

REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS
OF CHAPTER 553, PART V, FLORIDA STATUTES

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: LAMTERS BUS LINES

Address: 849 INDUSTRIAL DR., WILDWOOD INDUSTRIAL PARK,
WILDWOOD, FL.

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

Applicant's Name: THOMAS H. WILLIFORD

Applicant's Address: 779 E. CONNECTICUT LN., HERNANDO, FL. 34442

Applicant's Telephone: 352-476-1937 FAX: N/A

Applicant's E-mail Address: twilliford2009@yahoo.com

Relationship to Owner: ARCHITECTURAL CONSULTANT

Owner's Name: ALLEN LAMERS

Owner's Address: 2407 SOUTH POINT RD, GREEN BAY, WI 54313

Owner's Telephone: 920-496-3600 FAX 920-490-5060

Owner's E-mail Address: allen@golamers.com

Signature of Owner: Allen Lamers

Contact Person: MARK NYSTED

Contact Person's Telephone: (920)766-5795 E-mail Address: MNYSTED@KELLERBUILDS.COM

This application is available in alternate formats upon request.

Form No. 2001-01

3. Please check one of the following:

New construction.

Addition to a building or facility.

Alteration to an existing building or facility.

Historical preservation (addition).

Historical preservation (alteration).

4. Type of facility. Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

1ST FLOOR = 10,080 SQ. FT., 2ND FLOOR = 1,750 SQ. FT., TOUR
BUS MAINTENANCE AND EMBARKATION/RETURN FACILITY. IT IS
A PREENGINEERED METAL BUILDING WITH SPACE FOR PUBLIC WAITING
ON FIRST FLOOR AND EMPLOYEE (DRIVER/MECHANIC) RESTRICTED AREA
ON SECOND FLOOR.

5. Project Construction Cost (Provide cost for new construction, the addition or the alteration):

6. Project Status: Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design Under Construction*

In Plan Review Completed*

* Briefly explain why the request has now been referred to the Commission.

7. **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue

1: FL. ACCESSIBILITY CODE 2010 SEC 201.1.1

Issue

2: _____

Issue

3: _____

8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

SIMILAR FACILITIES CONSTRUCTED BY OWNER HAVE NOT REQUIRED

VERTICAL ACCESSIBILITY. DISABLED EMPLOYEES TO BE ACCOMMODATED ON FIRST FLOOR. NO PUBLIC ACCESS TO SECOND FLOOR.

Substantial financial costs will be incurred by the owner if the waiver is denied.

The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

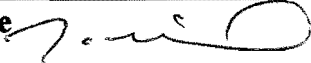
a. SEE ATTACHED QUOTES

b.

c.

10. **Licensed Design Professional:** Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

*Only employees shall require access to second floor.
Employees & public requiring consideration due to a disability shall be accommodated with pertinent facilities on the first floor. The public shall not be granted access to the second floor.*

Signature 

Printed Name THOMAS H. WILLIFORD

Phone number 352-476-1937

(SEAL)

CERTIFICATION OF APPLICANT:

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 18 day of SEPTEMBER, 2012



Signature

THOMAS H. KILLFORD

Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

a. FL Accessibility Code 2010 201.1.1

b. _____

c. _____

Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

Yes No Cost of Construction _____

Comments/Recommendation Recommend installing elevator

Jurisdiction Sumter County

Building Official or Designee Steve Wilcox
Signature

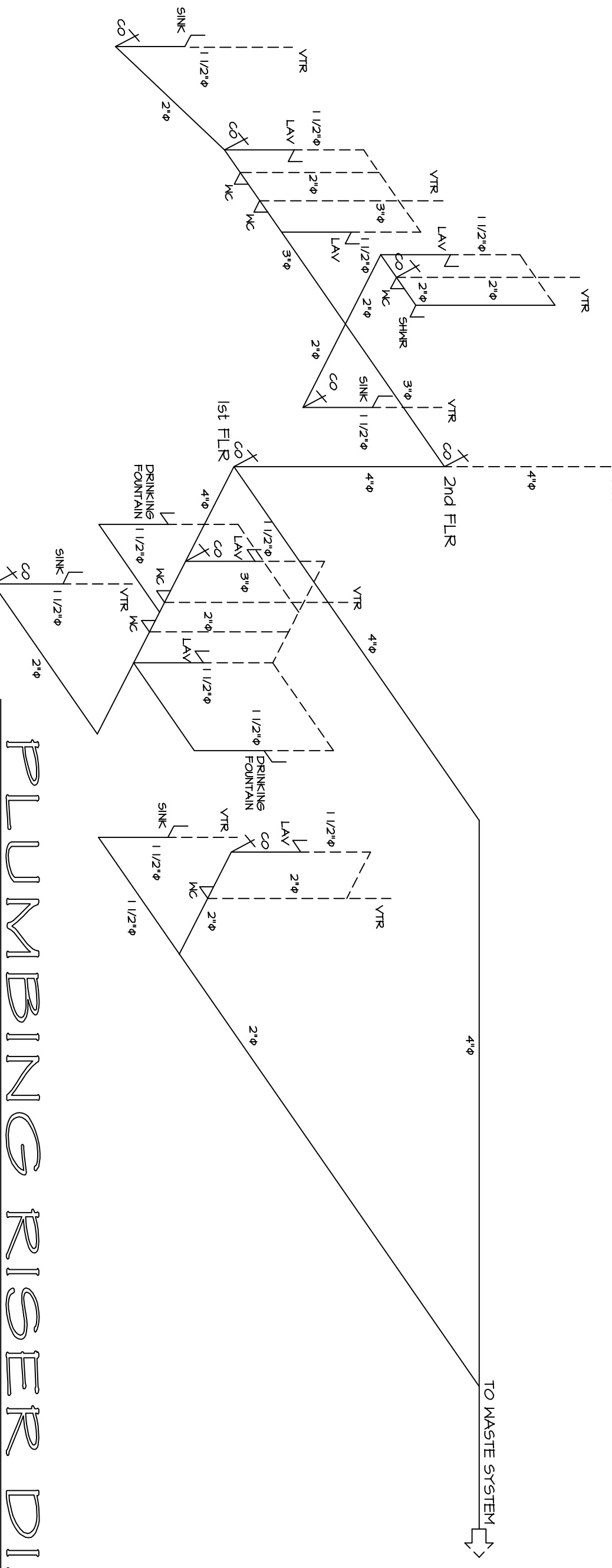
Steve Wilcox
Printed Name

BU 1425
Certification Number

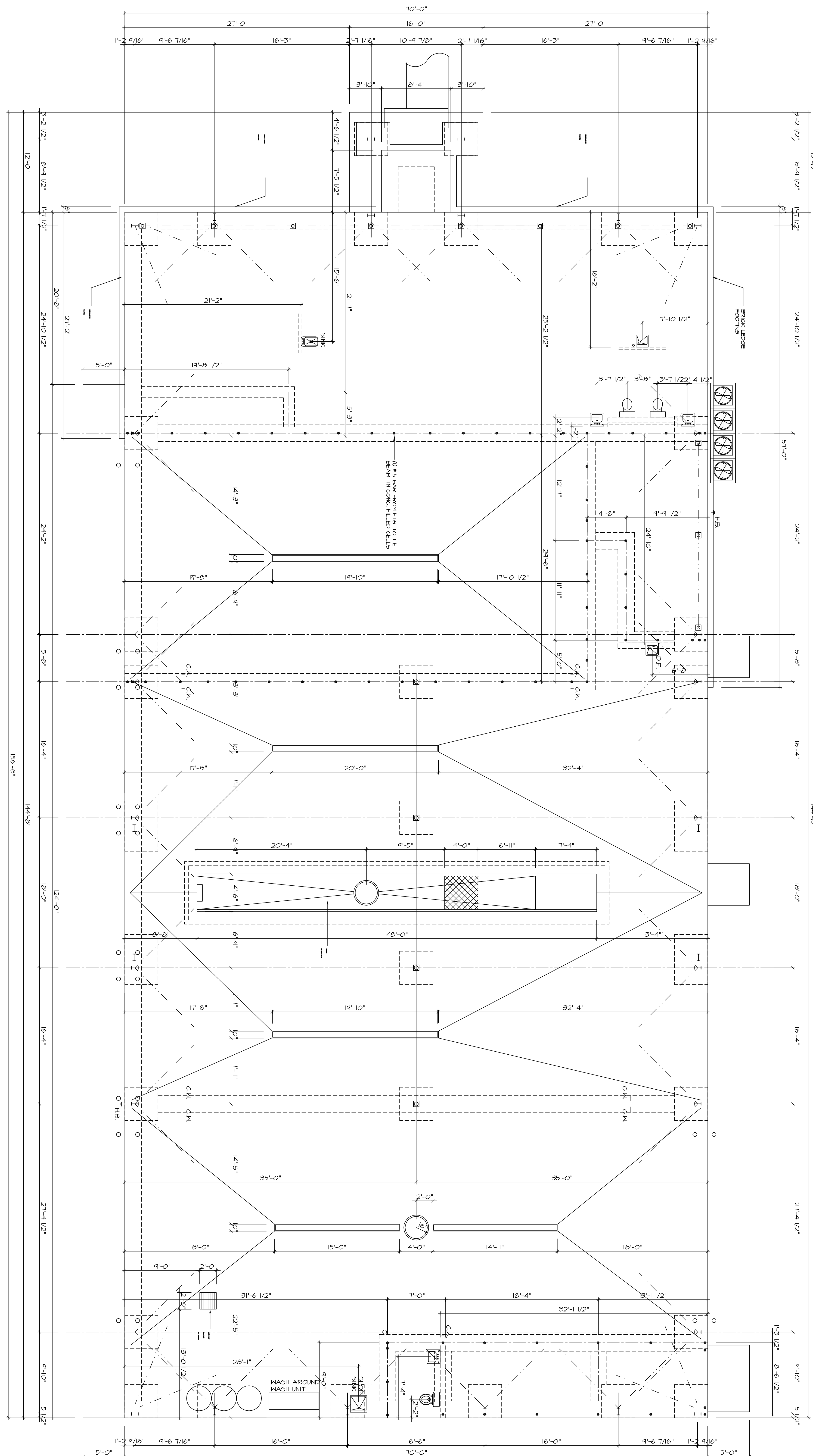
352 689-4477
Telephone/FAX

Address: 7375 Powell Rd Wildwood FL 34785

PLUMBING RISER DIAGRAM



FOUNDATION & PLUMBING PLAN
SCALE 3/16" = 1'-0"



DATE: 1-18-2012	REVISIONS:
DATE: 5-23-2012	
DATE: 5-23-2012	
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FLEET MAINTENANCE FACILITY BUILDING
LAMERS BUS LINES
WILDWOOD FLORIDA
SUMTER COUNTY

