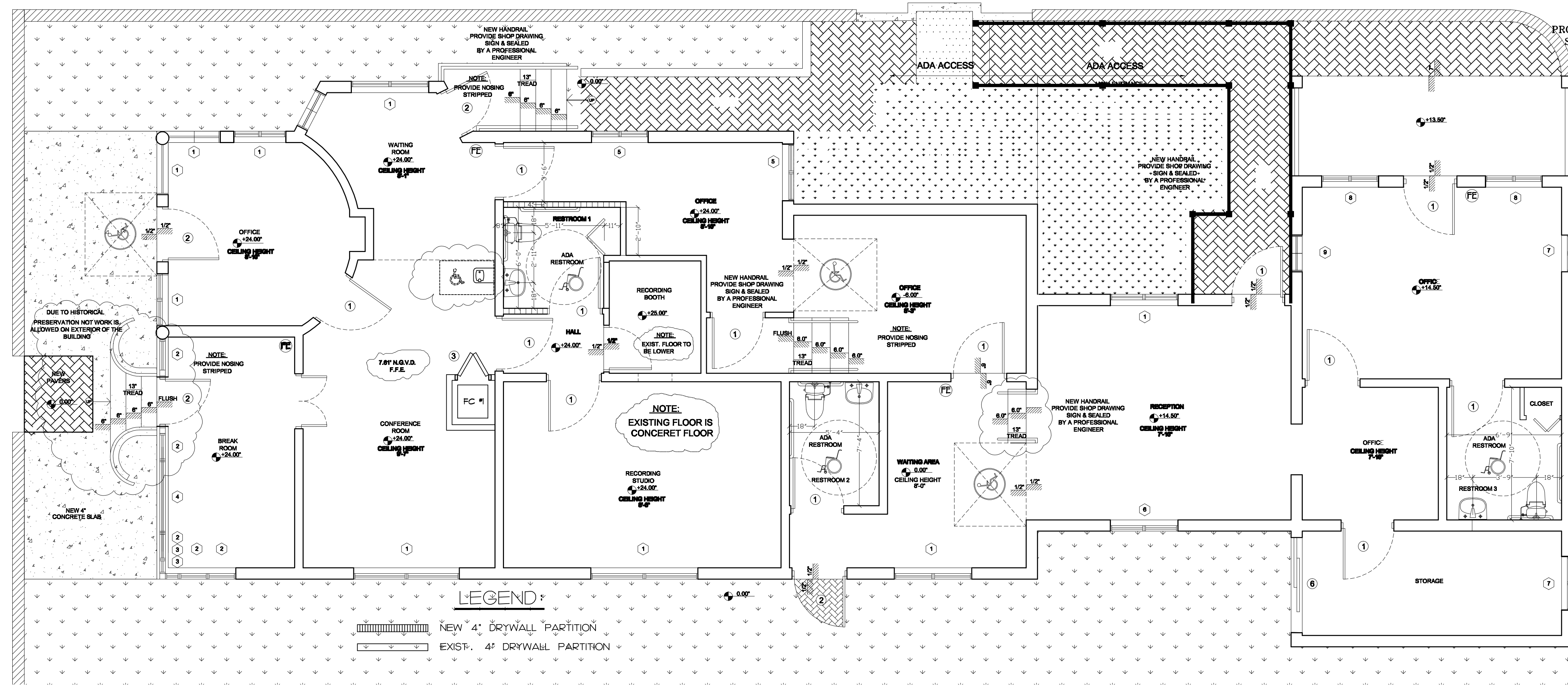
MARK	DIMENSIONS		TYPE	MATERIAL	N.O.A.
	WIDTH	HEIGHT			
1 (NEW)	3'-0"	80"	EASY OPERATE MECHANISMS	WD.	-
2 (NEW)	3'-0"	80"	EASY OPERATE MECHANISMS PANIC TYPE HARDWARE	STL.	04-0923.02
3 (NEW)	24"	80"	BY-FOLDER	WD.	-

**MINIMUM FRAMESPREAD CLASSIFICATION**

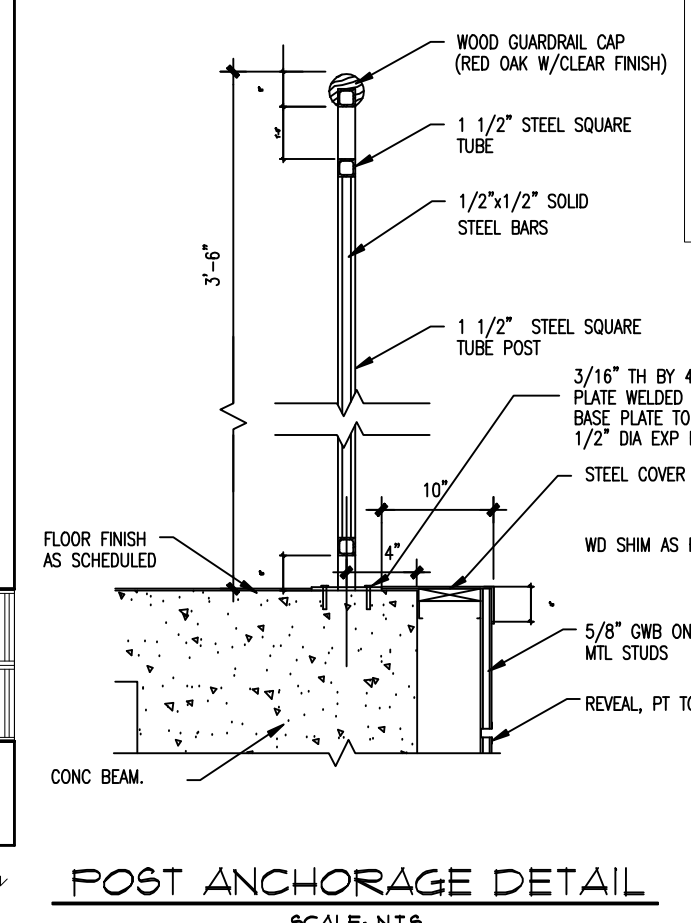
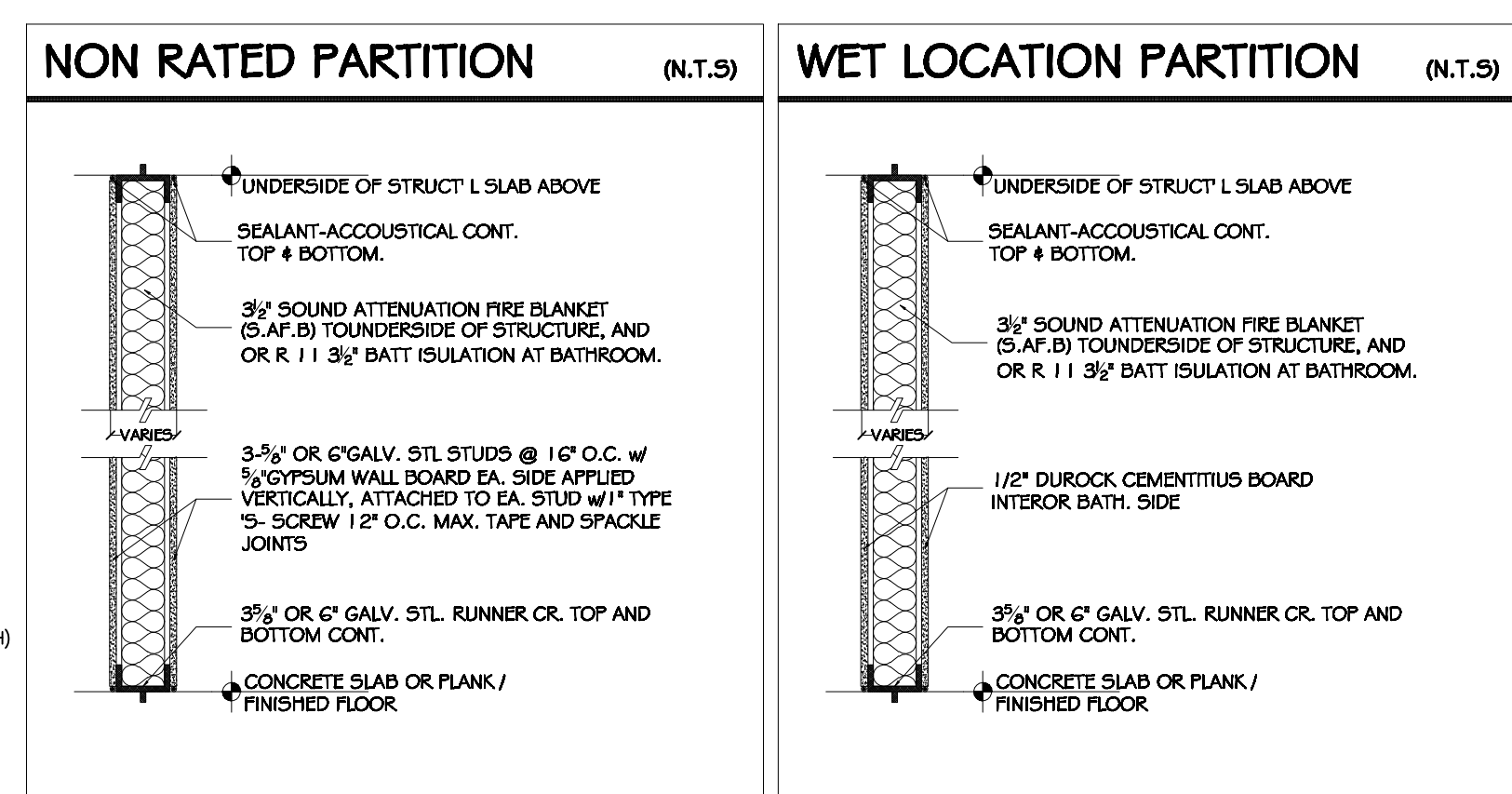
OCCUPANCY TYPE 'B'  
PROVIDE CLASS B FOR EXISTING ACCESS  
PROVIDE CLASS C FOR OTHER SPACES



**HANDICAPPED BATHROOM ELEVATIONS**  
SCALE: 1/2" = 1'-0"



PROPOSED FLOOR PLAN  
SCALE 1'-0"=1/4"



**SYMBOL LEGEND**

FE	FIRE EXTINGUISHER.
----	--------------------

**OCCUPANCY LOAD**  
OCCUPANCY LOAD 100 SQFT PER PERSON  
MAXIMUM OCCUPANCY LOAD = 20 PERSONS  
SQUARE FEET = 2000 SQUARE FEET

**INTERIOR FINISHED NOTE:**  
ALL INTERIOR FINISHED SHALL COMPLY WITH  
FLORIDA FIRE PREVENTION CODE 2001 EDITION  
CHAPTER 10 & TABLE 10.2.1 FOR BUSINESS

**DESIGN NOTE:**  
DESIGN SHALL COMPLY WITH FLORIDA  
FIRE PREVENTION CODE 2001 EDITION  
CHAPTER 39

**DESIGN NOTE:**  
CODE IN EFFECT FLORIDA BUILDING CODE  
EXISTING 2001'

DESIGNED BY:	ISSUED:
DRAWN BY:	ISSUED:
SUPERVISED BY:	ISSUED:
CHECKED BY:	ISSUED:

**MODIFICATION PER  
ADA CODE REQUIREMENTS  
CHANGE OF USE**

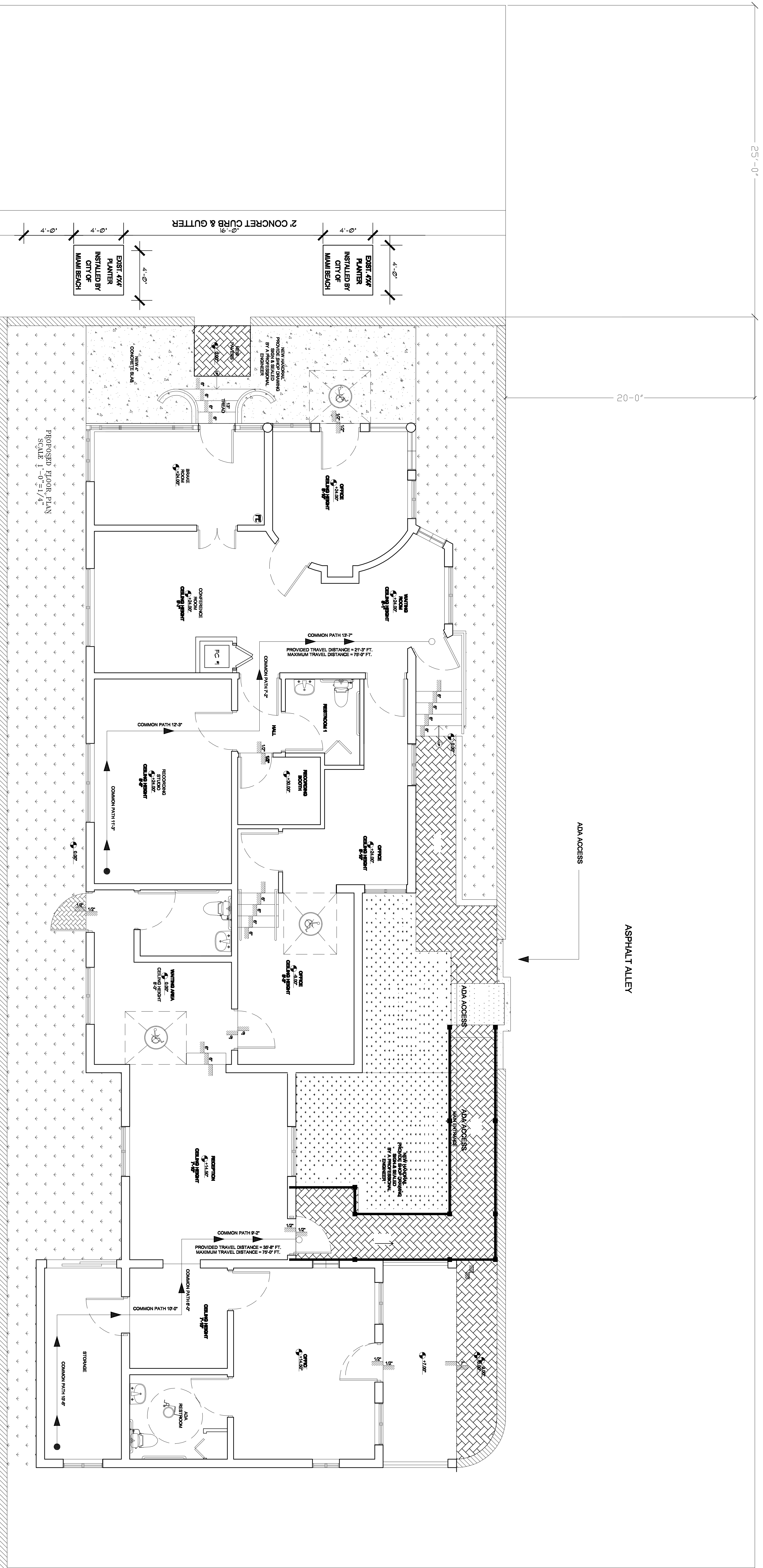
**SLIP N' SLIDE RECORDS**  
919 4TH STREET  
MIAMI BEACH, FL 33139

