

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS  
OF CHAPTER 553, PART II, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

**1. Name and address of project for which the waiver is requested.**

Name: VENEZIA HOTEL

Address: 3865 INDIAN CREEK DRIVE  
MIAMI BEACH, FL 33140

**2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:**

Applicant's Name: MICHAEL REINSTEIN, ARCHITECT

Applicant's Address: 10940 BIRCHWOOD PLACE, PEMBROKE PINES, FL 33026

Applicant's Telephone: 786.546.4739 FAX: 954.944.1977

Applicant's E-mail Address: MIKENELLE AOL.COM

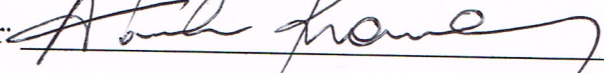
Relationship to Owner: ARCHITECT

Owner's/Tenant's Name: VENEZIA HOTEL, LLC

Owner's Address: 210-71<sup>ST</sup> ST., #309, MIAMI BEACH, FL 33141

Owner's Telephone: 786.236.8569 FAX 305.935.0967

Owner's E-mail Address: AVIKRAMER@YAHOO.COM

Signature of Owner: 

**3. Please check one of the following:**

New construction.

- Addition to a building or facility.
- Alteration to an existing building or facility.
- Historical preservation (addition).
- Historical preservation (alteration).

4. **Type of facility.** Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

3 STORY APARTMENT/HOTEL BLDG BUILT AROUND 1947 WITH  
A TOTAL OF 22,186 SQ. FT. STRUCTURAL FRAME IS REINFORCED  
CONCRETE BLOCK EXTERIOR WALLS WITH WOOD FRAME INTERIOR WALLS  
AND FLOORS. BLDG. IS APPROVED FOR 46 APT. RMS & 5 HOTEL RMS. TWO ADA ROOMS ARE

5. **Project Construction Cost** (Provide cost for new construction, the addition, or the alteration): LOCATED ON THE 2<sup>ND</sup> FLOOR.

6. **Project Status:** Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design  Under Construction\*

In Plan Review  Completed\*

\* Briefly explain why the request has now been referred to the Commission.

THE VENEZIA HOTEL HAS APPLIED FOR A BUILDING PERMIT  
TO INSTALL A NEW CENTRAL A/C SYSTEM, GENERAL REPAIRS  
TO STUCCO, CRACK REPAIRS AND PATCHING, NEW STOREFRONT  
WINDOWS AND DOORS AND NEW CERAMIC TILE ON THE FIRST  
FLOOR AND EXTERIOR TERRACE. THE CITY'S STAFF HAS REQUIRED  
THE APPROVAL OF THE F.B.C. FOR THE NON-CONFORMING  
CONDITIONS OF THIS BUILDING: SPLIT LEVEL GROUND FLOOR & ELEVATOR...

7. **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

**Issue**

FBC 2012-01  
 Request for Waiver

Rule 61G20-4.001  
 effective 4/25/2013

1: COMPLIANCE WITH FLORIDA STATUTES, SECTION 553.509.

Issue

2:

Issue

3:

8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

THE VENEZIA HOTEL RESIDES IN THE HISTORIC DISTRICT OF MIAMI BEACH. ANY REMODELING TO PROVIDE ACCESSIBILITY TO ALL PARTS OF THE GROUND FLOOR AND TO INCREASE THE SIZE OF THE ELEVATOR SHAFT WOULD REQUIRE SUBSTANTIAL REMODELING TO THE HISTORIC HOTEL LOBBY.

Substantial financial costs will be incurred by the owner if the waiver is denied.

COMPLIANCE WITH FL. STATUTES, SECTION 553.512 WOULD INCREASE THE CONSTRUCTION COSTS BY 300%+. THEREFORE THE OWNERS REQUEST A WAIVER AS DEFINED IN 28 CFR 5.36.403(f)(i). SUBSTANTIAL STRUCTURAL STRUCTURAL AND RE-DESIGN OF THE GROUND FLOOR PLAN WOULD BE REQUIRED TO BE ADA COMPLIANT.

The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

SEE ATTACHED CONSTRUCTION COSTS ESTIMATES/BUDGETS AND PHOTOGRAPHS.

9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

- a. SEE ATTACHED COSTS ESTIMATES/BUDGETS

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- b. \_\_\_\_\_

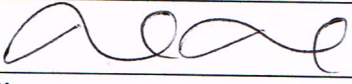
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- c. \_\_\_\_\_

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10. **Licensed Design Professional:** Where a licensed design has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

THE WAIVER IS NECESSARY BECAUSE THE CITY OF MIAMI BEACH  
REQUIRES THE WAIVER FOR THE NON-CONFORMING ITEMS.  
SEE BELOW FOR LIST OF ITEMS :

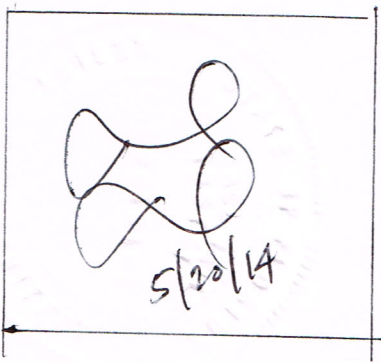


Signature

MICHAEL REINSTEIN, ARCHITECT  
 Printed Name AR 13161

Phone number 786.546.4739

(SEAL)

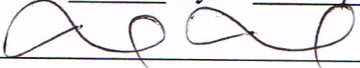


1. SPLIT LEVEL OF THE GROUND FLOOR WHICH IS COMPRISED OF THE LOBBY & GUEST ROOMS.
2. REQUIRED SIZE OF ELEVATOR DOOR IS 36" PROVIDED IS :
3. REQUIRED SIZE OF CAB OF ELEVATOR IS : 51" x 66". PROVIDED IS :
4. REQUIRED SIZE OF ELEVATOR FOYER AT ROOF IS TO PROVIDE A 54" TURN AROUND. PROVIDED SIZE IS : 6'-4" x 4'-2"

**CERTIFICATION OF APPLICANT:**

I hereby declare that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 20 day of MAY, 2014

  
\_\_\_\_\_

Signature

MICHAEL REINSTEIN, ARCHITECT.

Printed Name

I understand that if I falsify, misrepresent, or omit any material information on this document, the Commission may revoke any order and will notify the building official of the permitting jurisdiction.

KNOWINGLY MAKING A FALSE STATEMENT IN WRITING WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OFFICIAL DUTY IS A MISDEAMEANOR OF THE SECOND DEGREE PURSUANT TO SECTION 837.06 F.S. AND SECTION 775.083, F.S.

**REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.**

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

a. Florida Statutes 553.509 Vertical Accessibility to all levels requirement. / 2010 FBC. Accessibility Code (FAC). 202 Requirements for existing buildings.

b. \_\_\_\_\_

c. \_\_\_\_\_

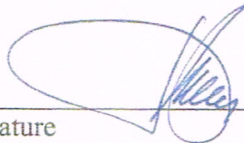
Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

Yes       No Cost of Construction      \$155,850 (Cost of the proposed projects plus work in the pass three years.

Comments/Recommendation: Changing the elevator size will be disproportionate to the cost of construction according with FAC section 202.3 Exception 1 and the information provided by the applicant. In addition, it will be technically infeasible to increase the elevator size and to install a wheelchair lift in the split level due to existing constrains and because the stair is part of the required means of egress.

Jurisdiction City of Miami Beach

Building Official or Designee



Signature

Mariano Fernandez, PE.

Printed Name

BU689

Certification Number

305-673-7610 ext. 6288/ 305-535-7513

Telephone/FAX

marianofernandez@miamibeachfl.gov

Email Address

Address: 1700 Convention Center Dr. Miami Beach, FL 33139, 2<sup>ND</sup> Floor, Miami Beach, FL

## THE VENEZIA HOTEL CONSTRUCTION BUDGET

23-May-13

SCOPE OF WORK: ENLARGE EXISTING ELEVATOR SHAFT TO ACCOMMODATE NEW 2500# ELEVATOR WITH TWO STOPS ON GROUND LEVEL. REMODEL GROUND LEVEL TO PROVIDE ACCESSIBLE ROUTE. ENLARGE ELEVATOR VESTIBULE AT ROOF.