Signature Homes

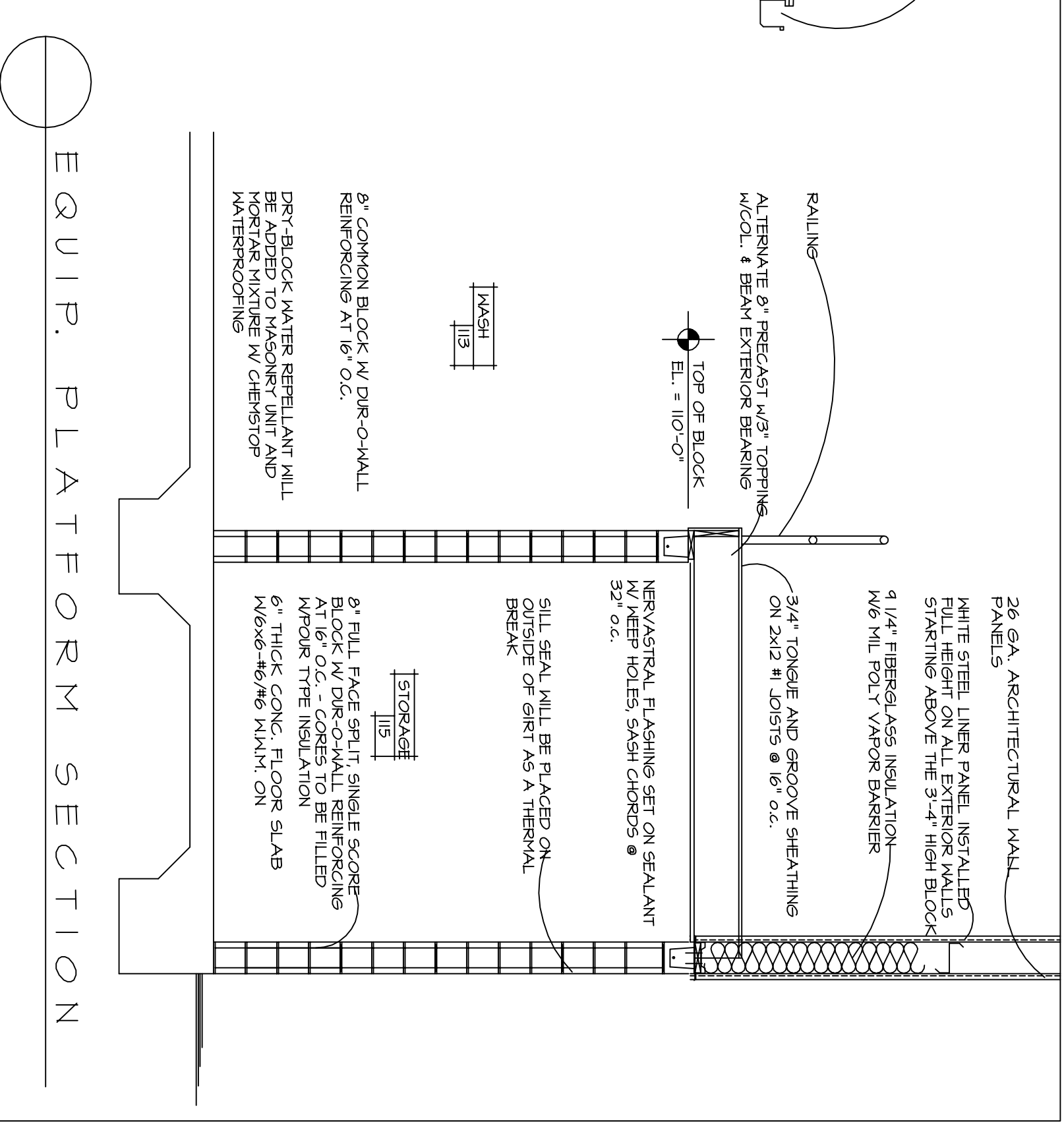
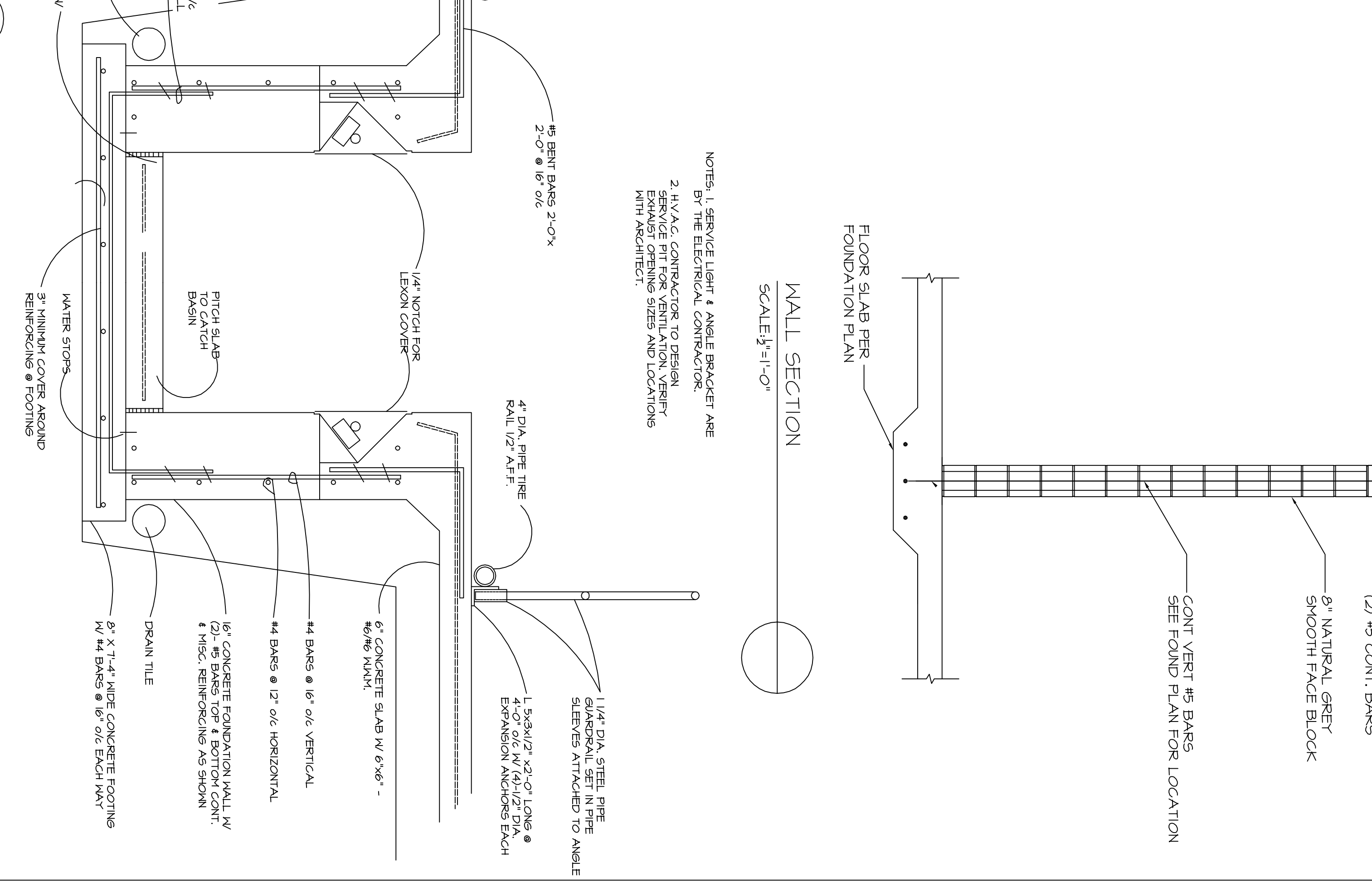