**CIVIL-CADD ENGINEERING**  
1313 SW 175 TH WAY  
PEMBROKE PINES, FL 33025  
(305) 970-8881

**FLOOR PLAN**

DATE: **FULTON J. SALAZAR**  
ARCHITECT AA#000009  
351 HIALEAH DRIVE  
HIALEAH, FLORIDA  
PHONE: (305) 888-5682

DRAWING No.  
10-2504 A-1  
SHEET  
A-1



25'-0"

20'-0"

ASPHALT ALLEY

ADA ACCESS

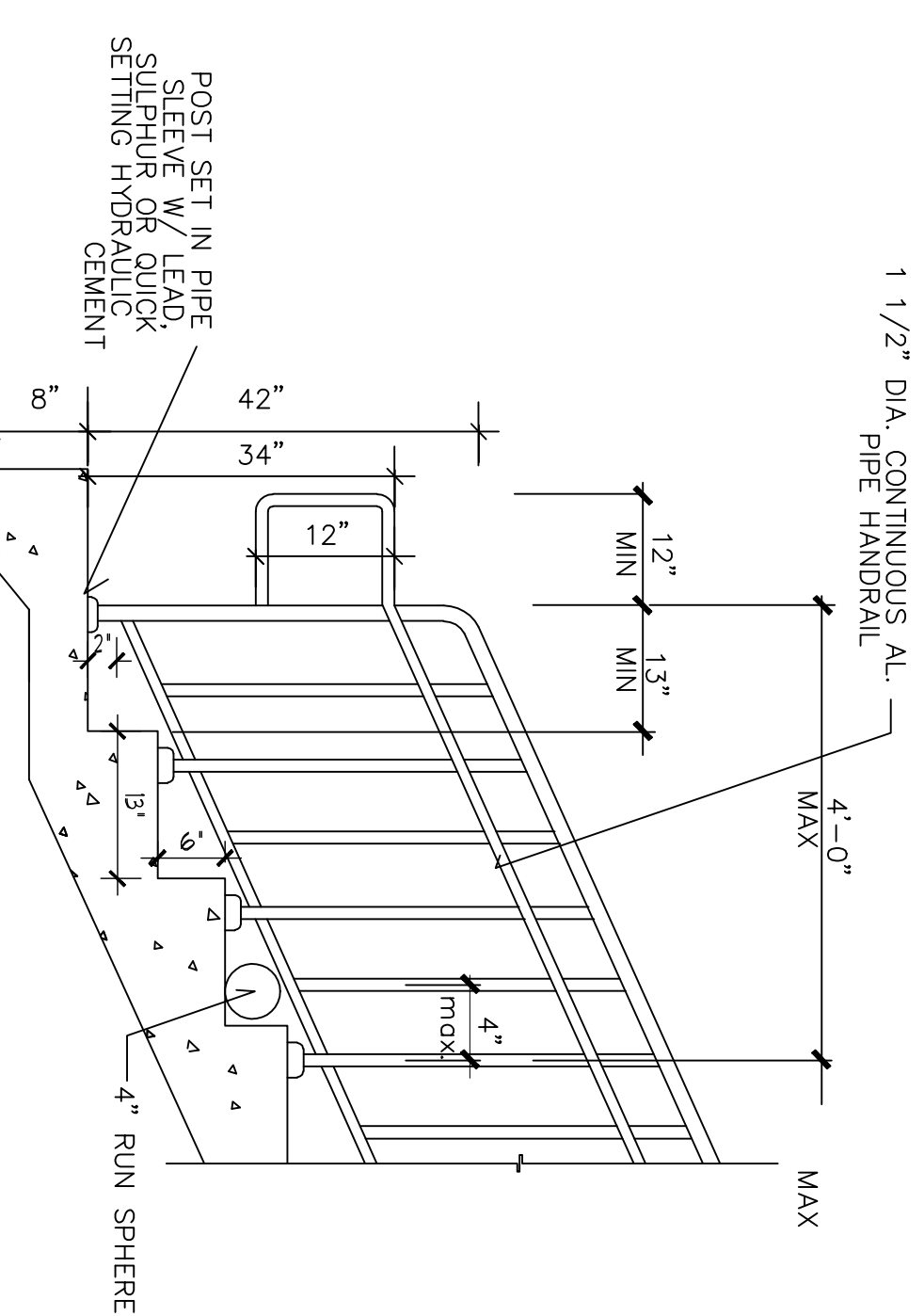
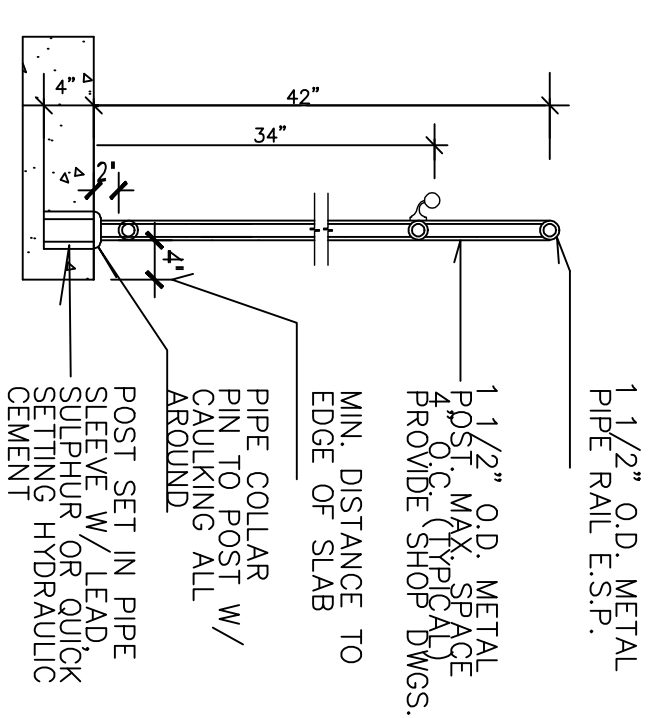
PROPOSED FLOOR PLAN  
SCALE 1/4" = 1'-0"

EXIST. 4"x4" PLANTER INSTALLED BY CITY OF MIAMI BEACH

2" CONCRETE CURB & GUTTER

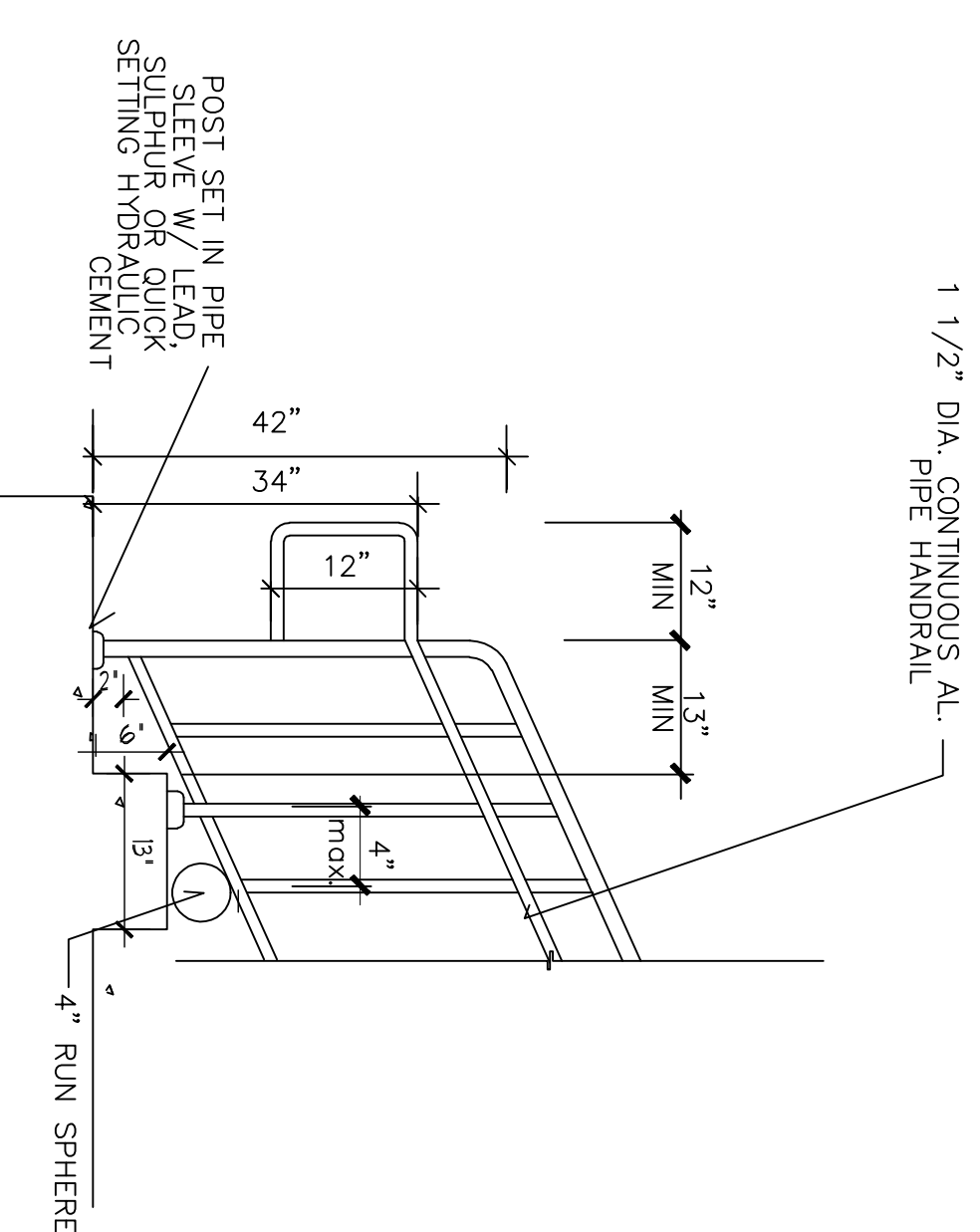
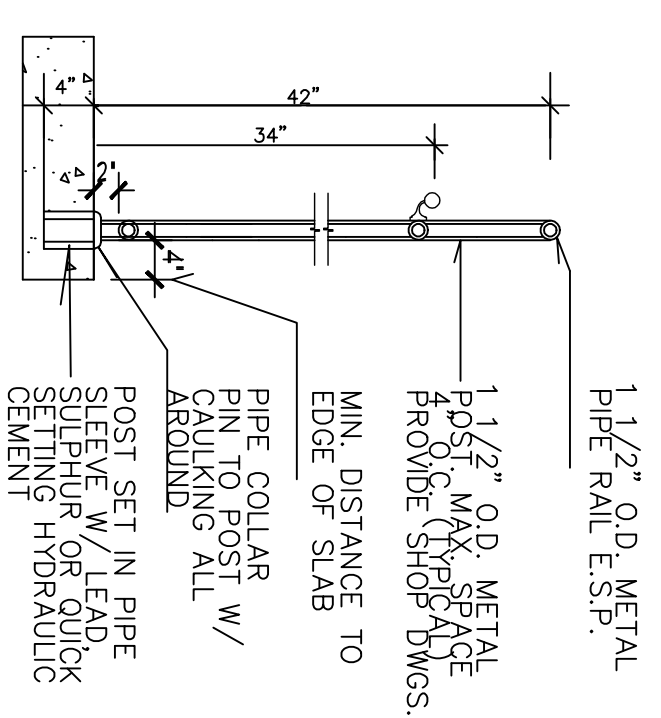
NO.	DESIGNED BY:	ISSUED:	<b>MODIFICATION PER</b> <b>ADA CODE REQUIREMENTS</b> <b>CHANGE OF USE</b>	<b>SLIP N' SLIDE RECORDS</b> 919 4TH STREET MIAMI BEACH, FL 33139	<b>CIVIL-CADD ENGINEERING</b> 1313 SW 175th WAY PEMBROKE PINES, FL 33025 (305) 970-8881	<b>FLOOR PLAN</b>	DATE: <b>FULTON J. SALAZAR</b> ARCHITECT AAY6000209 351 HALEAH DRIVE HALEAH, FLORIDA PHONE: (561) 885-5689	DRAWING No. 10-2504 A-1 SHEET <b>A-2</b>
REVISIONS	BY	CHECKED BY:						
	DATE:	ISSUED:						
	BY:	ISSUED:						
	CHECKED BY:	ISSUED:						