<u>DIV.</u>	<u>DESCRIPTION</u>	<u>QTY</u>	<u>COST</u>	<u>UNIT</u>	<u>MATERIALS</u>	<u>TOTAL</u>
<b>2</b>	<b><u>GENERAL CONDITIONS</u></b>					
	SUPERVISOR/LABORER - 8 MOS.	1	\$88,000	L.S.		\$88,000
	TRASH REMOVAL	1	\$13,000	L.S.		\$13,000
	TEMPORARY PROTECTION	1	\$23,000	L.S.		\$23,000
<b>2</b>	<b><u>DEMOLITION</u></b>	1	\$44,000	L.S.		\$44,000
	ALL OR A PORTION OF THE ELEVATOR SHAFT. APPROX. 800 S.F. OF THE GROUND FLOOR INTERIOR WALLS					
<b>3</b>	<b><u>STRUCTURAL/CONCRETE WORK</u></b>	1	\$115,000	L.S.		\$115,000
	BUILD NEW ELEVATOR SHAFT WITH NEW FOUNDATIONS					
<b>5</b>	<b><u>FRAMING &amp; DRYWALL</u></b>	1	\$56,500	L.S.		\$56,500
	NEW INTERIOR WALLS, NEW CEILINGS, PATCH/REPAIR EXISTING WALLS, BACKING, FURRING.					
<b>5</b>	<b><u>METALS</u></b>					
	MISC. STRUCTURAL STEEL	1	\$5,000	L.S.		\$5,000
<b>8</b>	<b><u>DOORS</u></b>					
	INTERIOR SC WOOD DOORS, SUPPLIED & INSTALLED	4	\$750	EACH		\$3,000
<b>8</b>	<b><u>DOOR HARDWARE - SUPPLIED BY OTHERS</u></b>					
	INSTALLATION ONLY	4	\$225	EACH		\$900
<b>9</b>	<b><u>INTERIOR FINISHES - PAINTING &amp; TILE</u></b>	1	\$25,000	L.S.		\$25,000
<b>15</b>	<b><u>A/C</u></b>					
	NEW DUCTWORK	1	\$3,500	L.S.		\$3,500
<b>15</b>	<b><u>PLUMBING - NO WORK REQUIRED</u></b>	1	\$0	L.S.		\$0
<b>16</b>	<b><u>ELECTRICAL</u></b>	1	\$25,000	L.S.		\$25,000
	NEW ELECTRIC FOR ELEVATOR AND REMODELED AREA.					
						\$401,900
	<b><u>NOT IN BUDGET</u></b>					
	PERMIT/GOVERNMENTAL FEES				CONTINGENCIES (15%)	\$80,380
	CARPET & WALLCOVERING				OVHD. & FEE (18%)	\$72,342
	LIGHT FIXTURES & TRANSFORMERS					\$72,342
					<b>TOTAL PROJECT BUDGET</b>	<b>\$554,622</b>

DECORATIVE ITEMS/ACCESSORIES



JMR CONSTRUCTION CO., INC.  
P.O. BOX 770871  
CORAL SPRINGS, FL 33077  
305/970-4434  
CBC#1252630

May 14, 2014

Avi Kramer,  
Venezia Hotel  
3865 Indian Creek Dr.  
Miami Beach, FL 33140

Re: Elevator Enlargement

Avi,

Below is our proposal to enlarge the existing elevator shaft to accommodate a larger elevator, including the openings on 3 floors and the roof structure. In addition to the foregoing to provide ADA access ramps on the ground floor

Proposal includes electrical and mechanical sub-contractors, material and labor necessary to perform the foregoing work.

Proposal does not includes plans nor permits.

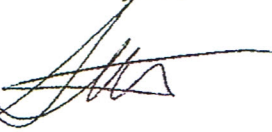
Price: \$ 595,000

Deposit: \$ 50,000

Monthly Progress Payments

10% Retainage

Thank you,



S. Lyle Robertson  
President



MICHAEL NEIL, INC.

ARCHITECTURE & CONSTRUCTION

June 24, 2014

Florida Building Commission  
1940 North Monroe Street  
Tallahassee, FL 32399-0772

Re: Venezia Hotel  
3865 Indian Creek Drive  
Miami Beach, FL

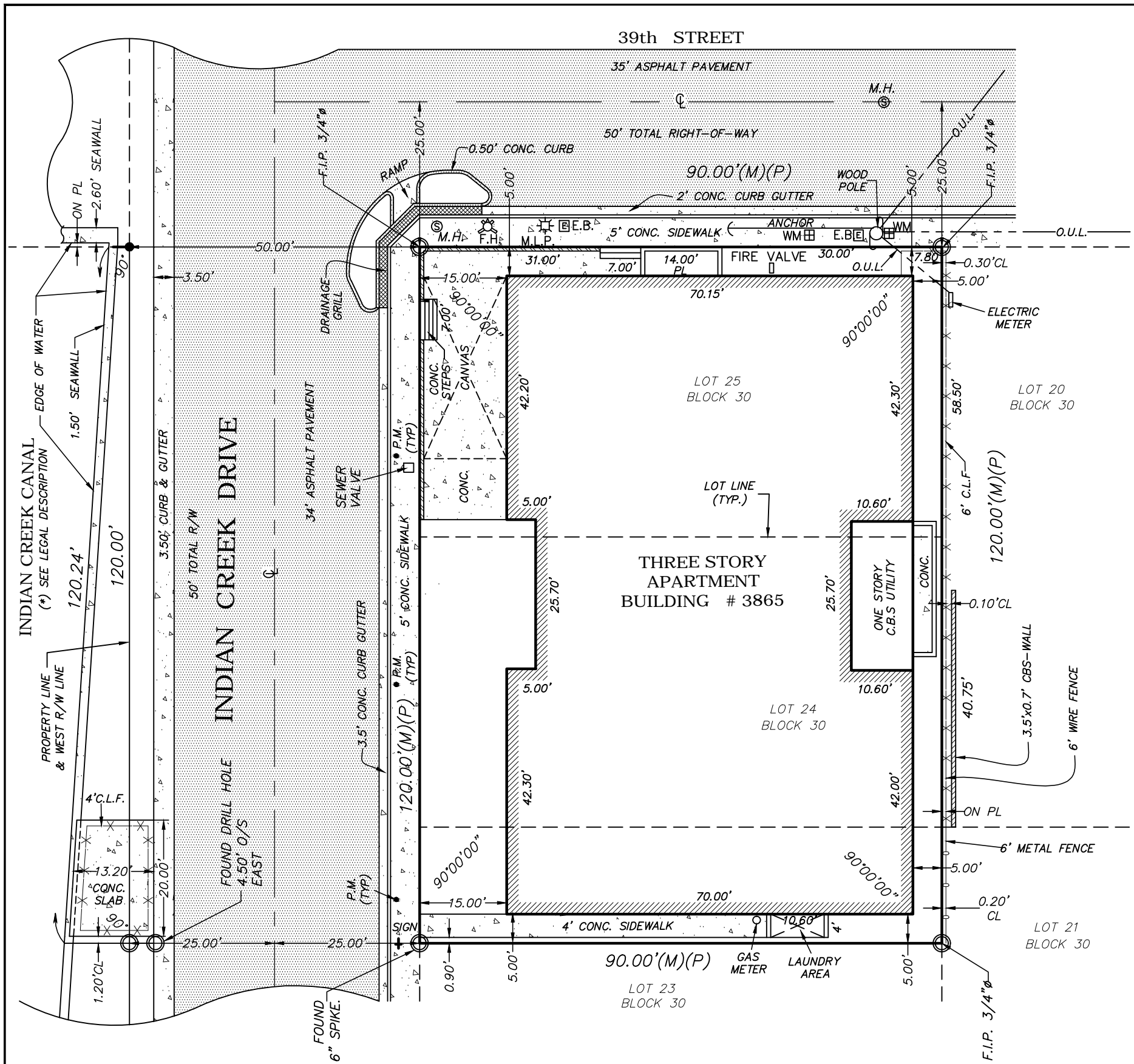
To Whom It May Concern:

The application for a waiver from the Florida Building Commission was prompted by a submittal to install new air conditioning for the hotel and other misc. repairs. The City of Miami Beach Staff has asked the Owners to receive waivers as outlined in our application.

The costs to bring the Venezia Hotel, built around 1947, into compliance with the elevator standards and accessibility for the ground floor would be tremendous. Attached are two constructions costs proposals. The Venezia Hotel has two accessible rooms on the 2<sup>nd</sup> floor.

Sincerely,

Michael Reinstein, President  
Michael Neil, Inc



Bearing, if any, shown based on N/A (reference) N/A

REVISIONS:

FLOOD ZONE	COMM. No.	PANEL No.	SUFFIX:
AE	120651	0336	L
F.I.R.M.DATE	F.I.R.M.INDEX	BASE ELEV.	
09/11/09	09/11/09	+ 7 FT N.G.V.D.	

ELEVATION NOTE: (IF APPLICABLE)

L.F.Elev. = 6.0' (lowest habitable floor elevation).  
 Elevation shown hereon refer to N.G.V.D. 1929.  
 Lowest adjacent grade elevation = 3.6'.  
 BM. # B-313 (MIAMI-DADE). Elev. = 4.33'.  
 Garage Elev. = N/A. Erp. = N/A.

Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper.

"THIS SURVEY DECLARATION IS MADE ON THE FIELD DATE INDICATED, TO THE OWNER(S) LISTED. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

This property described as:  
 lots 24 and 25 and the north 20.0 feet of lot 23, block 30, "amended plat of ocean front of miami beach improvement company", according to the plat thereof, as recorded in plat book 5, at page(s) 7 and 8, of the public records of miami-dade county, florida,

also:  
 (\*)all that strip of land lying between indian creek drive and indian creek which lies opposite or adjacent to lots 24 and 25, and the north 20.0 feet of lot 23, in block 30, "ocean front property of miami beach improvement company", according to the plat thereof, as recorded in plat book 5, at page(s) 7 and 8, of the public records of miami-dade county, florida.

certified to:  
**CERTIFIED TO:**  
 Venezia Hotel, LLC.  
 Landmark Bank, N.A.  
 its successors and/or assigns, ATIMA  
 Green & Piotrkowski, PLLC  
 Fidelity National Title Insurance Company

3865 Indian Creek Drive, Miami Beach, FL 33140

BOUNDARY AND TOPOGRAPHIC SURVEY.  
 I HEREBY CERTIFY: that this survey meets the minimum technical standards as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

*René Aiguesvives*  
 RENE AIGUESVIVES 10/14/13  
 PROFESSIONAL SURVEYOR AND MAPPER No. 4327. State of Florida.