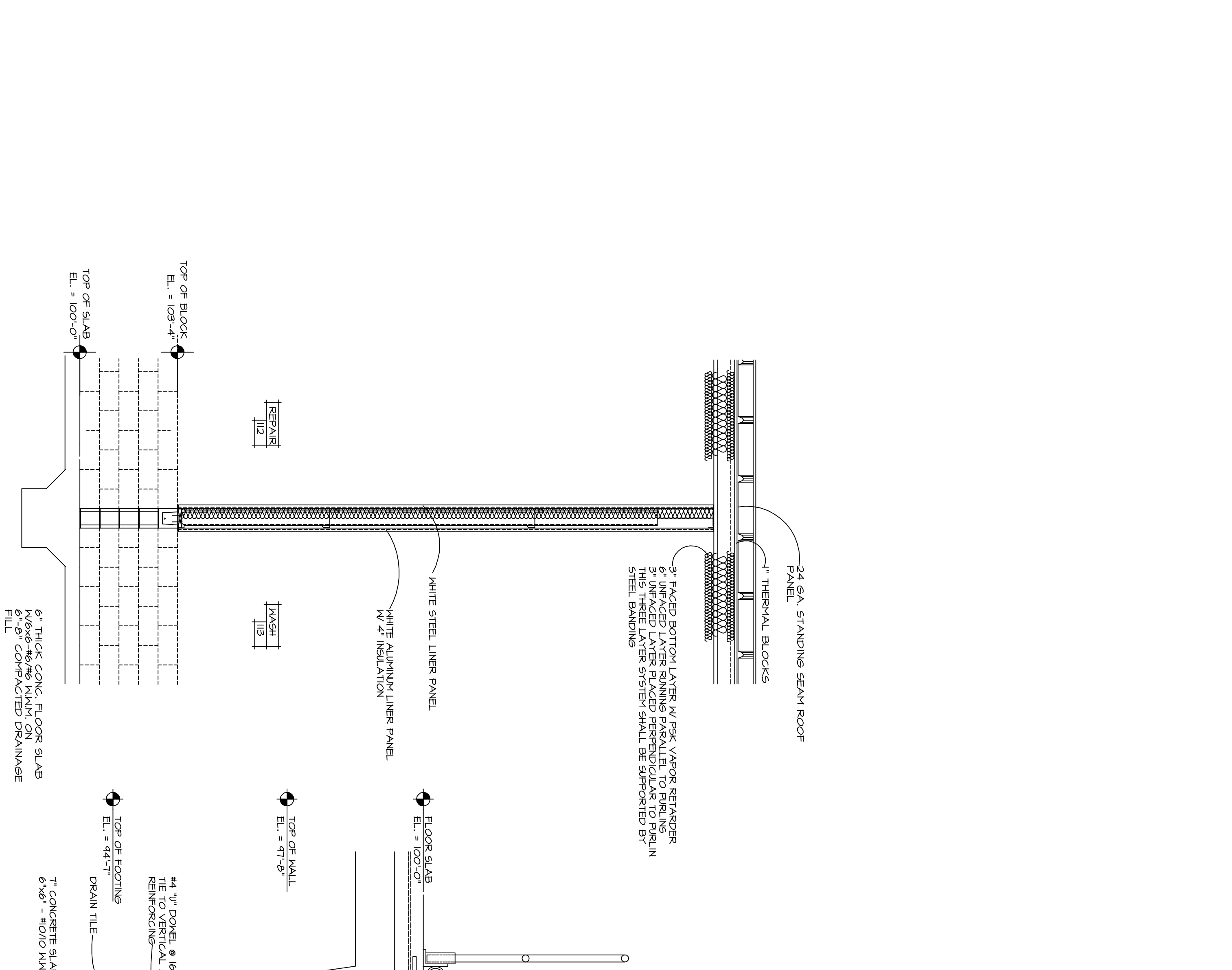
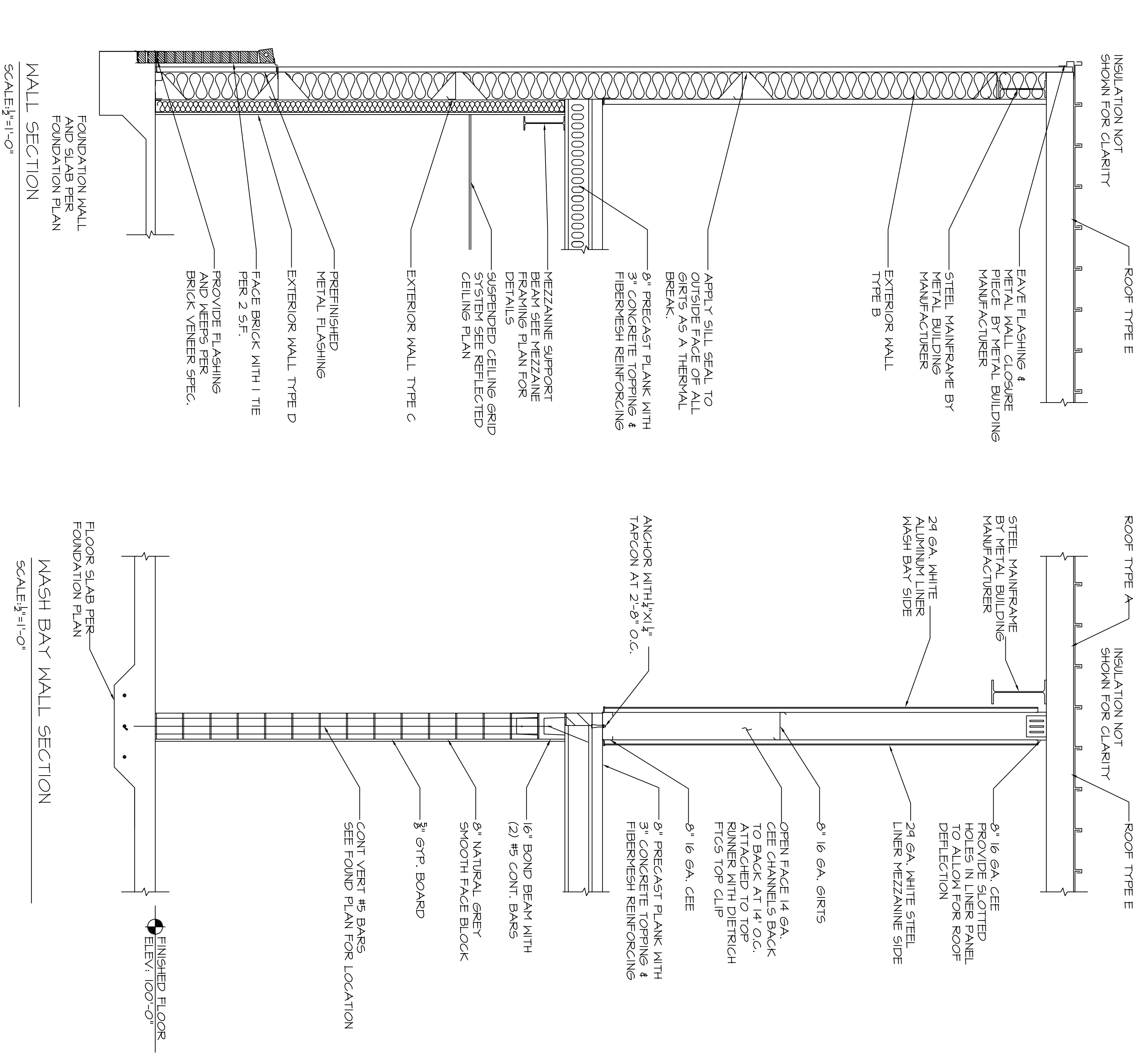