PROVIDE SHOP DRAWINGS FOR HANDRAIL  
SEALED BY A FLORIDA REGISTERED  
PROFESSIONAL ENGINEER

**STAIRS & HANDRAIL DETAILS WITH RAILING # 1 & 2**



PROVIDE SHOP DRAWINGS FOR HANDRAIL  
SEALED BY A FLORIDA REGISTERED  
PROFESSIONAL ENGINEER

**STAIRS & HANDRAIL DETAILS WITH RAILING #2**

DESIGNED BY:	ISSUED:
DRAWN BY:	ISSUED:
SUPERVISED BY:	ISSUED:
CHECKED BY:	ISSUED:
DATE:	BY:
REVISIONS:	

**MODIFICATION PER  
ADA CODE REQUIREMENTS  
CHANGE OF USE**

**SLIP N' SLIDE RECORDS  
919 4TH STREET  
MIAMI BEACH, FL 33139**

**CIVIL-CADD ENGINEERING**  
1313 SW 175th WAY  
PENSACOLA PINES, FL 33025  
(305) 970-8881

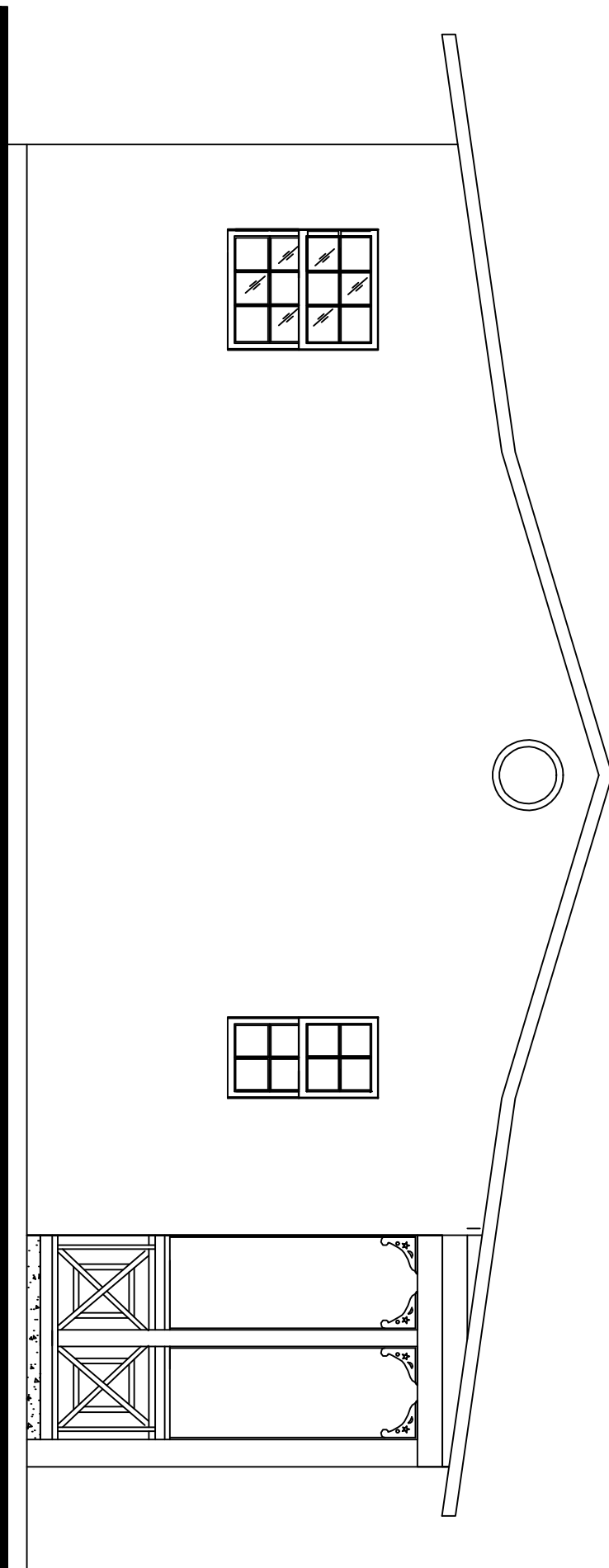


DETAILS

DATE: **FULTON J SALAZAR**  
ARCHITECT 2020/02/09  
3111 W. 15th AVE  
MIAMI BEACH, FL 33139  
PHONE: (305) 888-5662

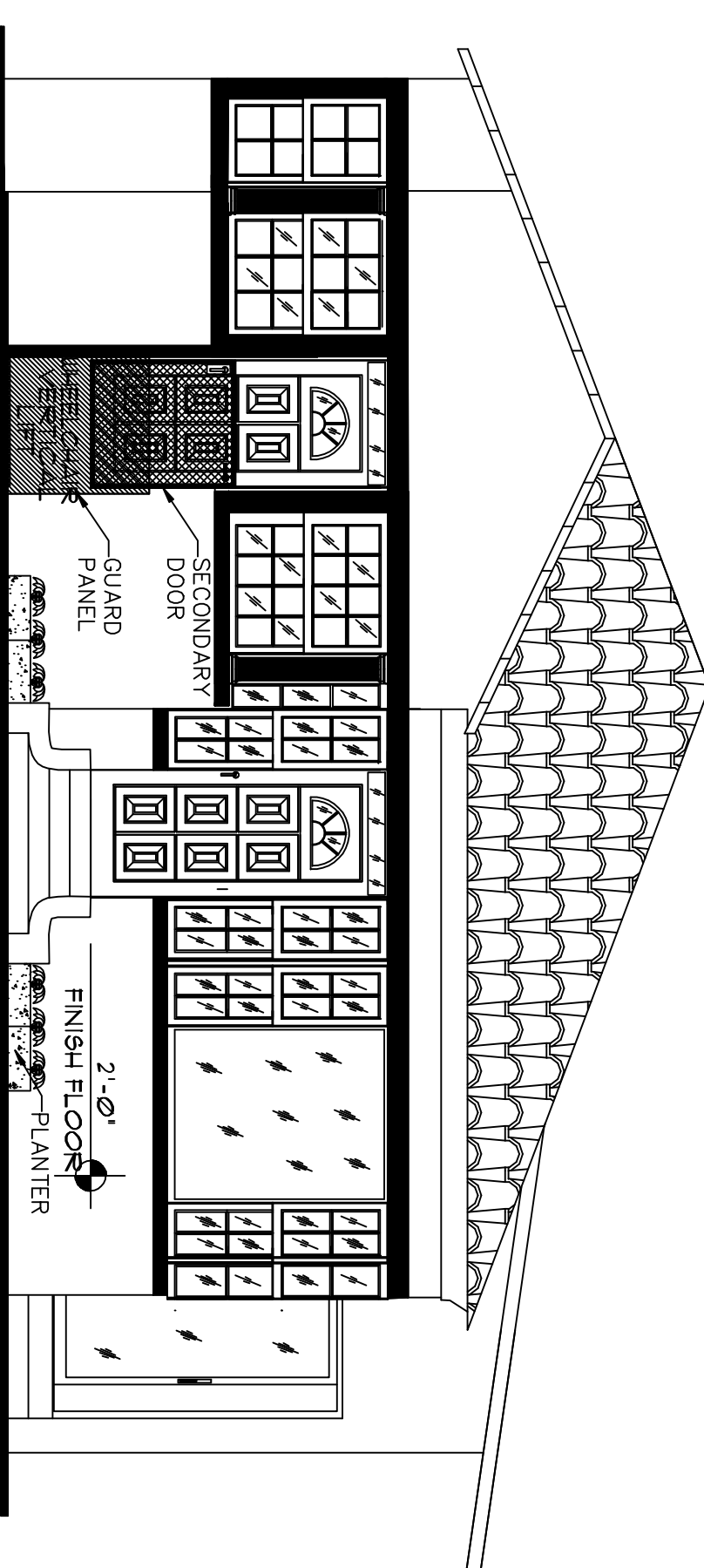
DRAWING No.  
10-2504 A-1  
SHEET  
A-3

0'-0" FINISH FLOOR



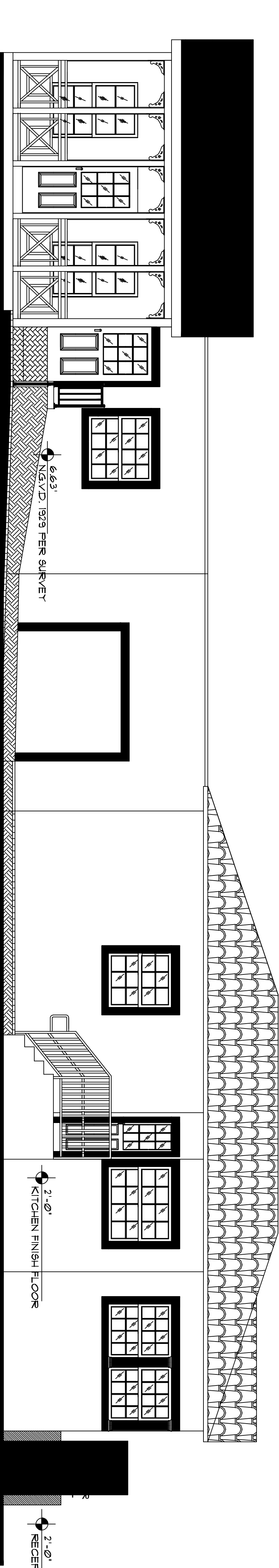
NORTH ELEVATION  
SCALE: 1/8"=1'-0"

0'-0" GROUND ELEVATION



SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

0'-1" PORCH FINISH FLOOR

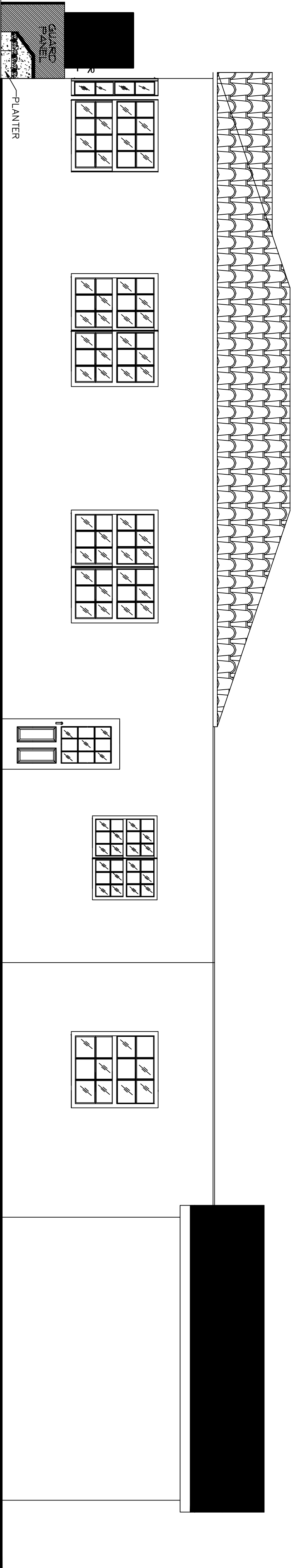


WEST ELEVATION  
SCALE: 1/8"=1'-0"

2'-0" KITCHEN FINISH FLOOR

2'-0" RECEPTION FINISH FLOOR

0'-0" KITCHEN FINISH FLOOR



EAST ELEVATION  
SCALE: 1/8"=1'-0"

DESIGNED BY: J. H.	ISSUED:
DRAWN BY: J. H.	ISSUED:
SUPERVISED BY: J. H.	ISSUED:
CHECKED BY:	ISSUED:
DATE	BY
REVISIONS	

MODIFICATION PER  
ADA CODE REQUIREMENTS  
CHANGE OF USE

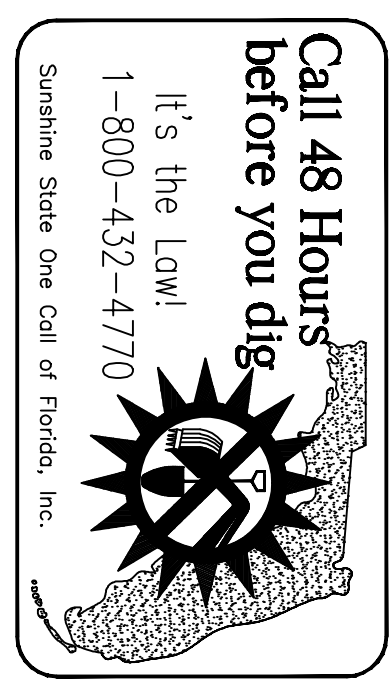
SLIP N' SLIDE RECORDS  
919 4TH STREET  
MIAMI BEACH, FL 33139