Alvarez, Aiguesvives and Associates, Inc.  
 Surveyors, Mappers and Land Planners  
 5701 S.W. 107th Avenue #204, Miami, FL 33173  
 Phone 305.385.0385 Fax 305.385.0623  
 L.B. No. 6867 / E-mail: fastsurveys@aol.com

Field Date	Scale:	Drawn by:	Drwg. No.
10/14/13	1" = 20'	S.I.	13-20263

**NOTE:**

- All clearances and/or encroachments shown hereon are of the apparent physical use, fence legal ownership not determined.
- The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
- Code restrictions and title search not reflected in this survey.
- Underground utilities, improvements, footings and encroachments, if any not located.
- The flood information shown hereon does not imply that the subject property will or will not be free from flooding or damage and does not create liability on the part of the firm or employee thereof, for any damage that occurs from reliance on said information.
- Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership or matters of title are made or implied.

**LEGEND**

- A = Arc
- ASPH = Asphalt
- BM = Bench Mark
- BRG = Bearing
- CATV = Catch basin
- CB = Catch basin
- CBS = Concrete Block Structure
- CH = Chord
- Chatta = Chattahoochee
- CL = Center Line
- CLF = Chain Link Fence
- CL = Clear
- CONC. = Concrete
- D = Delta
- ∅ = Diameter
- DH = Drill Hole
- DME = Drainage & Maintenance Easement
- E.B. = Electric Box
- Enc. = Encroachment
- F.F. = Finish Floor
- F.H. = Fire Hydrant
- F.I.R. = Found Iron Rebar
- FPL = Florida Power & Light
- F.I.P. = Found Iron Pipe
- FD. = Found
- L.P. = Light Pole
- M = Measured
- M.F. = Metal Fence
- M.H. = Manhole
- ML = Monument Line
- MON. = Monument
- N/A = Not Applicable
- N/D = Nail & Disc
- NTS = Not to Scale
- O/S = Offset
- O.U.L. = Overhead Utility Lines
- OH = Overhang
- P = Plat
- PB = Plat Book
- PC = Point of Curvature
- P.C.C. = Point of Compound Curvature
- PCP = Permanent Control Point
- PG = Page
- P.I. = Point of Intersection
- PL = Property Line
- PL = Planter
- P.O.B. = Point of Beginning
- P.O.C. = Point of Commencement
- P.P. = Power Pole
- P.R.M. = Permanent Reference Monument
- P.R.C. = Point of Reverse Curvature
- PT = Point of Tangency
- R = Radius
- R/R = Railroad
- PSM = Professional Surveyor Mapper
- R/W = Right-of-Way
- SWK = Sidewalk
- Sec. = Section
- (TYP) = Typical
- T = Tangent
- U.E. = Utility Easement
- W.F. = Wood Fence
- W.M. = Water Meter
- W.V. = Water Valve
- X+X = Denotes Spot Elevations Taken

**REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.**

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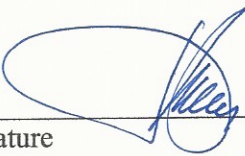
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Yes       No Cost of Construction      \$155,850 (Cost of the proposed projects plus work in the pass three years.

Comments/Recommendation: Changing the elevator size will be disproportionate to the cost of construction according with FAC section 202.3 Exception 1 and the information provided by the applicant. In addition, it will be technically infeasible to increase the elevator size and to install a wheelchair lift in the split level due to existing constrains and because the stair is part of the required means of egress.

Jurisdiction City of Miami Beach

Building Official or Designee

Signature 

Mariano Fernandez, PE.