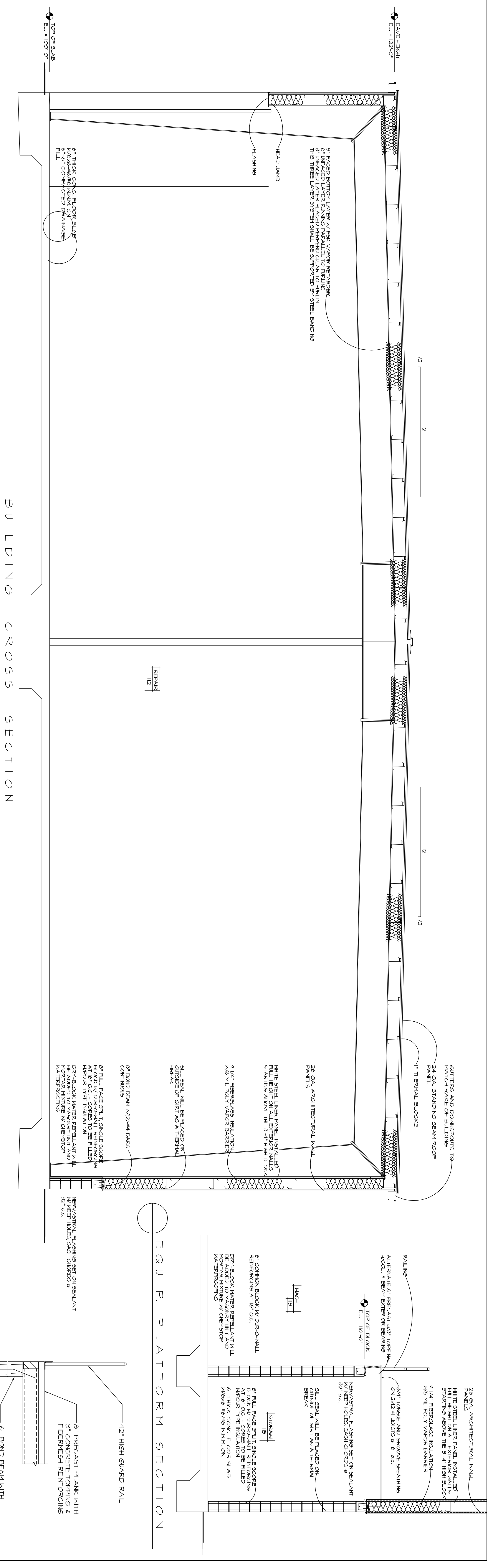
P.O. Box 697 Fruitland Park, FL 34731 Ph 352-787-8168 Fax 352-326-8141