**CIVIL-CADD ENGINEERING**  
1313 SW 175 TH WAY  
POMERANCE PINES, FL 33026  
(305) 970-8881

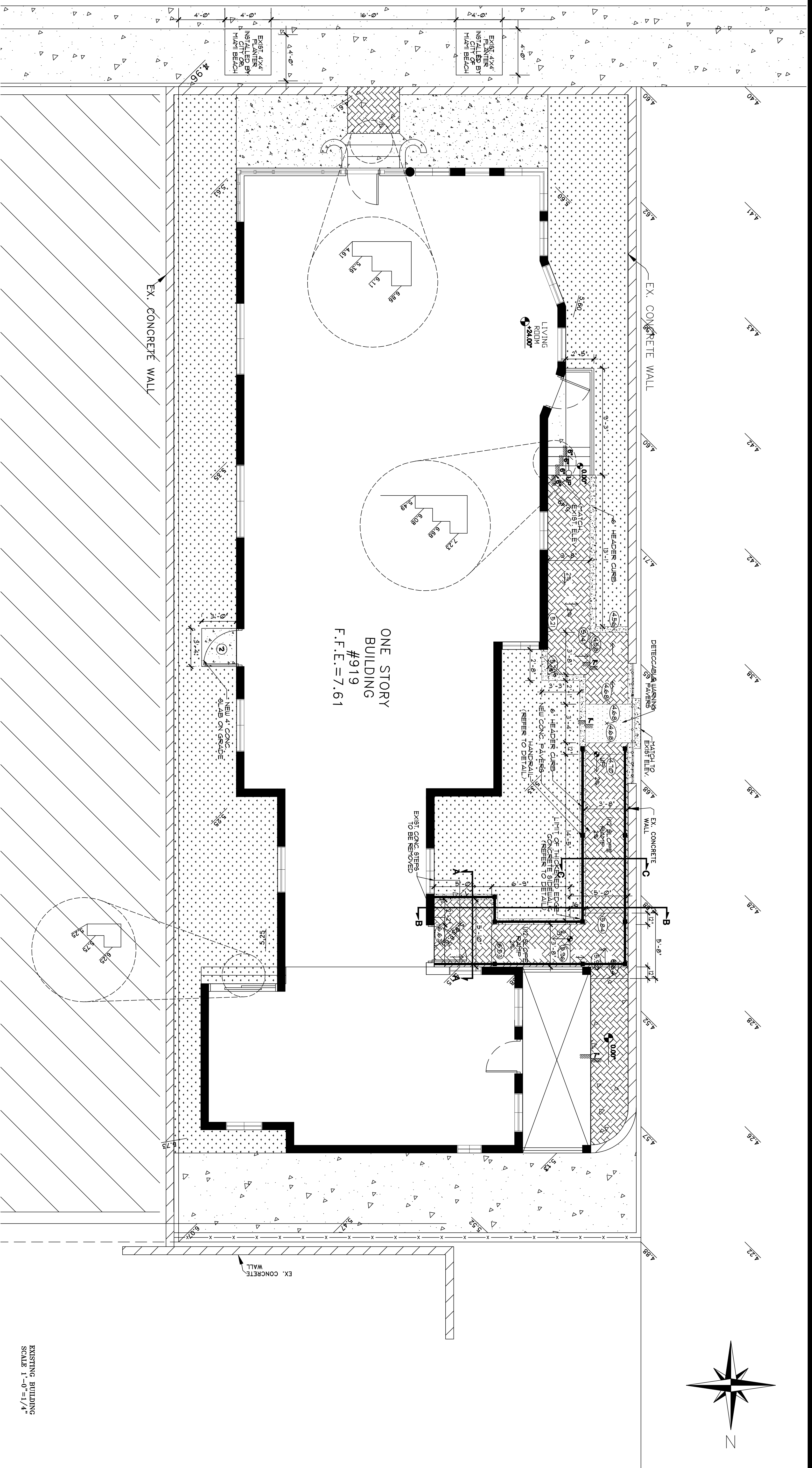
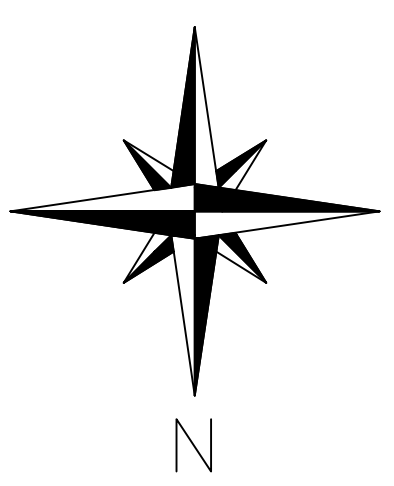
ELEVATIONS

DATE: FULLTON J. SALAZAR  
ARCHITECT 2A726020209  
3011 N. W. 57TH AVE  
MIAMI, FL 33149  
PHONE: (305) 289-5682

DRAWING No. 10-2504 A-3  
SHEET A-4







ONE STORY  
BUILDING  
#919  
F.F.E.=7.61

- LEGEND**
- PROPOSED CONCRETE SW
  - PROPOSED PAVERS
  - GRASS AREA
  - 4" CONCRETE SLAB W/ 4#5
  - PROPOSED ELEVATION

EXISTING BUILDING  
SCALE 1"=0'-1 1/4"

**Call 48 Hours before you dig**  
It's the Low!  
1-800-432-4770  
Sunshine State One Call of Florida, Inc.

DESIGNED BY: J. H.	ISSUED:
DRAWN BY: J. H.	ISSUED:
SUPERVISED BY: J. H.	ISSUED:
CHECKED BY:	ISSUED:
DATE:	ISSUED:
BY:	ISSUED:
PROJECT NO.:	ISSUED:

**MODIFICATION PER ADA CODE REQUIREMENTS CHANGE OF USE**

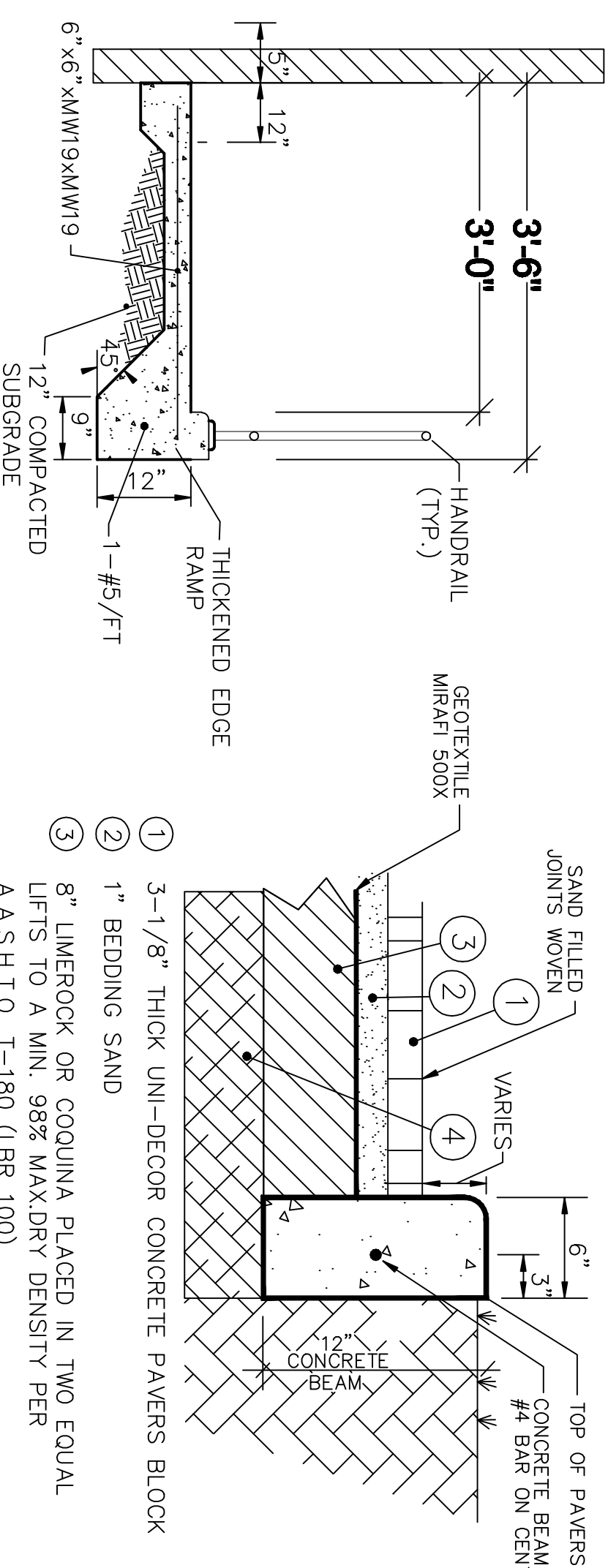
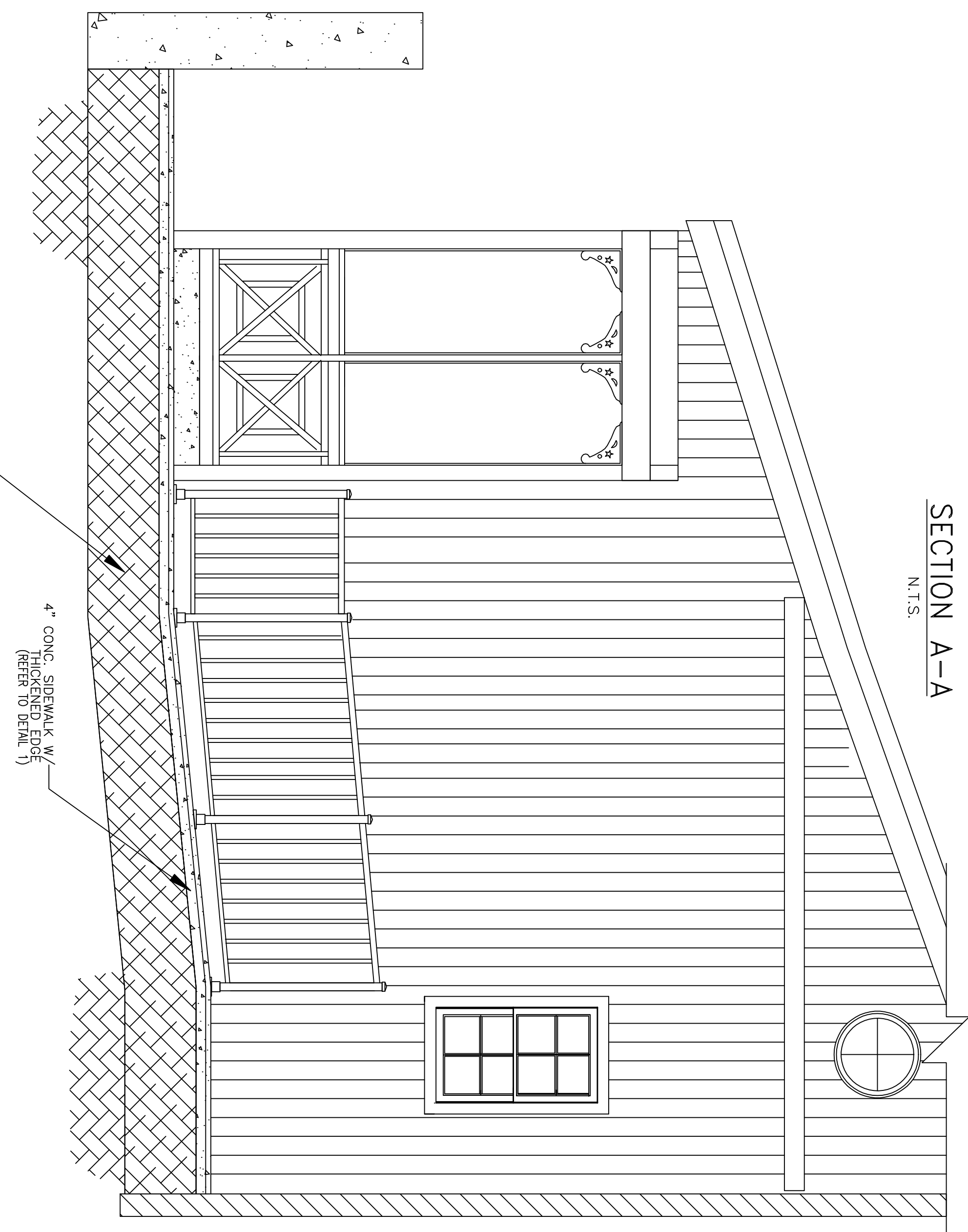
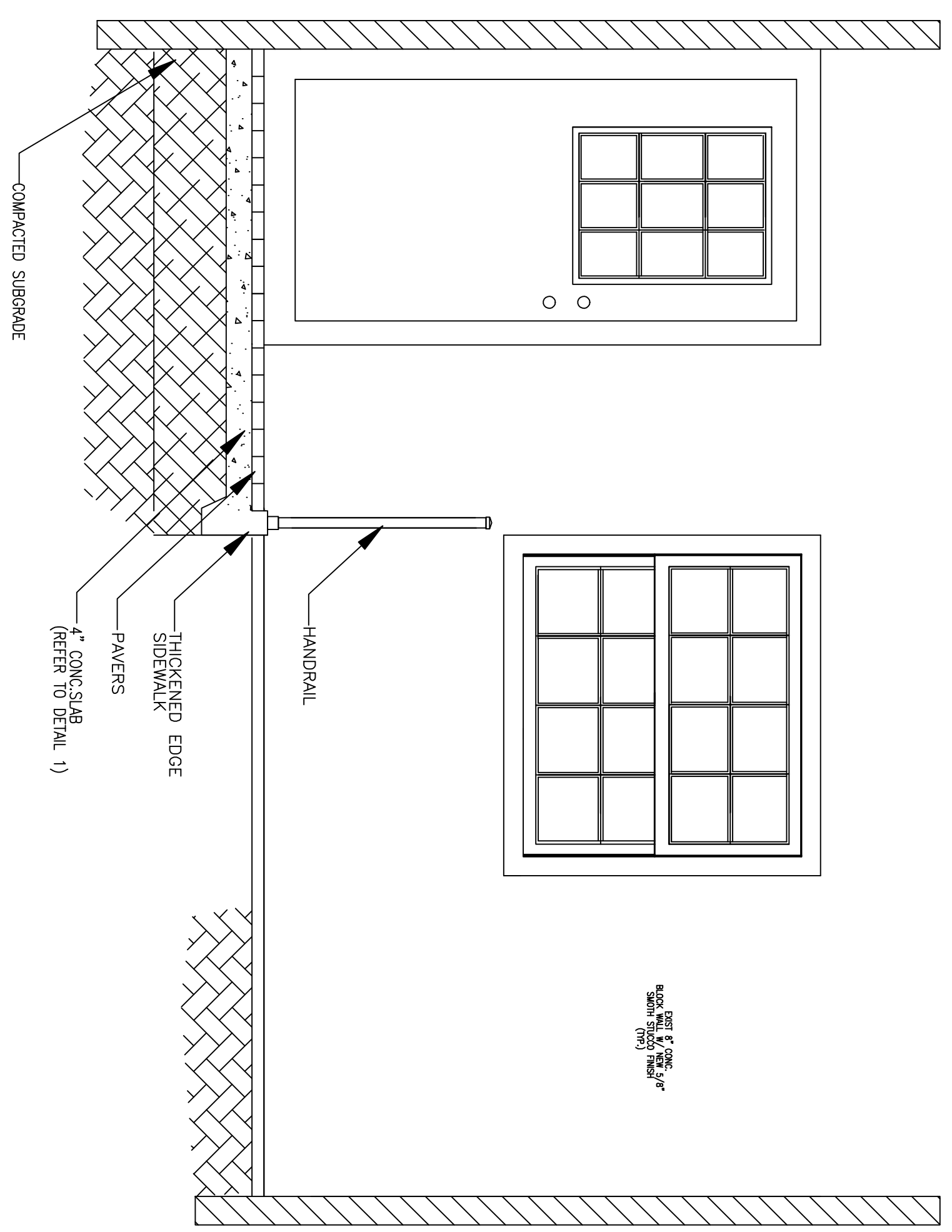
SLIP N' SLIDE RECORDS  
919 4TH STREET  
MIAMI BEACH, FL 33139