Printed Name

BU689

Certification Number

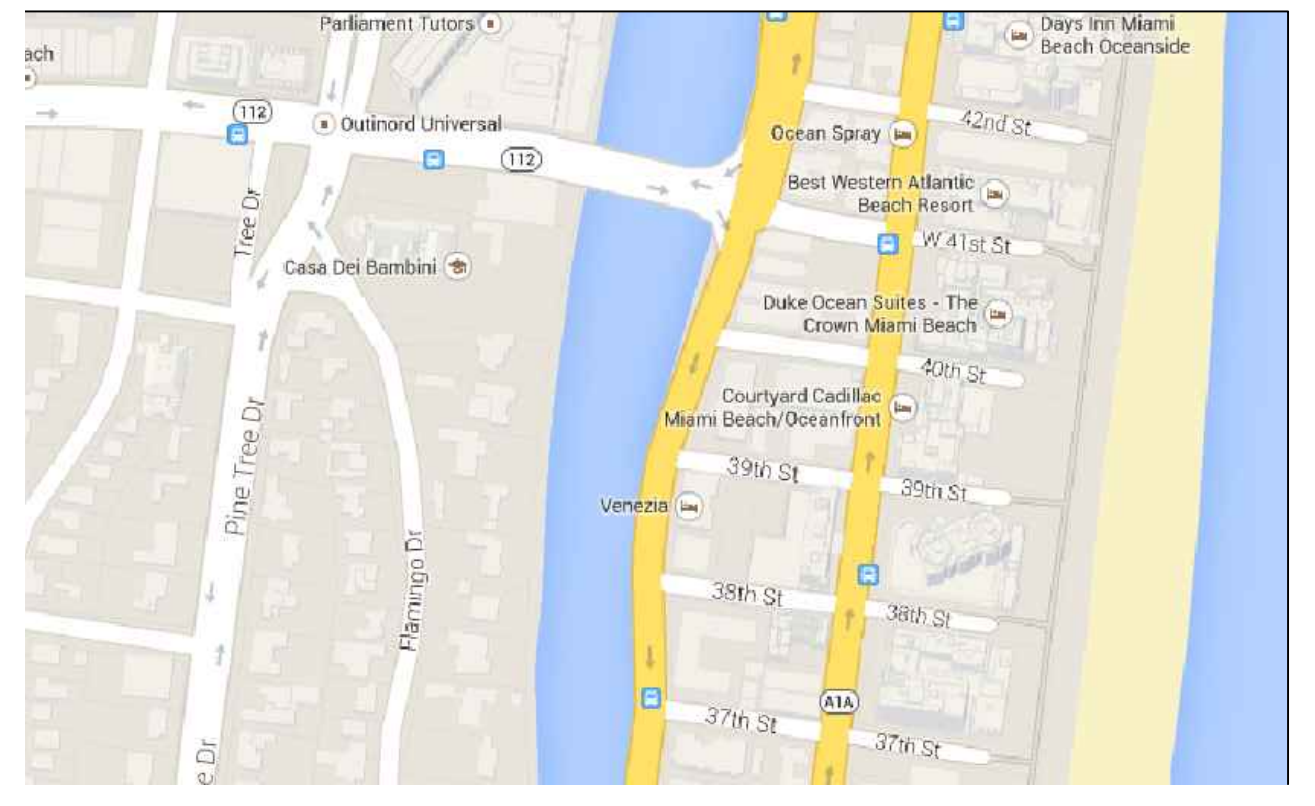
305-673-7610 ext. 6288/ 305-535-7513

Telephone/FAX

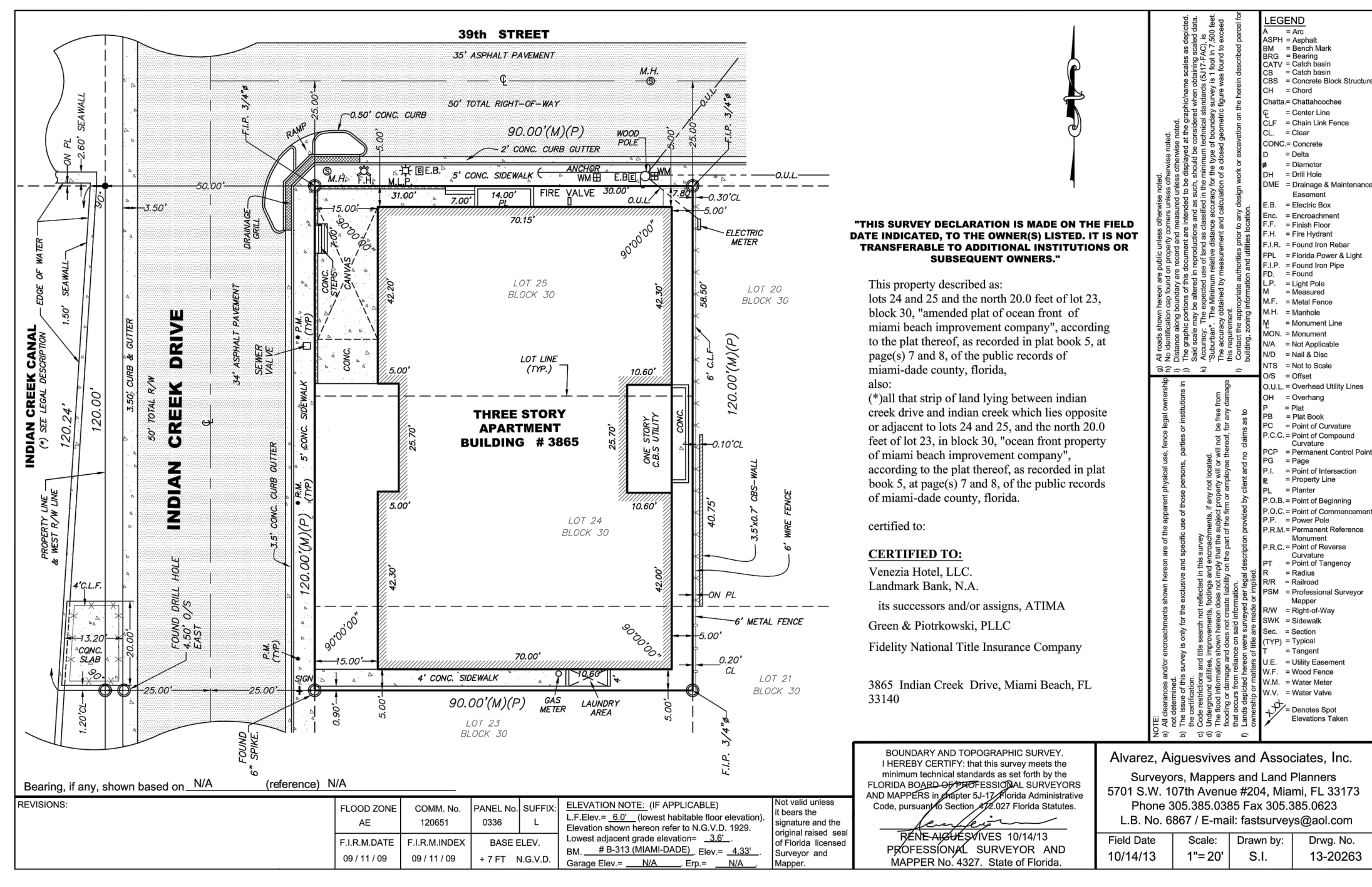
marianofernandez@miamibeachfl.gov

Email Address

Address: 1700 Convention Center Dr. Miami Beach, FL 33139, 2<sup>ND</sup> Floor, Miami Beach, FL



LOCATION MAP  
N.T.S.



SURVEY  
N.T.S.



VENEZIA HOTEL  
WEST ELEVATION

<b>LEGAL DESCRIPTION</b>	
SEE SURVEY FOR COMPLETE DESCRIPTION.	
<b>FLOOD ZONE - "AE"</b>	
BASE FLOOD EL. = +7.0 NGVD LOWEST HABITABLE FLOOR EL. = +6.0' NGVD	
<b>BLDG. CODE INFORMATION</b>	
FLORIDA BUILDING CODE 2010, EXISTING	
ASCE 7 - 2010	
N.E.C. 2008	
FLORIDA FIRE PREVENTION CODE, 2010	
N.F.P.A. 101, 2009 EDITION	
OCCUPANCY CLASS - R1 RESIDENTIAL TRANSIENT HOTEL	
BLDG. TYPE - TYPE III PROTECTED	
ALTERATION LEVEL TWO	
<b>AREA CALCULATIONS</b>	
<b>FIRST FLOOR:</b>	<u>7,222 S.F.</u>
15 DWELLING UNITS -	4,958 S.F.
LOBBY, CORRIDORS, CIRCULATION -	1,577 S.F.
STORAGE, MECH. RMS. -	687 S.F.
<b>SECOND FLOOR:</b>	<u>6,976 S.F.</u>
18 DWELLING UNITS -	5,827 S.F.
CORRIDORS, CIRCULATION -	733 S.F.
STORAGE, MECH. RMS. -	416 S.F.
<b>THIRD FLOOR:</b>	<u>6,976 S.F.</u>
18 DWELLING UNITS -	5,827 S.F.
LOBBY, CORRIDORS, CIRCULATION -	733 S.F.
STORAGE, MECH. RMS. -	416 S.F.
<b>ROOF:</b>	<u>338 S.F.</u>
ELEVATOR VESTIBULE -	96 S.F.
STAIRS -	242 S.F.
<b>TOTAL UNDER ROOF -</b>	<b>21,512 S.F.</b>
<b>GROUND FLOOR PATIO -</b>	<b>867 S.F.</b>
<b>OCCUPANT LOAD CALCULATIONS</b>	
<b>SPACE DESCRIPTION</b>	<b>PEOPLE</b>
DWELLING UNITS - 2 PERSON/UNIT	
51 UNITS x 2 =	102 PEOPLE
LOBBY & CORRIDORS - 100 S.F./PERSON	
3,139 S.F. / 100 =	31 PEOPLE
<b>TOTAL OCCUPANT LOAD =</b>	<b>133 PEOPLE</b>
<b>TOTAL OCCUPANT LOAD =</b>	<b>133 PEOPLE</b>
REQUIRED DOOR WIDTH = (0.2"/PERSON) =	27"
PROVIDED DOOR WIDTH =	72"
MAX. TRAVEL DISTANCE =	125 FT.
<b>SCOPE OF WORK</b>	
1. THE PURPOSE OF THIS SET OF PLANS IS TO DOCUMENT THE EXISTING CONDITIONS OF THE VENEZIA HOTEL IN ORDER TO REQUEST A WAIVER FROM THE FLORIDA BUILDING COMMISSION FOR THE FOLLOWING: A. THE EXISTING ELEVATOR CAB IS 58" X 40", REQUIRED SIZE FOR ACCESSIBILITY IS 68" X 51", SEE TABLE 407.4.1. B. THE EXISTING ELEVATOR DOOR IS 30", REQUIRED SIZE FOR ACCESSIBILITY IS 36", SEE TABLE 407.4.1. C. THE GROUND FLOOR IS A SPLIT LEVEL. THE DWELLING UNITS ARE 3 STEPS UP FROM THE LOBBY WITHOUT AN ACCESSIBLE ROUTE. D. THE EXISTING ELEVATOR VESTIBULE AT THE ROOF IS 75" X 39". REQUIRED SIZE FOR ACCESSIBILITY IS 75" X 60".	

**OWNER**  
VENEZIA HOTEL, LLC  
210 71st STREET, STE. 309  
MIAMI BEACH, FL 33141  
PHONE: 786.236.8569  
FAX: 305.935.0967

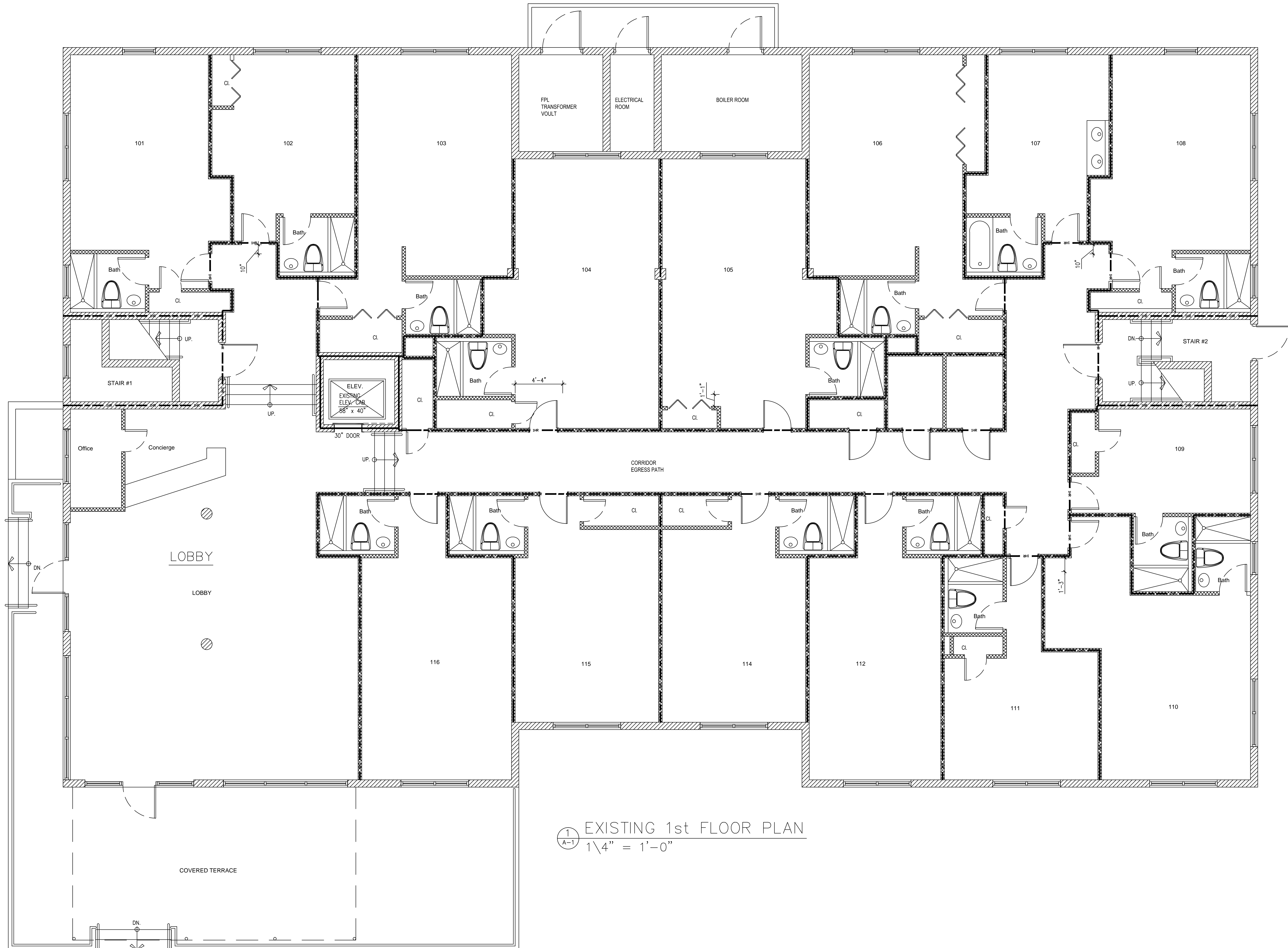
**ARCHITECT**  
MICHAEL NEIL REINSTEIN  
10940 BIRCHWOOD PLACE  
PEMBROKE PINES, FL 33026  
PHONE: 786.546.4739  
MIKENEIL@AOL.COM  
LICENSE # AR-13161