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7124 W. Crestview Lane
Crystal River, Fla 34429
Phone - 352-564-8160
FENAS@COMFLONLINE.NET

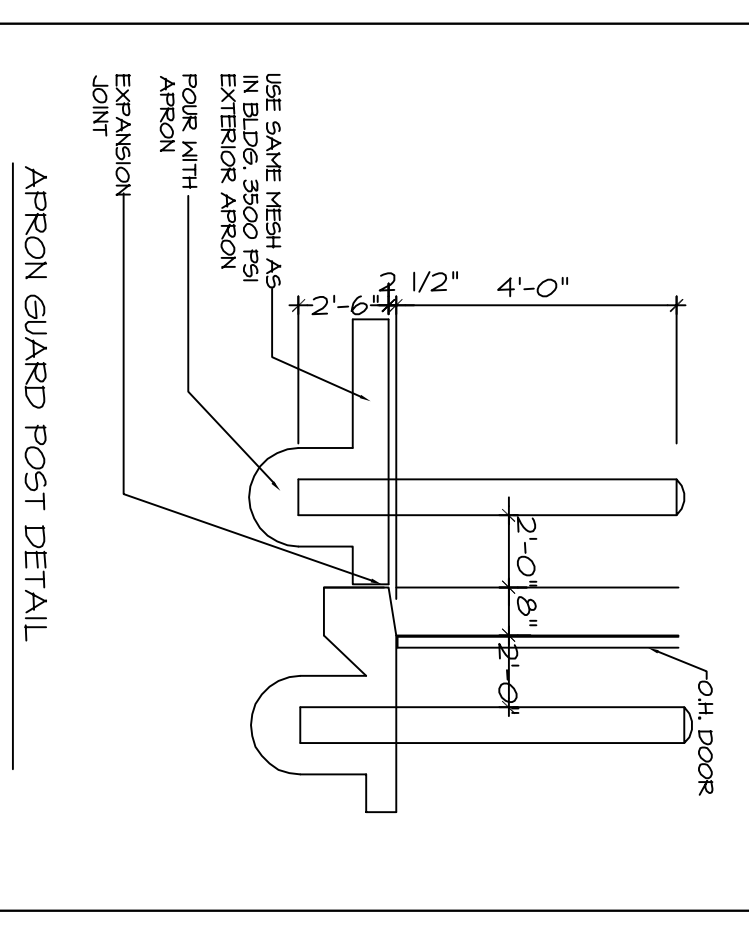
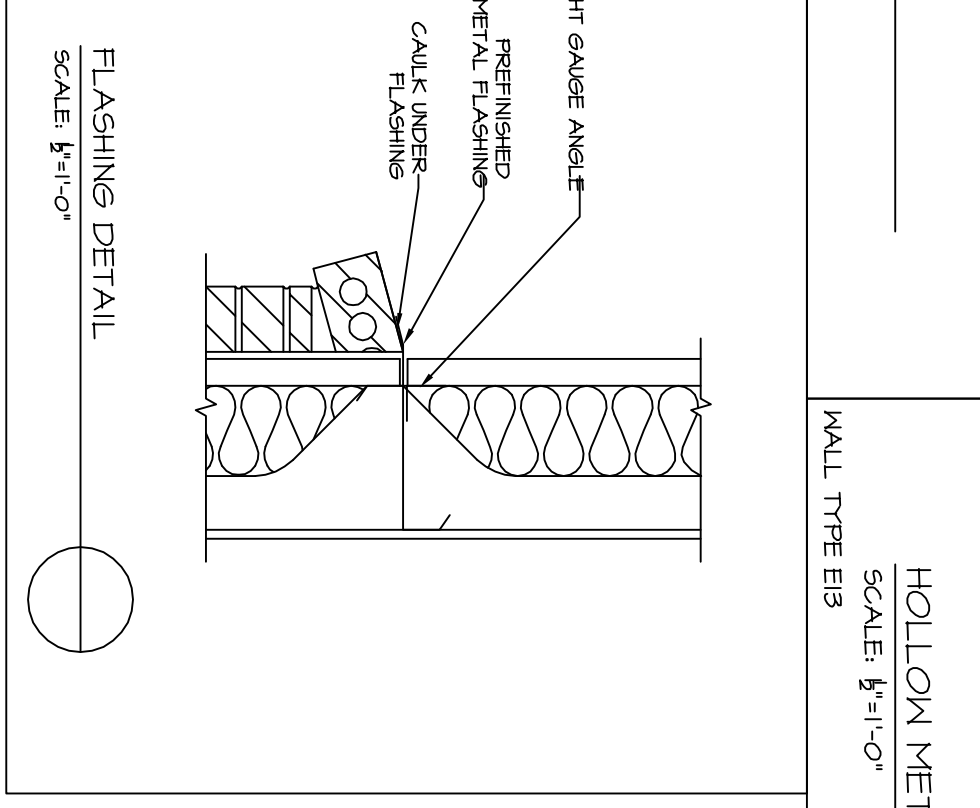