**CIVIL-CADD ENGINEERING**  
1313 SW 176th Way  
Pembroke Pines, FL 33025  
(305) 970-8881

SITE PLAN

DATE:	FULLTON J. SALAZAR	DRAWING NO.:	03-2510C-1
ARCHITECT:	44760000209	SHEET:	C-1
3571 HALEAH DRIVE			
HALEAH, FLORIDA			
PHONE: (305) 888-5682			

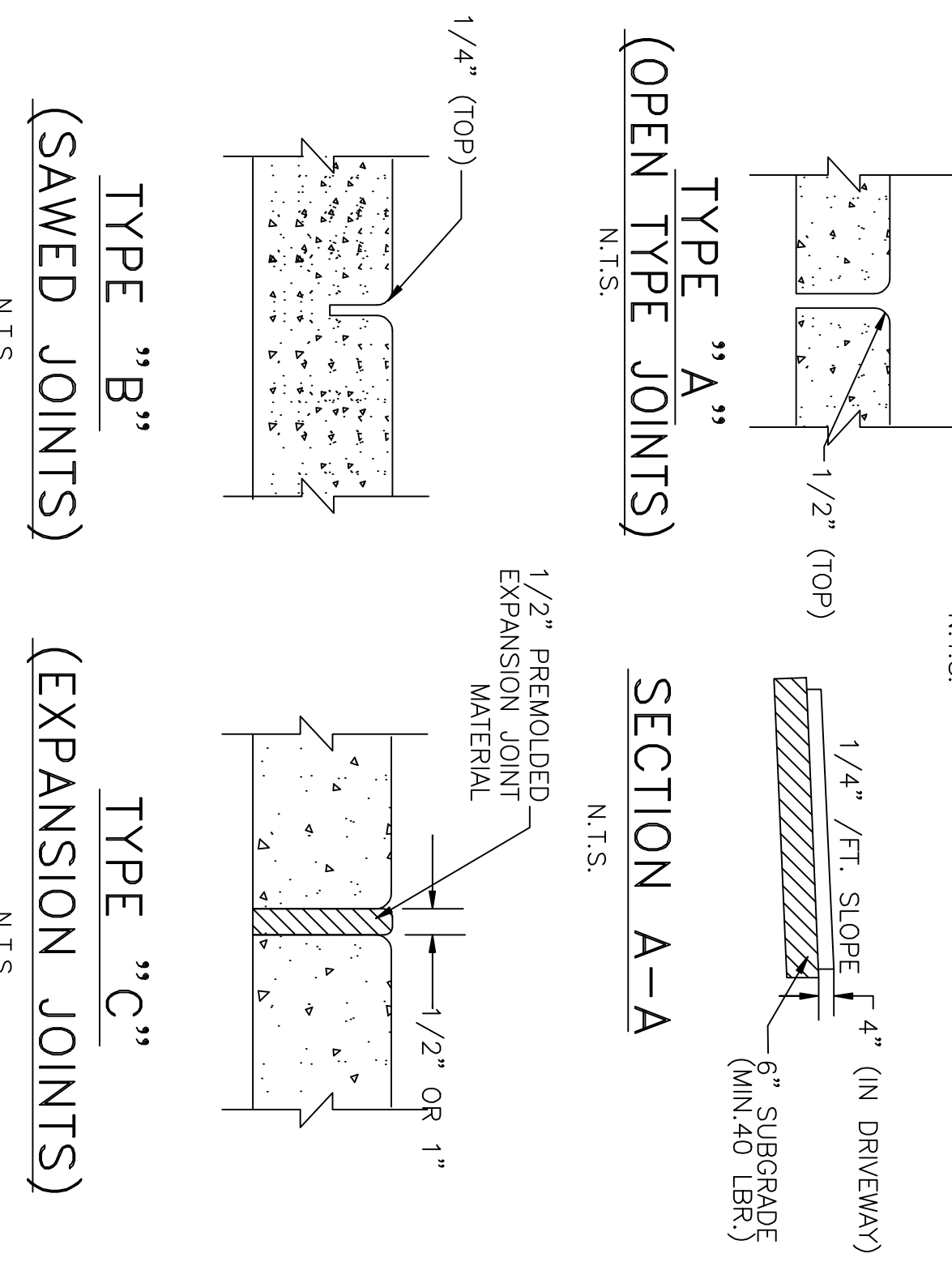
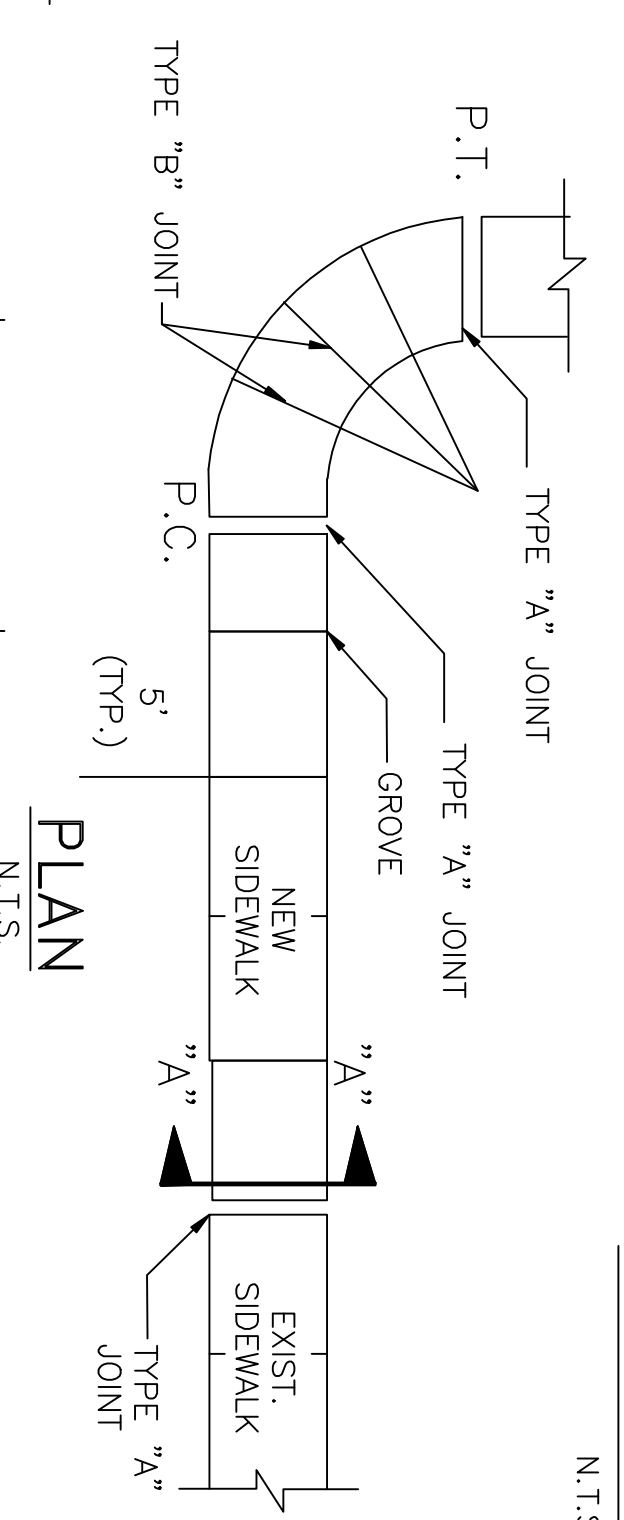




NOTE: TO F.D.O.T. INDEX 860 FOR MORE DETAIL  
**DETAIL 1**  
 N.T.S.

NOTE: CONTRACTOR TO CONFORM WITH MUNICIPALITY DETAILS  
**TYPICAL PAVER WALKWAY SECTION**  
 SECTION C-C  
 N.T.S.

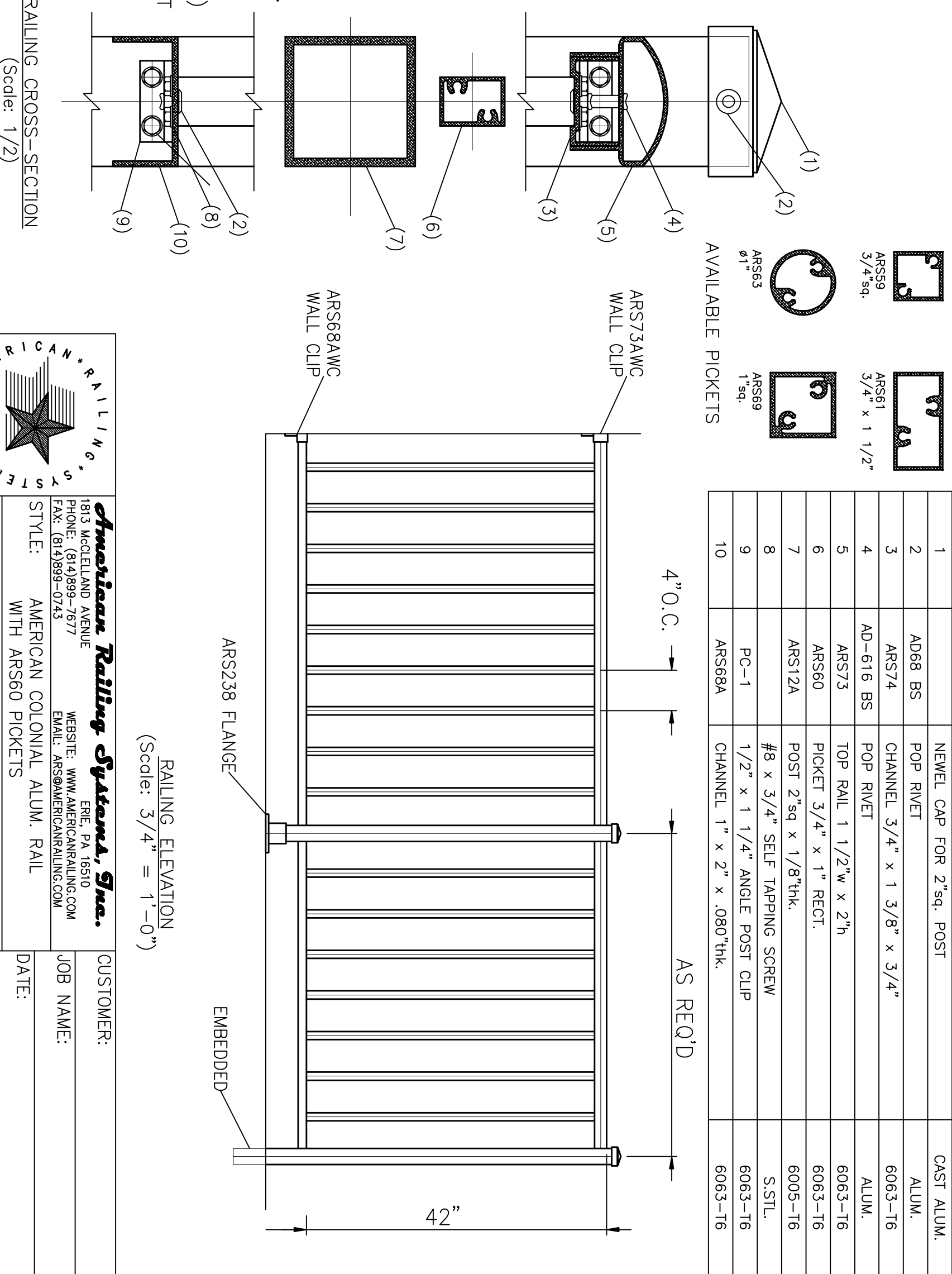
- 3-1/8" THICK UN-DECOR CONCRETE PAVERS BLOCK
- 1" BEDDING SAND
- 8" LIMEROCK OR COQUINA PLACED IN TWO EQUAL LIFTS TO A MIN. 98% MAX DRY DENSITY PER A.A.S.H.T.O. T-180 (LBR 100)
- 12" STABILIZED SUBGRADE TO 75 PSI FBV AND COMPACTED TO 98% AASHTO T-180