**VENEZIA HOTEL**  
**SUBMITTAL TO THE**  
**FLORIDA BUILDING COMMISSION**  
 3865 INDIAN CREEK DRIVE MIAMI BEACH, FLORIDA 33140

REVISIONS		
NO.	DATE	ITEM
1	XXXXXX	XXXXXX
		XXXXXX

THESE PLANS COMPLY WITH THE MINIMUM REQUIREMENTS OF THE FLORIDA BLDG. CODE 2010 (EXISTING)

SHEET TITLE	
TITLE SHEET	
ISSUED FOR:	PERMIT
SCALE:	
DRAWN BY:	M.N.R.
CHECKED BY:	M.N.R.
JOB NUMBER:	
DATE:	06/02/14
DWG. NO.:	T-1



**OWNER**

VENEZIA HOTEL, LLC  
 210 71st STREET, STE. 309  
 MIAMI BEACH, FL 33141  
 PHONE: 786.236.8569  
 FAX: 305.935.0967

**ARCHITECT**

MICHAEL NEIL REINSTEIN  
 10940 BIRCHWOOD PLACE  
 PEMBROKE PINES, FL 33026  
 PHONE: 786.546.4739  
 MIKENEIL@AOL.COM  
 LICENSE # AR-13161

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**REVISIONS**

NO.	DATE	ITEM
1	XXXXXX	XXXXXX
		XXXXXX

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SEAL

1  
 A-1  
 EXISTING 1st FLOOR PLAN  
 1/4" = 1'-0"

SHEET TITLE  
 1st FL. PLAN

ISSUED FOR: PERMIT

SCALE:

DRAWN BY: M.N.R.

CHECKED BY: M.N.R.

JOB NUMBER:

DATE: 06/02/14

DWG. NO.



1  
A-3 EXISTING 2nd FLOOR PLAN  
1/4" = 1'-0"

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**FLORIDA BUILDING COMMISSION**  
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REVISIONS		
NO.	DATE	ITEM
1	XXXXXX	XXXXXX
2	XXXXXX	XXXXXX

THESE PLANS COMPLY WITH THE MINIMUM REQUIREMENTS OF THE FLORIDA BLDG. CODE 2010 (EXISTING)

SEAL

SHEET TITLE  
 2nd FL. PLAN  
 ISSUED FOR: PERMIT  
 SCALE:  
 DRAWN BY: M.N.R.  
 CHECKED BY: M.N.R.  
 JOB NUMBER:  
 DATE: 06/02/14  
 DWG. NO.

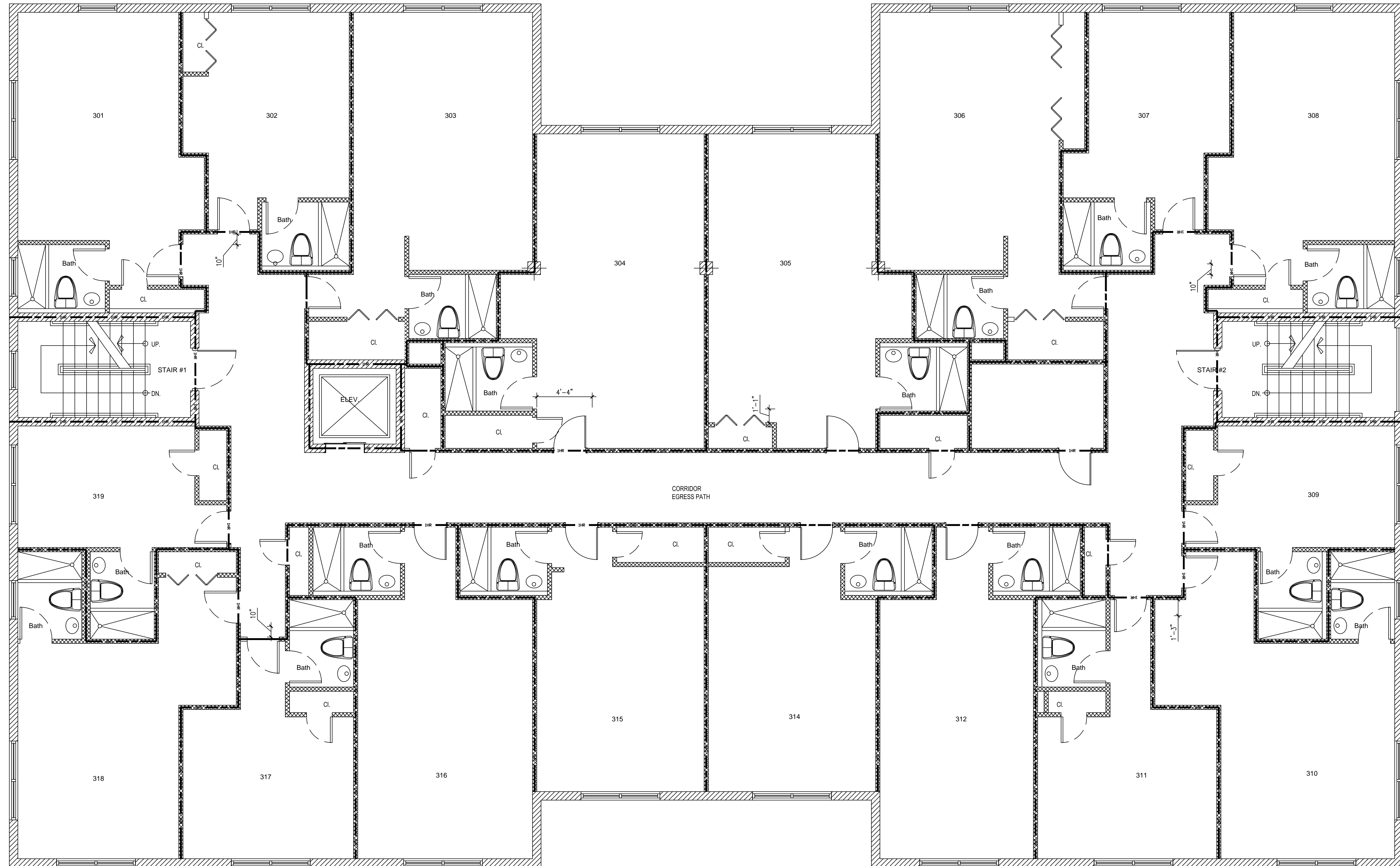
**OWNER**

VENEZIA HOTEL, LLC  
210 71st STREET, STE. 309  
MIAMI BEACH, FL 33141  
PHONE: 786.236.8569  
FAX: 305.935.0967

**ARCHITECT**

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3865 INDIAN CREEK DRIVE MIAMI BEACH, FLORIDA 33140



REVISIONS		
NO.	DATE	ITEM
1	XXXXXX	XXXXXXXX
		XXXXXXXX

THESE PLANS COMPLY WITH THE MINIMUM REQUIREMENTS OF THE FLORIDA BLDG. CODE 2010 (EXISTING)

SEAL

1  
A-3  
**EXISTING 3rd FLOOR PLAN**  
1/4" = 1'-0"

SHEET TITLE  
**3rd FL. PLAN**

ISSUED FOR: PERMIT

SCALE:

DRAWN BY: M.N.R.

CHECKED BY: M.N.R.

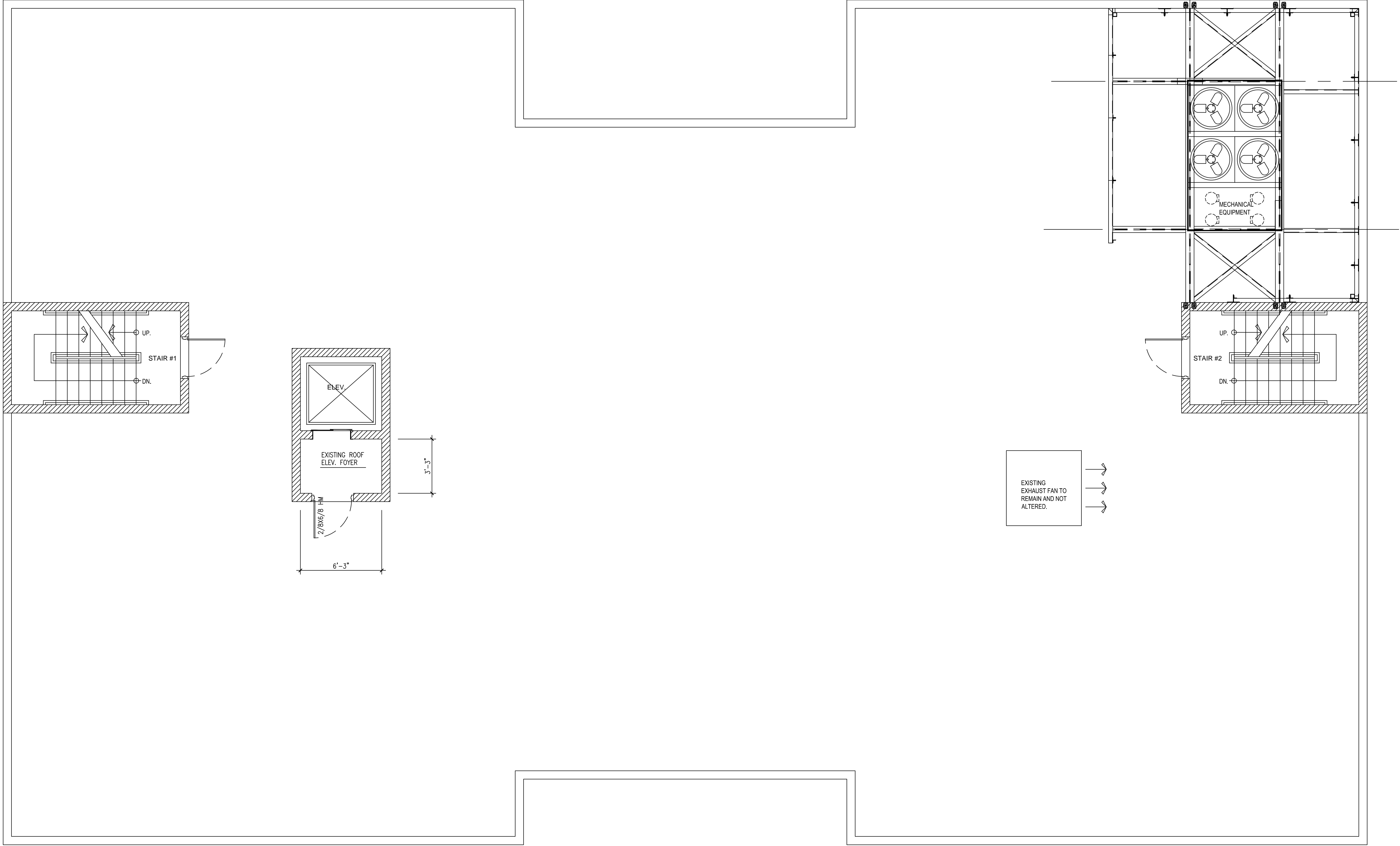
JOB NUMBER:

DATE: 06/02/14

DWG. NO.

A-3





**OWNER**

VENEZIA HOTEL, LLC  
 210 71st STREET, STE. 309  
 MIAMI BEACH, FL 33141  
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**ARCHITECT**

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 MIKENEIL@AOL.COM  
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**REVISIONS**

NO.	DATE	ITEM
Δ	xxxxxx	XXXXXX XXXXXX

THESE PLANS COMPLY WITH THE MINIMUM REQUIREMENTS OF THE FLORIDA BLDG. CODE 2010 (EXISTING)

SEAL:

SHEET TITLE  
**ROOF PLAN**

ISSUED FOR: PERMIT

SCALE:

DRAWN BY: M.N.R.

CHECKED BY: M.N.R.

JOB NUMBER:

DATE: 06/02/14

DWG. NO.

**OWNER**

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 210 71st STREET, STE. 309  
 MIAMI BEACH, FL 33141  
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**ARCHITECT**

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 FLORIDA BUILDING COMMISSION**  
 3865 INDIAN CREEK DRIVE MIAMI BEACH, FLORIDA 33140

**REVISIONS**

NO.	DATE	ITEM
Δ	XXXXXX	XXXXXX
		XXXXXX

THESE PLANS COMPLY WITH THE MINIMUM REQUIREMENTS OF THE FLORIDA BLDG. CODE 2010 (EXISTING)

SEAL

SHEET TITLE

**DETAILS**

ISSUED FOR: PERMIT

SCALE:

DRAWN BY: M.N.R.

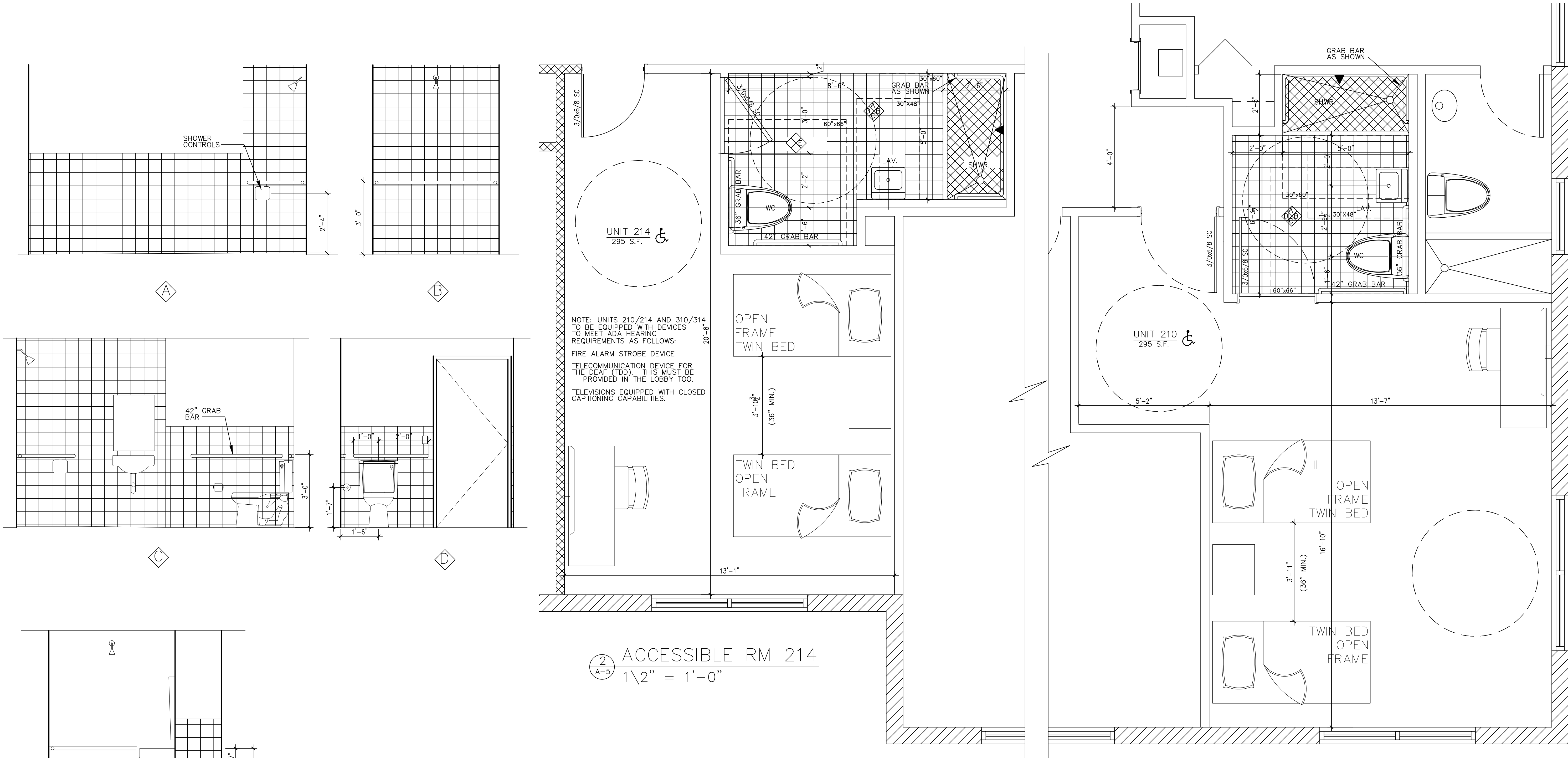
CHECKED BY: M.N.R.

JOB NUMBER:

DATE: 06/02/14

DWG. NO.

A-5



UNIT 214  
 295 S.F.

UNIT 210  
 295 S.F.