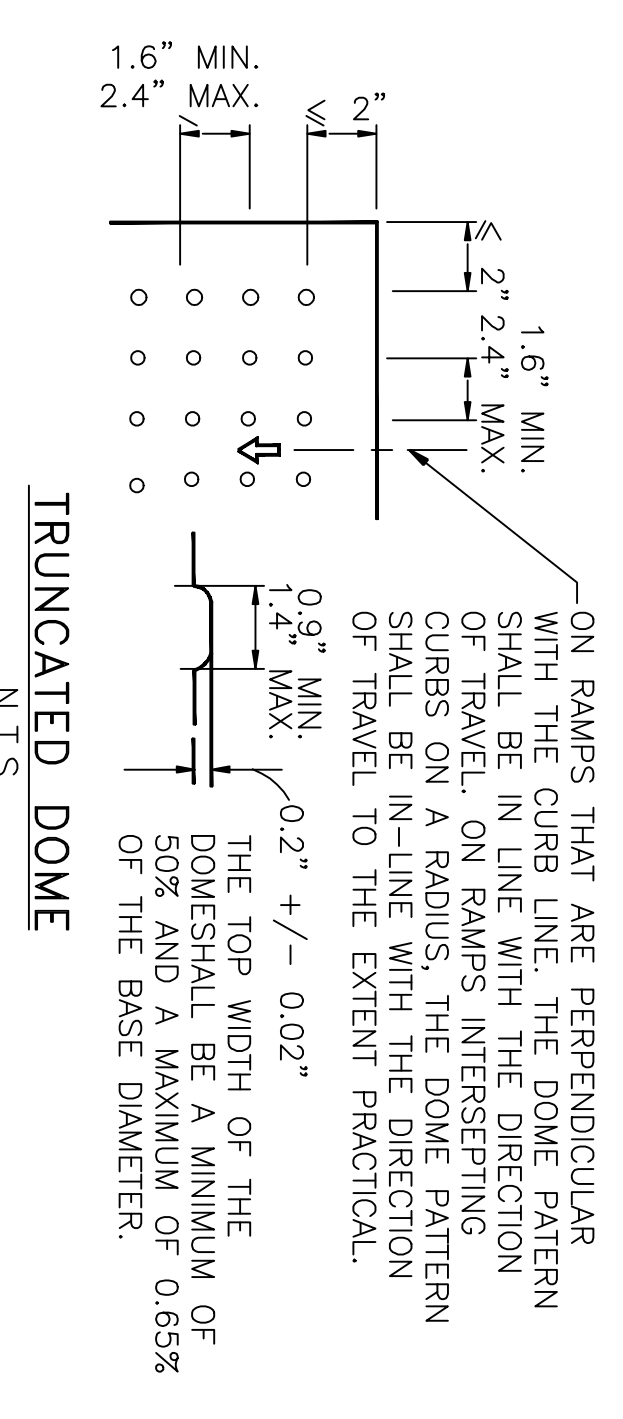
**NOTES:**

- ALL CONCRETE SHALL BE 3000 PSI.
- TYPE "A" JOINT TO BE USED AT P.C. AND PT OF CURVES AND JUNCTION OF EXISTING AND NEW SIDEWALK.
- TYPE "B" JOINT TO BE USED AT 5' (MAX.) CENTER TO CENTER SPACING ALONG SIDEWALKS. SIMILAR STRUCTURES.
- TYPE "C" JOINT TO BE USED WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIDEWALK SLOPE SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANDISABILITIES ACT (A.D.A.).
- ALL MUCK AND / OR UNSUITABLE MATERIAL MUST BE REMOVED IN ITS ENTIRETY TO 3 FEET BEYOND LIMITS OF SIDEWALK AND REPLACE WITH CLEAN FILL.
- SUBGRADE SHALL BE COMPACTED 95% OF MAXIMUM DRY DENSITY PER AASHTO T-180 AND HAVE MINIMUM LBR. OF 40.
- REFER TO SITE PLAN AND PAVING AND PAVER MARKINGS AND SIGNAGE PLANS FOR SIDEWALK LOCATIONS AND WIDTHS.
- ALL SIDEWALK CONSTRUCTION SHALL CONFORM TO F.D.O.T. STANDARDS/SPECIFICATIONS.

**SIDEWALK DETAIL**  
N.T.S.



**CURB RAMP DETECTABLE WARNING DETAIL**  
N.T.S.



**SIDEWALK CURB RAMPS**  
N.T.S.

**NOTES:**

- ALL SIDEWALK CURB RAMPS SHALL CONFORM TO THE DESIGN STANDARDS/REQUIREMENTS OF INDEX NO. 304 OF THE F.D.O.T. "DESIGN STANDARDS" (LATEST EDITION) AND BE IN COMPLIANCE WITH A.D.A. REQUIREMENTS.
- THE LOCATION AND ORIENTATION OF CURB RAMPS SHALL BE AS SHOWN ON THE PLANS.
- CURB RAMP RUNNING SLOPES SHALL NOT BE STEEPER THAN 1:12 AND CROSS SLOPES SHALL BE 0.02 OR FLATTER. TRANSITION SLOPE SHALL NOT BE STEEPER THAN 1:12. IF A CURB RAMP IS LOCATED WHERE PRESTRINGS MUST WALK ACROSS THE RAMP, THEN THE WALK SHALL NOT BE STEEPER THAN 1:12.
- CURB RAMPS DETECTABLE WARNING SURFACE SHALL EXTEND THREE FEET FROM THE BACK OF THE HEADER CURB USING DETECTABLE WARNING PAVERS.

DESIGNED BY: J. H.	ISSUED:
DRAWN BY: J. H.	ISSUED:
SUPERVISED BY: J. H.	ISSUED:
CHECKED BY:	ISSUED:
DATE:	ISSUED:
BY:	ISSUED:
REVISIONS:	

**MODIFICATION PER ADA CODE REQUIREMENTS CHANGE OF USE**

**SLIP N' SLIDE RECORDS**  
919 4TH STREET  
MIAMI BEACH, FL 33139

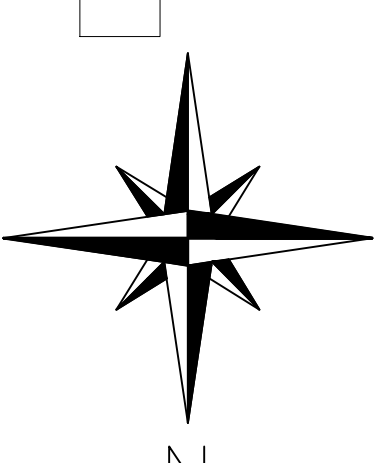
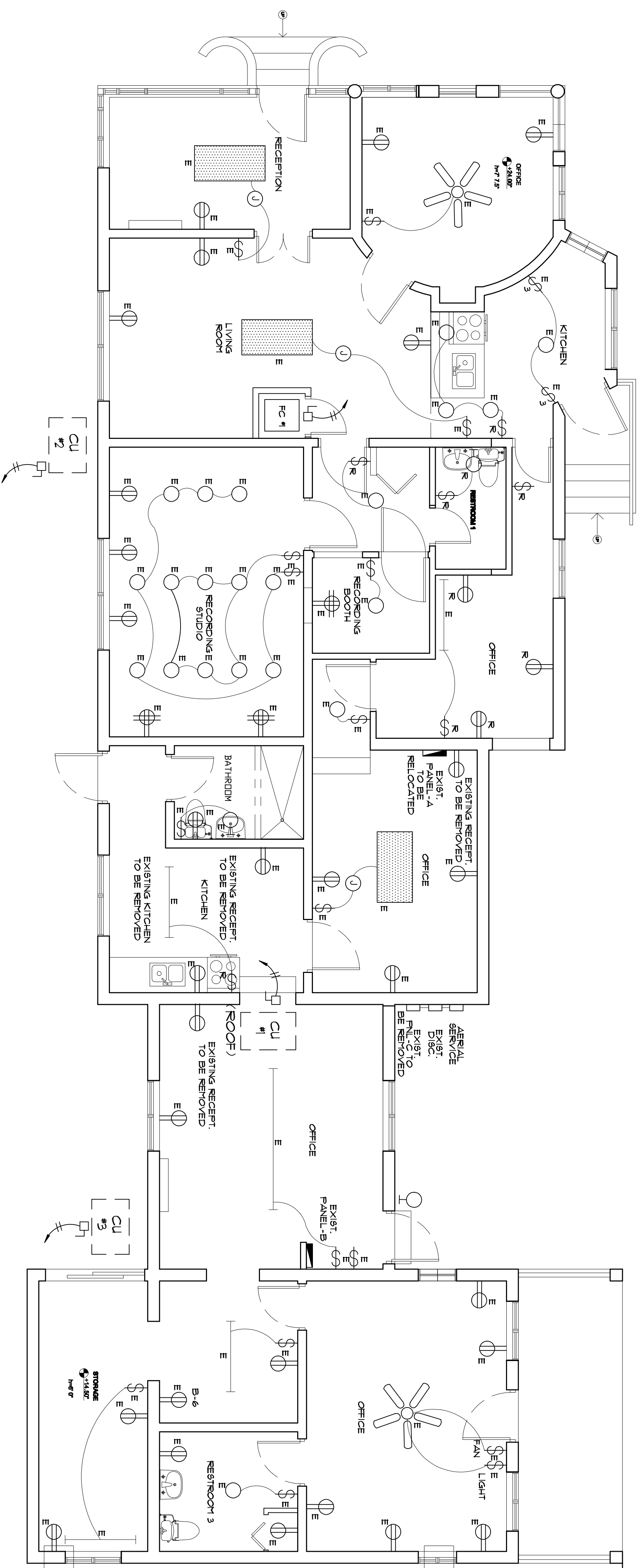
**CIVIL-CADD ENGINEERING**  
1313 SW 175 TH WAY  
PENSACOLA PINES FL 33025  
(905) 970-8881

**SECTIONS, DETAILS AND NOTES**

DATE: FILE: TON J. SALAZAR  
ARCHITECT A476/0000203  
381 HALEFLOIDA DRIVE  
HALEFLOIDA, FLORIDA  
PHONE: (305) 888-5682

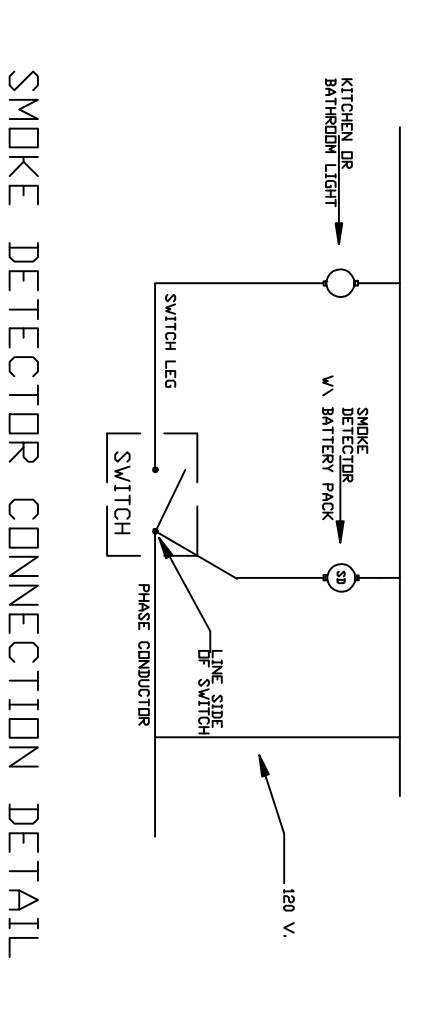


EXISTING ELECTRICAL PLAN  
SCALE 1"=0'-1 1/4"



**SCOPE OF WORK**

EXISTING LIGHTING SWITCHES, LIGHTING RECEPTACLES TO BE RELOCATED AS SHOWN  
PROVIDE NEW ELECTRICAL SERVICES TO COMPLY WITH NEC.  
PROVIDE NEW ELECTRICAL OUTLET FOR DRINKING FOUNTAIN  
PROVIDE NEW ELECTRICAL CIRCUIT FOR ADA PLATFORM  
RELOCATE EXISTING PANEL 'B' AS SHOWN

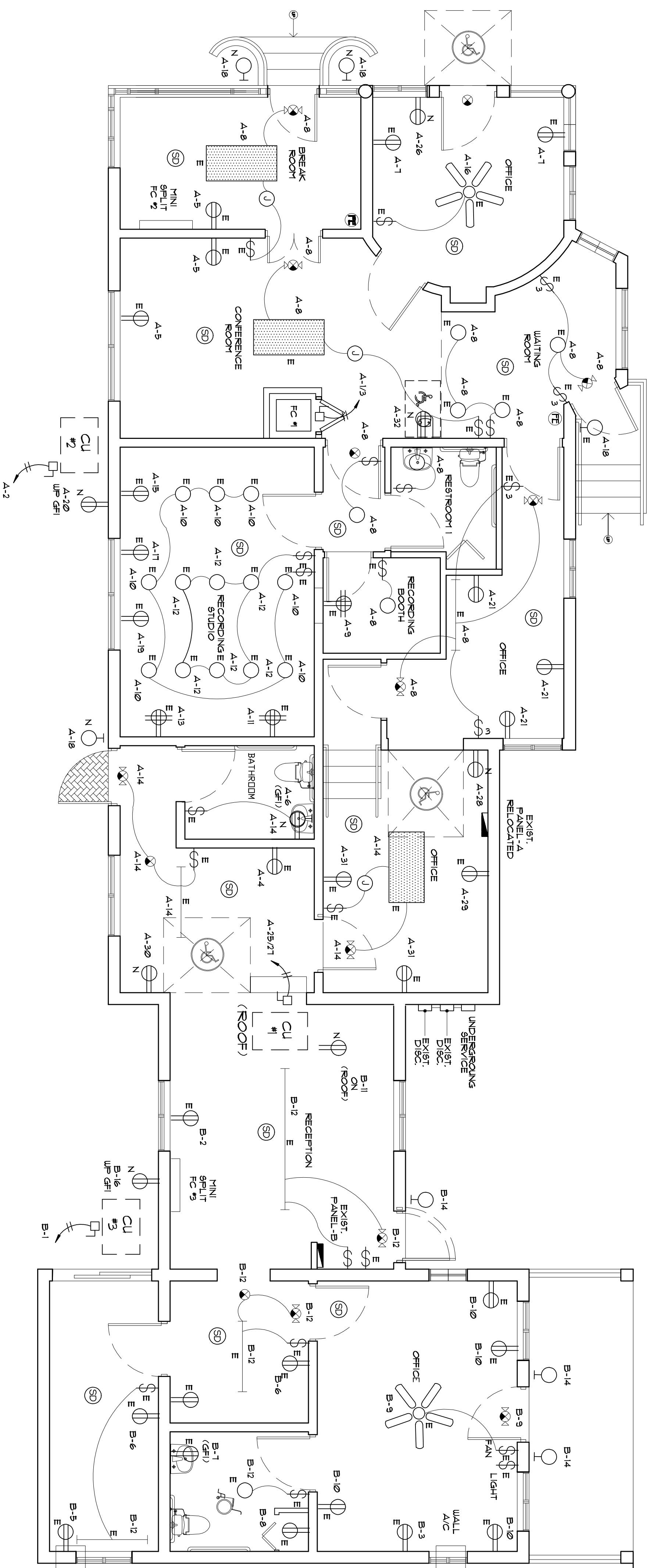


SMOKE DETECTOR CONNECTION DETAIL

**ELECTRICAL NOTES:**

1. Contractor shall furnish all labor, materials and equipment for complete electrical installation in accordance with these drawings.
2. Comply with the NEC, and the Florida Building Code.
3. Provide empty conduits as required for telephone system.
4. Obtain all permits for work under this contract.
5. Provide temporary power and light outlets for use by other trades.
6. Provide all required connections for other trades.
7. Coordinate all outlet locations with building architectural features.
8. Contractor shall visit the site to familiarize himself with all existing conditions.
9. All cable shall be copper.
10. Indoor conduits shall be EMT.
11. All mounting hardware shall be by contractor.
12. Outdoor underground conduits shall be schedule 40 PVC, under paved areas it shall be encased in concrete. Minimum cover shall be 24 inches.

PROPOSED ELECTRICAL PLAN  
SCALE 1"=0'-1 1/4"



**SYMBOL LEGEND**

	EXIT SIGN 120V WITH EMERGENCY LIGHT W/ BATTERY BACKUP (CONNECT AHEAD OF SWITCH)
	EXIT SIGN 120V W/ BATTERY BACKUP (CONNECT AHEAD OF SWITCH)
	SMOKE DETECTOR 120V W/ BATTERY BACKUP (CONNECT AHEAD OF SWITCH) (MIN. 36" FROM ANY A/C GRILL)
	EXIST. LIGHTING SWITCH TO BE RELOCATED
	EXIST. ELECTRICAL OUTLET TO BE RELOCATED
	RELOCATED LIGHTING SWITCH
	RELOCATED ELECTRICAL OUTLET
	EXIST. LIGHT TO BE RELOCATED
	RELOCATED LIGHT

NO.		DESIGNED BY:	ISSUED:	<b>MODIFICATION PER ADA CODE REQUIREMENTS CHANGE OF USE</b>	DATE:	<b>SLIP N' SLIDE RECORDS 919 4TH STREET MIAMI BEACH, FL 33139</b>	<b>CIVIL-CADD ENGINEERING</b> 1313 SW 175th WAY PENSACOLA PINES, FL 33025 (305) 970-8881		DRAWING No.
		DRAWN BY:	ISSUED:						10-2504 A-1
		SUPERVISED BY:	ISSUED:						SHEET
		CHECKED BY:	ISSUED:						E-1

TYPE: SQUARE 7" (OR APPROX EQUIV)	EXIST. PANEL - 'A'			MAIN BUS: 200A				
SERVICE: RESIDENCE	NEUTRAL: 200A			NEUTRAL: 200A				
VOLTAGE: 240/120V	PH: 3W			MAIN LUGS ONLY				
MOUNTING SURFACE	ALL 20 AMP, 1 POLE CKTS. EXCEPT AS NOTED			LOCATION: AS SHOWN				
AMPS	POLES	TOTAL VA	COND. SIZE	REMARKS	WIRE SIZE	TOTAL VA	POLE	AMPS
60	2	10,500	3/4"	FC #1	1	1,500	1	20
					2	1,500	1	20
					3	1,500	1	20
					4	1,500	1	20
					5	1,500	1	20
					6	1,500	1	20
					7	1,500	1	20
					8	1,500	1	20
					9	1,500	1	20
					10	1,500	1	20
					11	1,500	1	20
					12	1,500	1	20
					13	1,500	1	20
					14	1,500	1	20
					15	1,500	1	20
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					17	1,500	1	20
					18	1,500	1	20
					19	1,500	1	20
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					32	1,500	1	20
					33	1,500	1	20
					34	1,500	1	20
					35	1,500	1	20
					36	1,500	1	20
					37	1,500	1	20
					38	1,500	1	20
					39	1,500	1	20
					40	1,500	1	20
					41	1,500	1	20
					42	1,500	1	20

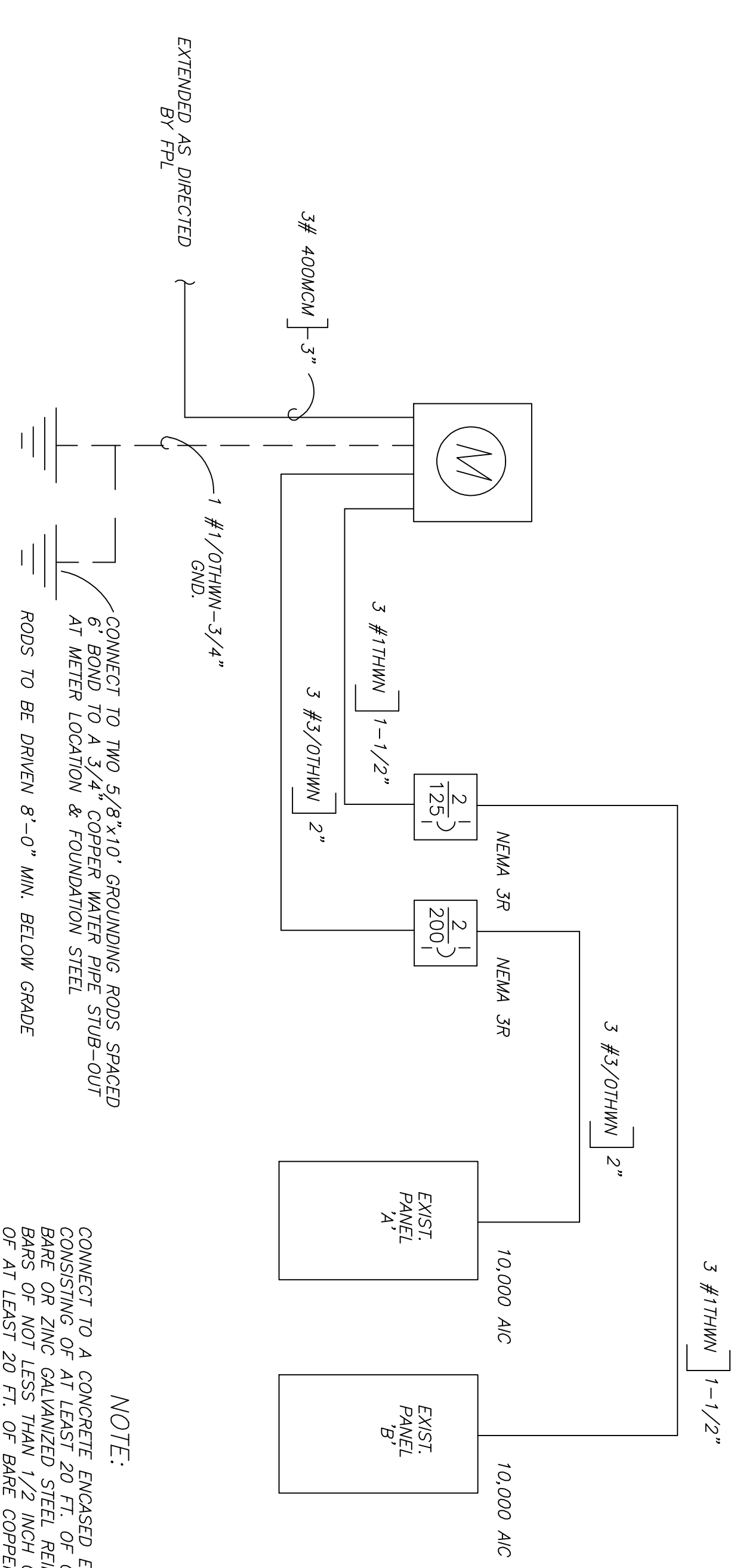
CONNECTED LOAD: 33,440 WATTS = 140 AMPS  
\*CONTROLLED BY TIME SWITCH

FEEDER: SEE RISER  
FED FROM: SERVICE

TYPE: SQUARE 7" (OR APPROX EQUIV)	EXIST. PANEL - 'B'			MAIN BUS: 125A				
SERVICE: RESIDENCE	NEUTRAL: 125A			NEUTRAL: 125A				
VOLTAGE: 240/120V	PH: 3W			MAIN LUGS ONLY				
MOUNTING SURFACE	ALL 20 AMP, 1 POLE CKTS. EXCEPT AS NOTED			LOCATION: AS SHOWN				
AMPS	POLES	TOTAL VA	COND. SIZE	REMARKS	WIRE SIZE	TOTAL VA	POLE	AMPS
20	1	1,500	1/2"	MINI SPLIT #3	1	360	1	20
20	1	1,500	1/2"	RECEPTACLES	2	360	1	20
20	1	1,500	1/2"	WALL A/C	3	360	1	20
20	1	1,500	1/2"	BATH (GF)	4	360	1	20
20	1	1,500	1/2"	RECEPTACLES	5	360	1	20
20	1	1,500	1/2"	RECEPTACLES	6	360	1	20
20	1	1,500	1/2"	RECEPTACLES	7	360	1	20
20	1	1,500	1/2"	RECEPTACLES	8	360	1	20
20	1	1,500	1/2"	RECEPTACLES	9	360	1	20
20	1	1,500	1/2"	RECEPTACLES	10	360	1	20
20	1	1,500	1/2"	RECEPTACLES	11	360	1	20
20	1	1,500	1/2"	RECEPTACLES	12	360	1	20
20	1	1,500	1/2"	RECEPTACLES	13	360	1	20
20	1	1,500	1/2"	RECEPTACLES	14	360	1	20
20	1	1,500	1/2"	RECEPTACLES	15	360	1	20
20	1	1,500	1/2"	RECEPTACLES	16	360	1	20
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20	1	1,500	1/2"	RECEPTACLES	22	360	1	20
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20	1	1,500	1/2"	RECEPTACLES	30	360	1	20
20	1	1,500	1/2"	RECEPTACLES	31	360	1	20
20	1	1,500	1/2"	RECEPTACLES	32	360	1	20
20	1	1,500	1/2"	RECEPTACLES	33	360	1	20
20	1	1,500	1/2"	RECEPTACLES	34	360	1	20
20	1	1,500	1/2"	RECEPTACLES	35	360	1	20
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20	1	1,500	1/2"	RECEPTACLES	37	360	1	20
20	1	1,500	1/2"	RECEPTACLES	38	360	1	20
20	1	1,500	1/2"	RECEPTACLES	39	360	1	20
20	1	1,500	1/2"	RECEPTACLES	40	360	1	20
20	1	1,500	1/2"	RECEPTACLES	41	360	1	20
20	1	1,500	1/2"	RECEPTACLES	42	360	1	20

CONNECTED LOAD: 11,680 WATTS = 48 AMPS  
\*CONTROLLED BY TIME SWITCH

FEEDER: SEE RISER  
FED FROM: SERVICE



# ELECTRIC RISER DIAGRAM n.t.s.

DESIGNED BY:	ISSUED:
DRAWN BY:	ISSUED:
SUPERVISED BY:	ISSUED:
CHECKED BY:	ISSUED:
NO.	DATE
REVISIONS	BY

MODIFICATION PER  
ADA CODE REQUIREMENTS  
CHANGE OF USE

SLIP N' SLIDE RECORDS  
919 4TH STREET  
MIAMI BEACH, FL 33139

CIVIL-CADD ENGINEERING  
1313 SW 175th WAY  
PENSACOLA FL 33025  
(305) 970-8881

PANEL SCHEDULE

DATE: FULTON J GALAZAR  
ARCHITECT AND ENGINEERS  
5111 N. W. 11th Ave  
MIAMI FL 33150  
PHONE: (305) 888-5662

DRAWING No. 10-2504 A-1  
SHEET E-2



**GENERAL PLUMBING NOTES**

1. ALL WORK SHALL CONFORM WITH ALL LOCAL, STATE, FEDERAL ORDINANCES AND BUILDING CODES GOVERNING THE INSTALLATION OF THE PLUMBING SYSTEM. IF WORK IS LAID OUT, INDICATED OR SPECIFIED IN CONTRARY TO OR CONFLICTS WITH LOCAL ORDINANCES, BUILDING CODES AND REGULATIONS, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE ARCHITECT/ENGINEER BEFORE SUBMITTING A BID. THE ARCHITECT/ENGINEER WILL THEN ISSUE INSTRUCTIONS AS HOW TO PROCEED.