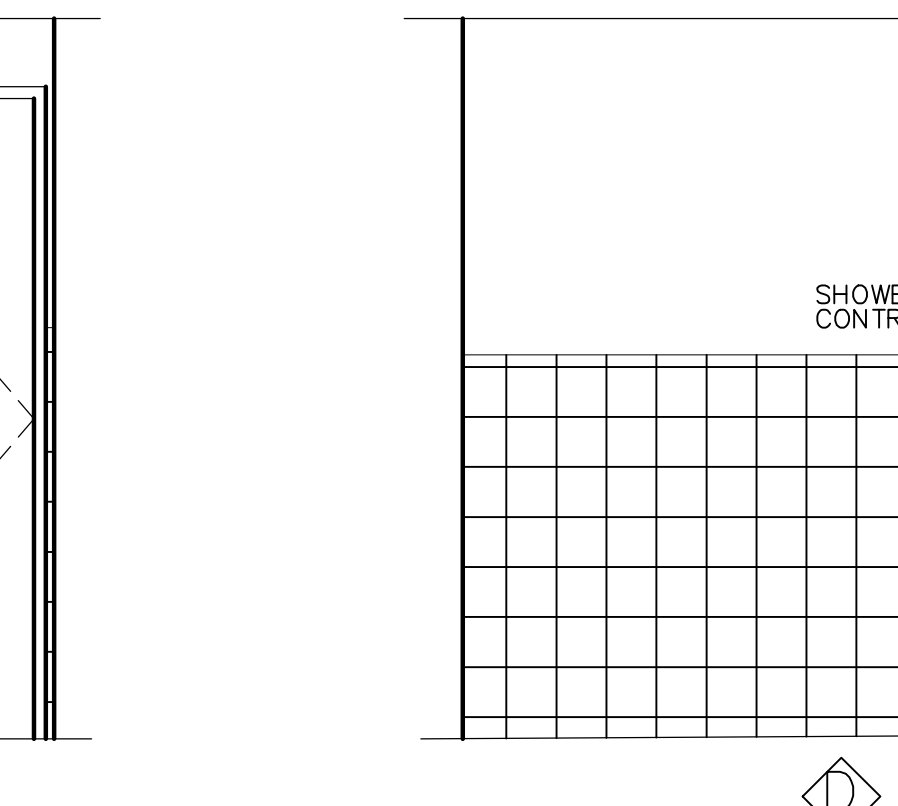
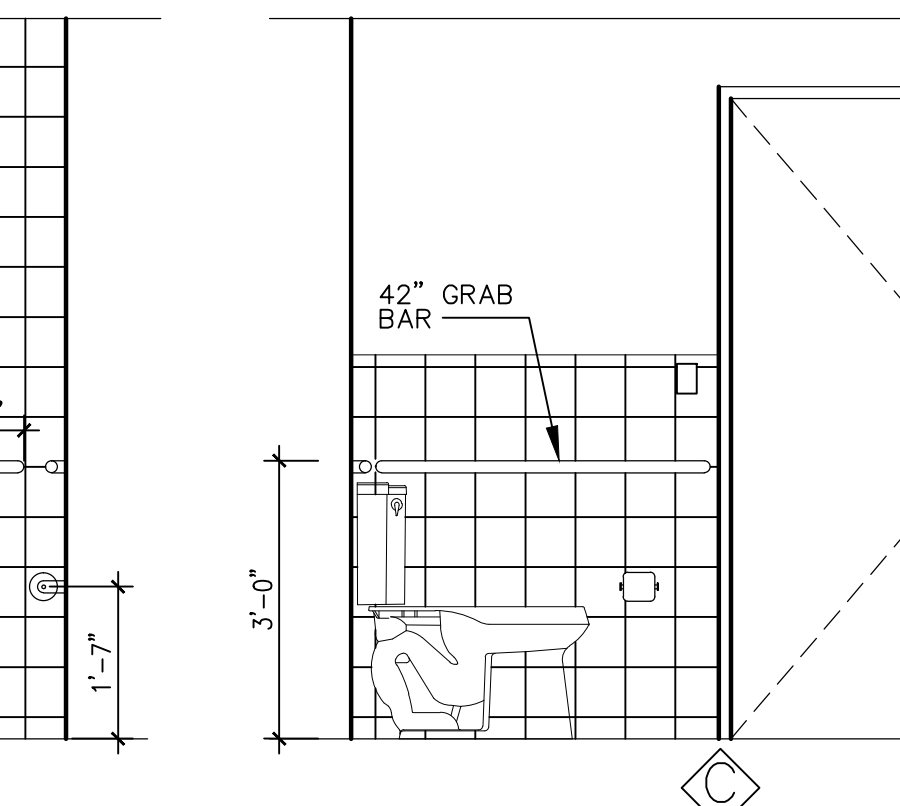
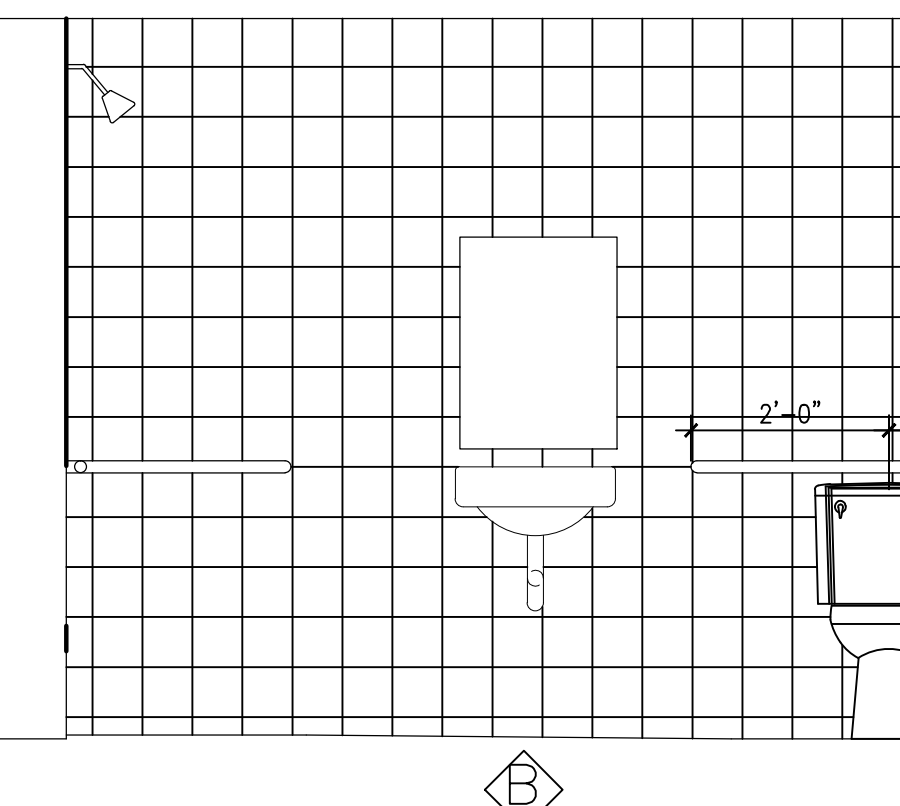
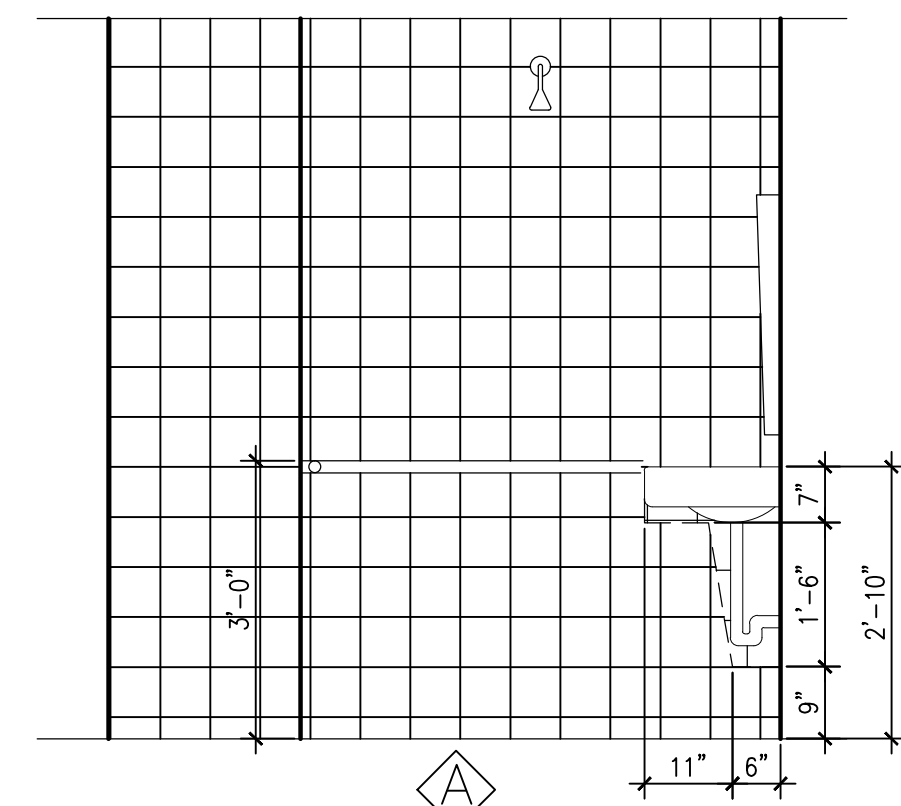
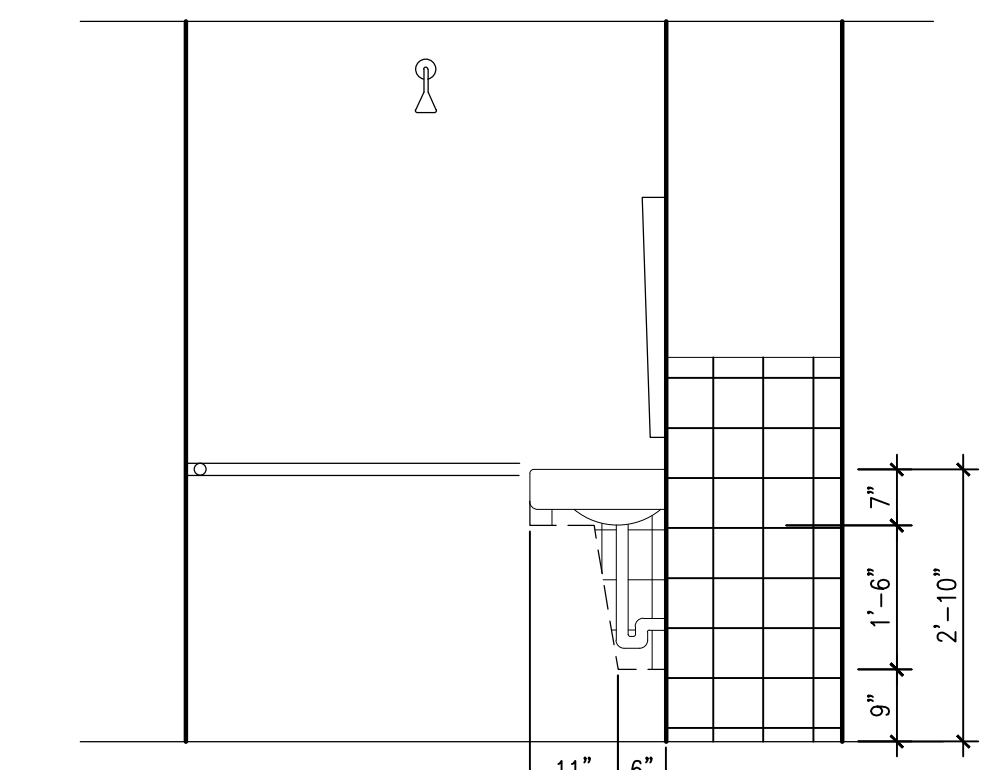
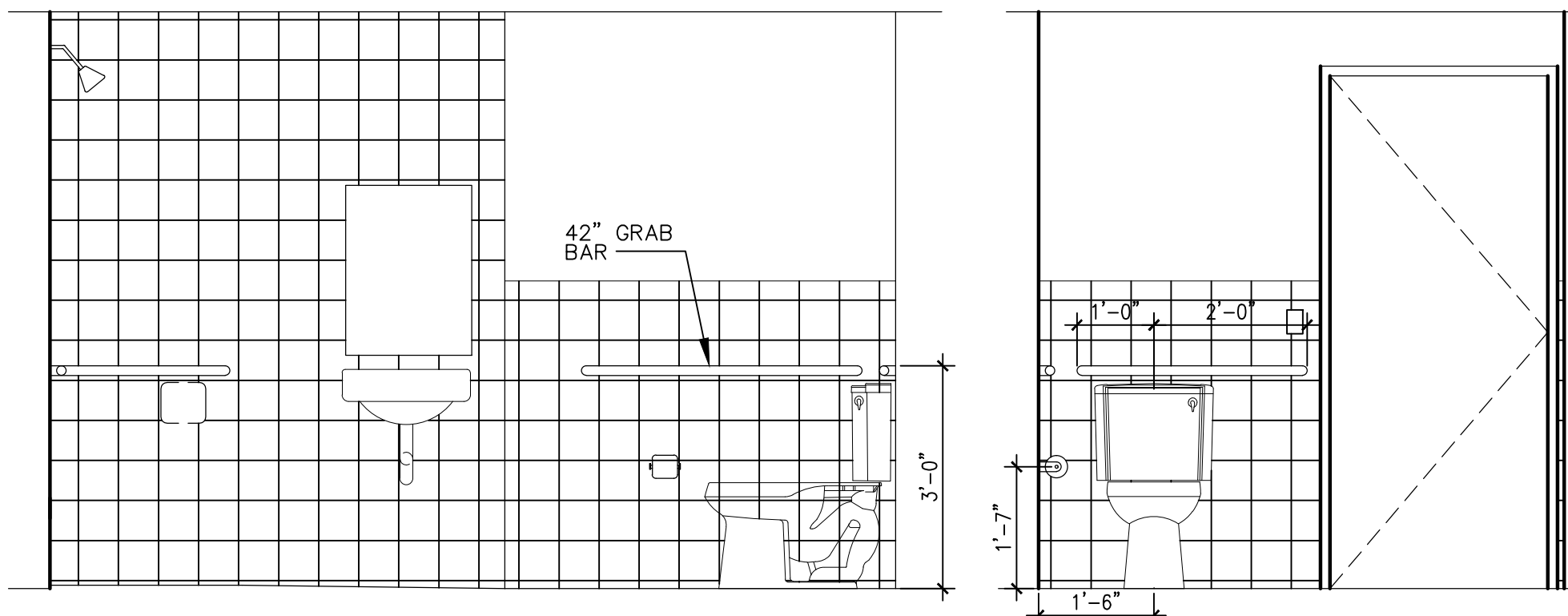
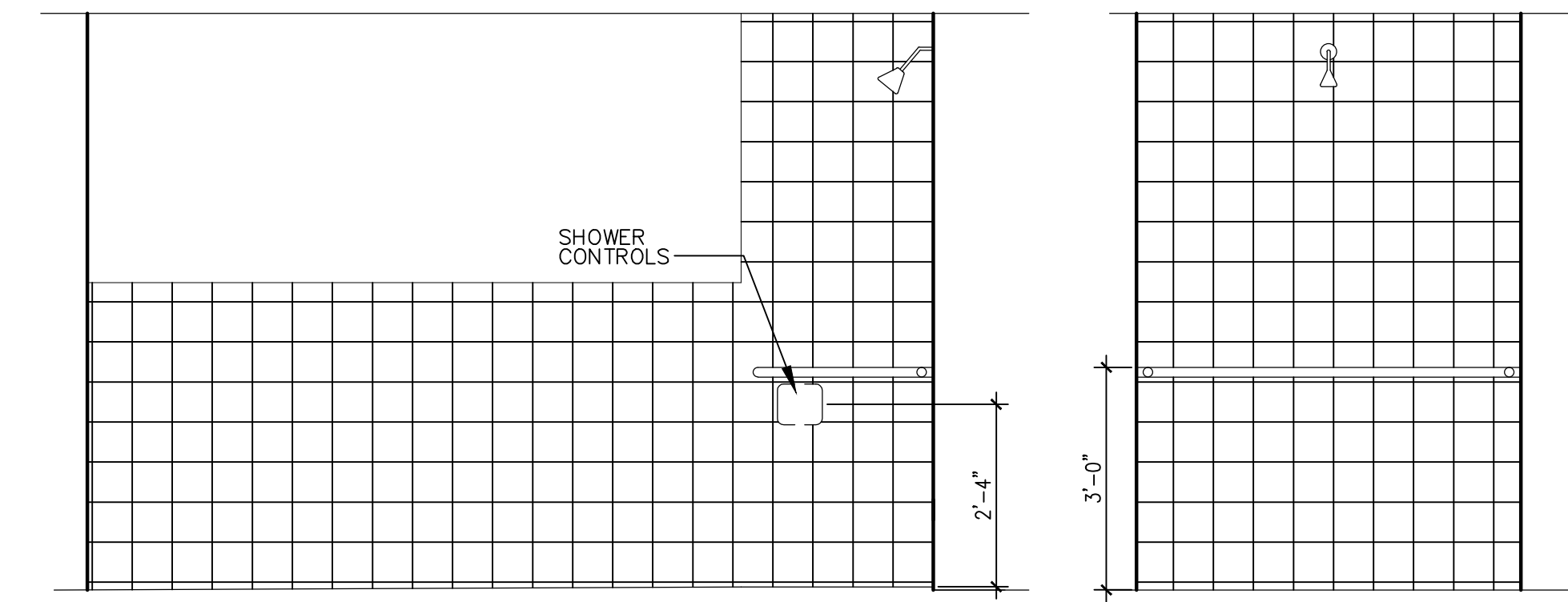
NOTE: UNITS 210/214 AND 310/314 TO BE EQUIPPED WITH DEVICES TO MEET ADA HEARING REQUIREMENTS AS FOLLOWS:  
 FIRE ALARM STROBE DEVICE  
 TELECOMMUNICATION DEVICE FOR THE DEAF (TDD). THIS MUST BE PROVIDED IN THE LOBBY TOO.  
 TELEVISIONS EQUIPPED WITH CLOSED CAPTIONING CAPABILITIES.

2 ACCESSIBLE RM 214  
 1/2" = 1'-0"

1 ACCESSIBLE RM 210  
 1/2" = 1'-0"

3 BATH ELEV. RM 214  
 1/2" = 1'-0"

4 BATH ELEV. RM 210  
 1/2" = 1'-0"





3865

HOTEL  
VENEZIA



Smoke Detector  
pull station



AL



EXIT