2. THE DRAWINGS ARE TO BE CONSIDERED DIAGNOSTIC, NOT NECESSARILY SHOWING IN DETAIL OR TO SCALE ALL OF THE STRUCTURE, ARCHITECTURAL AND FINISH CONDITIONS SHALL GOVERN THE EXACT LOCATIONS. CONTRACTOR SHALL FOLLOW DRAWINGS IN LAYING OUT WORK. CHECK DRAWINGS OF ALL TRADES TO VERIFY SPACES IN WHICH WORK WILL BE INSTALLED AT ALL POINTS WHERE HEAD ROOM OR SPACE CONDITIONS APPEAR INADEQUATE. ARCHITECT/ENGINEER SHALL BE NOTIFIED BEFORE PROCEEDING WITH INSTALLATION. THIS CONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE FIELD SURVEYS AND VERIFY EXISTING CONDITIONS. THE FIELD OF WORK OF VARIOUS TRADES OR FOR PROPER EXECUTION OF THE WORK.

3. EXAMINE ALL DRAWINGS CAREFULLY PRIOR TO SUBMITTING A BID. CONTRACTOR WILL BE REQUIRED TO FINISH INSTALL AND/OR CONNECT WITH APPROPRIATE SERVICES ALL PLUMBING ITEMS SHOWN ON ANY OF THE ARCHITECTURAL, AIR CONDITIONING, ELECTRICAL AND STRUCTURE DRAWINGS WITH AN ADDITIONAL 15% ALLOWANCE FOR UNUSUAL CONDITIONS. CONTRACTOR SHALL NOTIFY IN WRITING THE ARCHITECT/ENGINEER IN WRITING THE SOLE EXPERIENCE OF CONTRACTOR.

4. INSTALL MATERIALS AND EQUIPMENT IN A NEAT AND FIRST CLASS WORKMANLIKE MANNER. THE OWNER RESERVES THE RIGHT TO DIRECT REMOVAL AND REINSTALLATION OF ITEMS WHICH APPEARANCE, REMOVAL AND REINSTALLMENT IS TO BE DONE IMMEDIATELY WHEN DIRECTED BY THE OWNER IN WRITING, AT THE SOLE EXPERIENCE OF CONTRACTOR.

5. START OF WORK BY CONTRACTOR SHALL BE CONSIDERED AS ACCEPTANCE BY HIM OF ALL CLAIMS OR QUESTIONS AS TO SUITABILITY OF THE WORK OF OTHER TRADES AS TO CONTRACTORS TO BE DONE PRIOR TO WORKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL PLUMBING WORK WHICH MAY HAVE TO BE REMOVED BECAUSE OF INTERFERENCE WITH OTHER TRADES.

6. THIS CONTRACTOR SHALL OBTAIN AND PAY ALL INSURANCE FEES, PERMITS, ASSOCIATION DUES, ROYALTIES AND TAXES OF WHATEVER NATURE SHALL APPLY TO HIS WORK. HE SHALL ALSO PAID ALL THE INSPECTION FEES AS MAY BE REQUIRED BY LAW OR ORDINANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND EXPENSE ARISING FROM ANY VIOLATION OF LAWS, RULES OR ORDINANCES.

**1. PROVIDE MEANS FURNISH AND INSTALL:**

8. DO A COMPLETE JOB. EVERYTHING CONNECTED, READY FOR USE. SHOW DRAWINGS. CONTRACTOR SHALL FURNISH THE ENGINEER WITH ALL NECESSARY INFORMATION AND EQUIPMENT PRIOR TO PURCHASE FOR APPROVAL.

9. AT COMPLETION OF JOB THE PLUMBING CONTRACTOR SHALL GIVE THE OWNER AN AS-BUILT SET OF REPRODUCIBLE SETPLANS SHOWING THE EXACT LOCATION OF ALL INSTALLATIONS.

10. THE PLUMBING CONTRACTOR SHALL WARRANT ALL WORKMANSHIP AND MATERIALS FOR ONE YEAR FROM THE DATE OF FINAL WORK ACCEPTANCE BY OWNER. ANY BREAKDOWN OCCURRING IN FIRST YEAR SHALL BE REPAIRED AT NO EXPENSE TO THE OWNER.

11. PROVIDE BATHROOM FIXTURES AS SPECIFIED.

12. PROVIDE SHUT-OFF VALVE FOR EACH FIXTURE.

13. BRASS/BRONZE UNIFORM MATERIALS ARE TO BE JOINED. A D.I. ELECTRIC FITTING SHALL BE PROVIDED TO CONNECT BOTH TYPES OF PIPES.

14. PLUMBING CONTRACTOR SHALL PROVIDE AIR CONDITIONING CONDENSATE DRAIN AND VENT. SEE AIR CONDITIONING PLANS FOR LOCATION OF UNITS AND DRAINING.

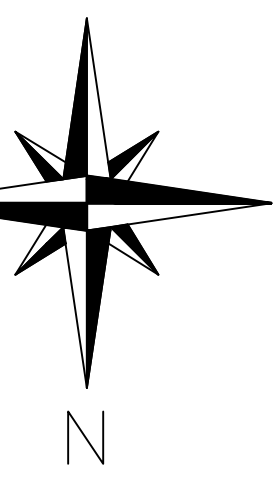
15. MATERIALS:

16. COLD WATER PIPING DOWNSTREAM OF WATER METER SHALL BE TYPE "L" COPPER BELOW GROUND AND TYPE "M" COPPER ABOVE GROUND. BOLD WATER PIPES INSIDE OF SLAB SHALL BE TYPE "K" SOFT COPPER. SANITARY WASTE AND VENT "1" AND SMALLER SHALL BE CAST IRON. HUBLESS SOIL PIPE.

17. DRAIN LINES INSIDE BUILDING SHALL BE CAST IRON HUBLESS SOIL PIPE. STOREY LINES OUTSIDE BUILDING IN PARKING AREA SHALL BE CORRUGATED EN COASTAL. HEADS ALL SANITARY AND STOREY PIPING OUTSIDE OF BUILDING SHALL BE SCHEDULE 40, P.V.C. CONDENSATE DRAIN PIPE SHALL BE SCHEDULE 40 P.V.C. PIPE AND FITTINGS. QUATER WATER RELIEF AND DRAIN LINE SHALL BE TYPE "L" COPPER. 1/4"

**LEGEND**

SYMBOL	DESCRIPTION
—	COLD WATER PIPE (CW)
—	HOT WATER PIPE (HW)
—	GAS PIPE
—	GATE VALVE
—	PLUG VALVE
—	HOSE BIBB (W/VACUUM BREAKER)
—	CONNECT NEW TO EXISTING
—	BRITISH THERMAL UNITS PER HOUR
—	COLD WATER
—	HOSE BIBB
—	HOT WATER
—	P 4 T PRESSURE & TEMPERATURE TO BE REMOVED
—	TBR HOT WATER RETURN
—	TYP TYPICAL
—	PREFIX INDICATES EXISTING



**SCOPE OF WORK**

EXIST. KITCHEN TO BE DEMOLISHED. FIXTURE TO BE REMOVED & CAPPED OFF. PROVIDE ALL HANDICAP BATHROOM WITH GRAB BARS. PROVIDE NEW DRINKING FOUNTAIN.

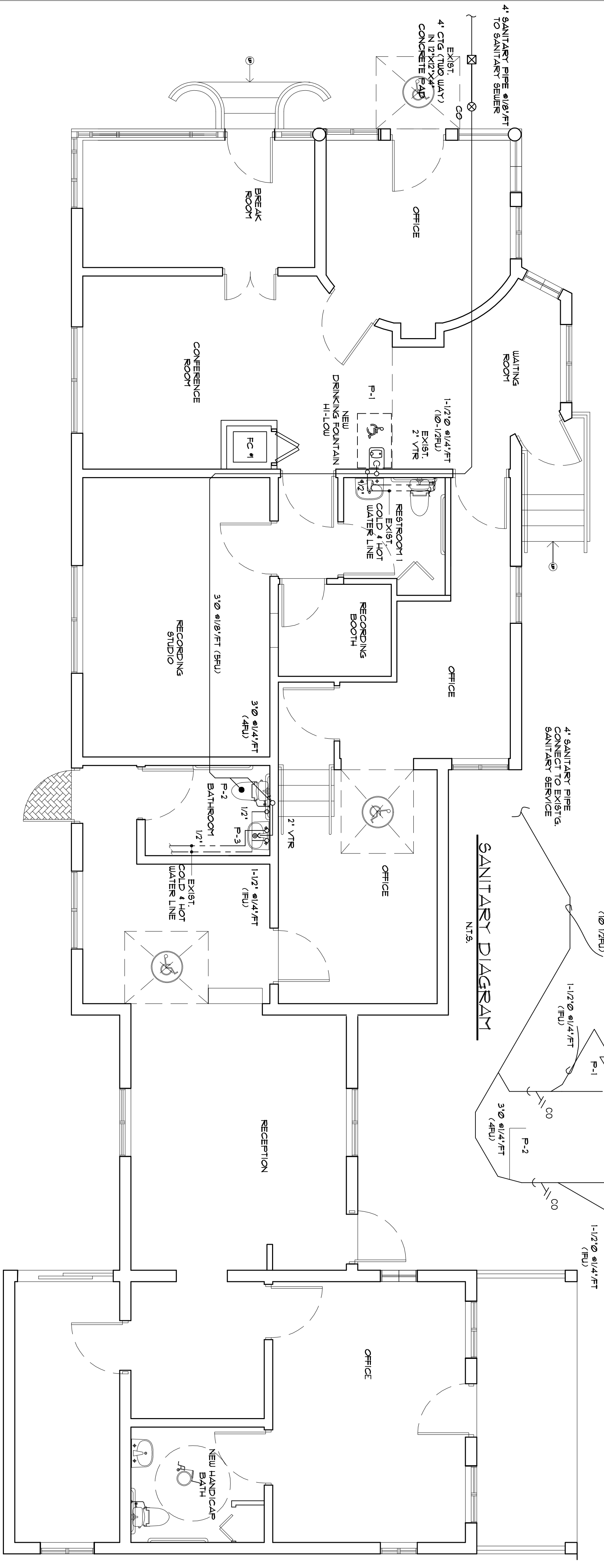
**FIXTURE CONNECTION SCHEDULE**

ITEM	WASTE SOIL	COLD WATER	HOT WATER
(P1) DRINKING F.	1-1/2"	1/2"	1/2"
(P2) WATER CLOSET	3"	1/2"	-
(P3) LAVATORY	1-1/2"	1/2"	1/2"

**MAXIMUM FLOW RATES AND CONSUMPTION FOR PLUMBING FIXTURES**

PLUMBING FIXTURE	MAXIMUM FLOW RATE OR QUANTITY
LAVATORY, PUBLIC	0.5 GPM AT 80 PSI
SHOWER HEAD	1.5 GPM AT 80 PSI
SINK FAUCET	1.5 GPM AT 60 PSI
WATER CLOSET	128 GALLONS PER FLUSHING CYCLE

PROPOSED PLUMBING PLAN  
SCALE 1"=0'-1 1/4"



**FIXTURE APPROVAL (COMPLIANCE)**

DRINKING FOUNTAIN SHALL CONFORM TO AS/ME A112.19.1, A112.19.2 OR A112.19.3

DRINKING FOUNTAIN SHALL CONFORM TO AS/ME A112.19.1, A112.19.2, AS/ME 112.19.3, AS/ME 112.19.4, AS/ME A112.19.9, C6A B45.1, C6A B45.2, C6A B45.3 OR C6A B45.4

LAVATORIES SHALL CONFORM TO ANZI Z124.3 AS/ME A112.19.1, AS/ME A112.19.2, AS/ME 112.19.3, AS/ME A112.19.4, AS/ME A112.19.9, C6A B45.1, C6A B45.2, C6A B45.3 OR C6A B45.4

PREFABRICATED SHOWERS AND SHOWER COMPARTMENTS SHALL CONFORM TO AS/ME A112.19.9 OR C6A B45.5

SINKS SHALL CONFORM TO ANZI Z124.6 AS/ME A112.19.1, AS/ME A112.19.2, AS/ME 112.19.3, AS/ME A112.19.4, AS/ME A112.19.9, C6A B45.1, C6A B45.2, C6A B45.3 OR C6A B45.4

WATER CLOSETS SHALL CONFORM TO THE WATER CONSUMPTION REQUIREMENTS AND SHALL CONFORM TO ANZI Z124.4, AS/ME A112.19.2, C6A B45.1, C6A B45.4 OR C6A B45.5

WATER CLOSETS SHALL CONFORM TO THE HYDRAULIC PERFORMANCE REQUIREMENT OF AS/ME A112.19.2. WATER CLOSETS TANKS SHALL CONFORM TO ANZI Z124.4, AS/ME A112.19.2 AS/ME A112.19.9, C6A B45.1, C6A B45.5 OR C6A B45.5

DESIGNED BY:	ISSUED:
DRAWN BY:	ISSUED:
SUPERVISED BY:	ISSUED:
CHECKED BY:	ISSUED:
DATE:	DATE:
REVISIONS:	

**MODIFICATION PER ADA CODE REQUIREMENTS CHANGE OF USE**

**SLIP N' SLIDE RECORDS**  
919 4TH STREET  
MIAMI BEACH, FL 33139

**CIVIL-CADD ENGINEERING**  
1313 SW 175 TH WAY  
PENSACOLA PINES, FL 33025  
(305) 970-8881

**PLUMBING PLAN**

DATE: FULL TON J SALAZAR  
ARCHITECT A44202002809  
1111 E 14TH ST  
MIAMI BEACH, FL 33139  
PHONE: (305) 888-5662

DRAWING No. 10-2504 A-1  
SHEET P-1