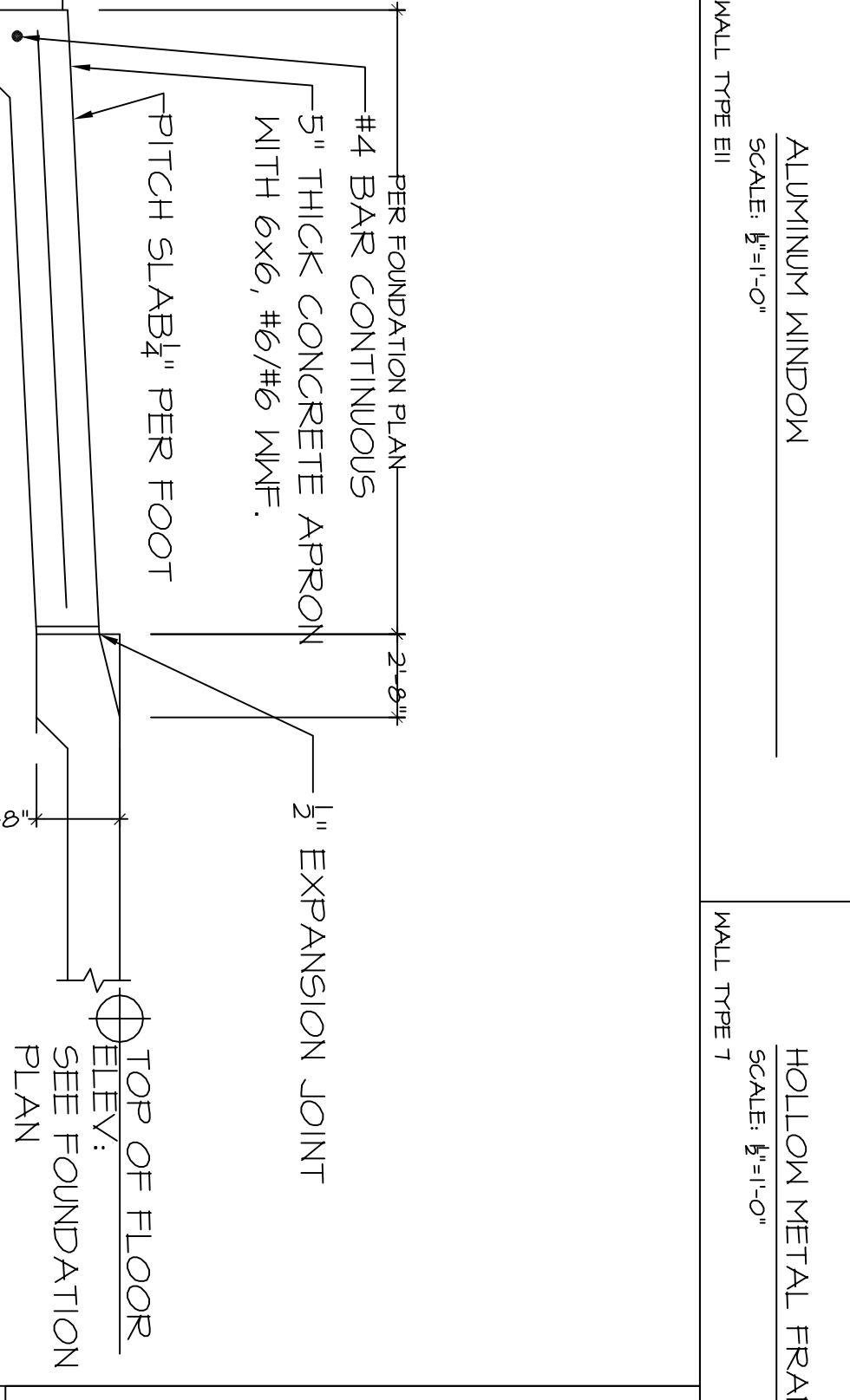
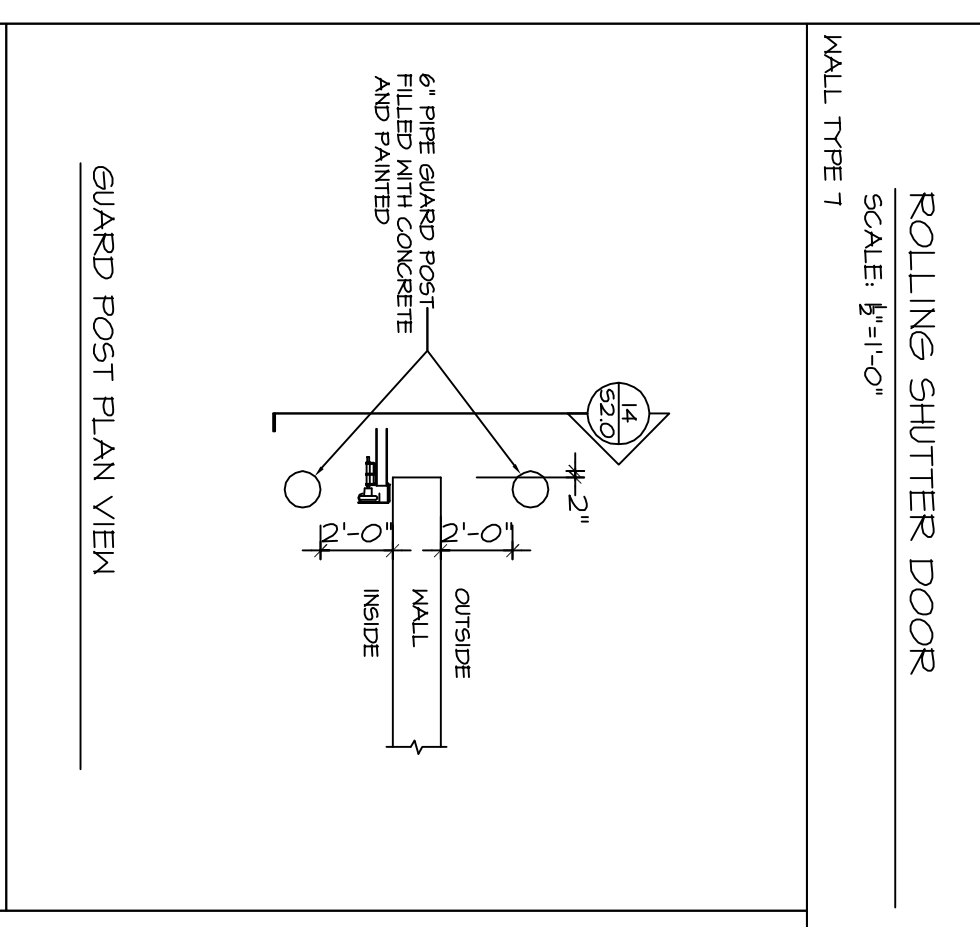
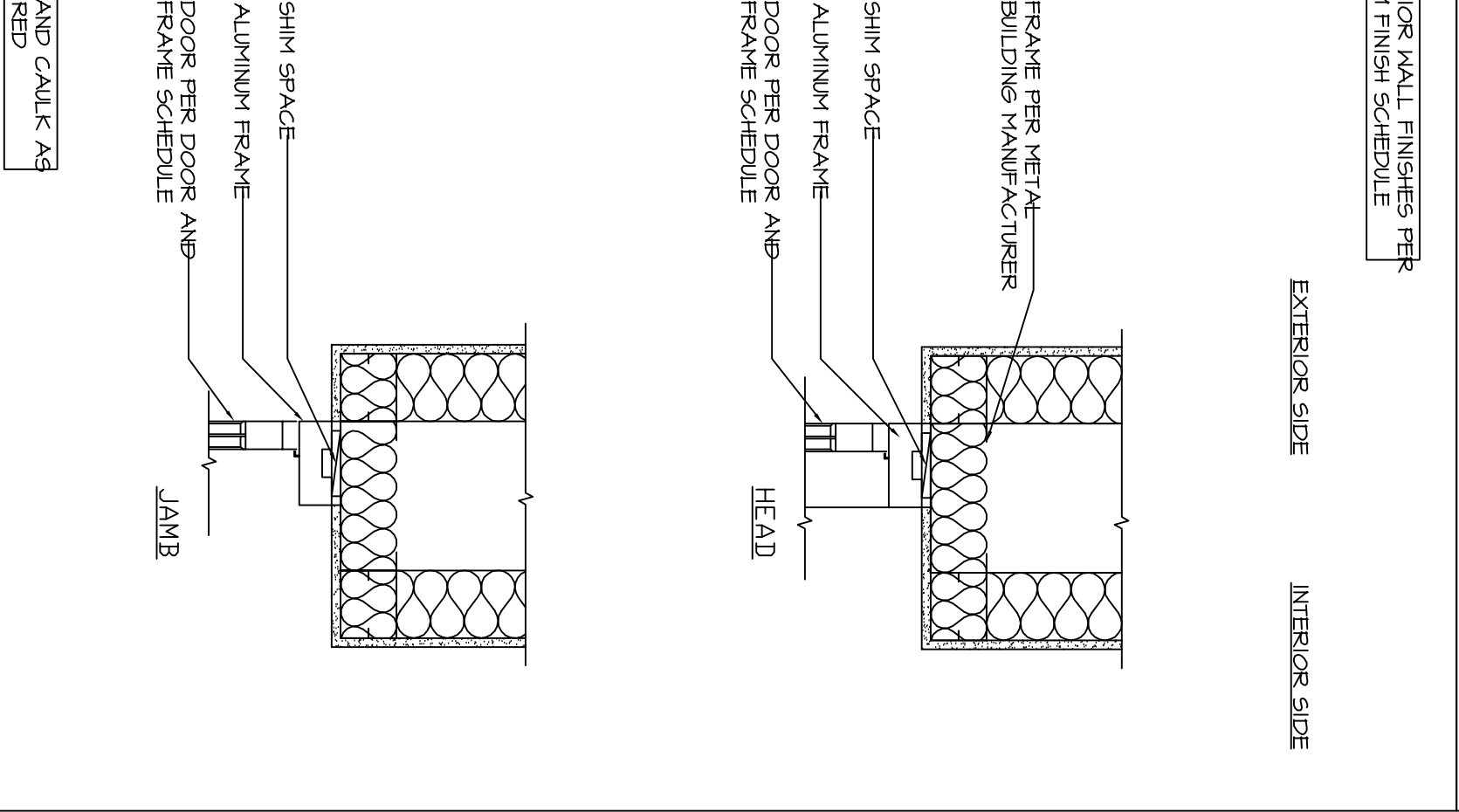
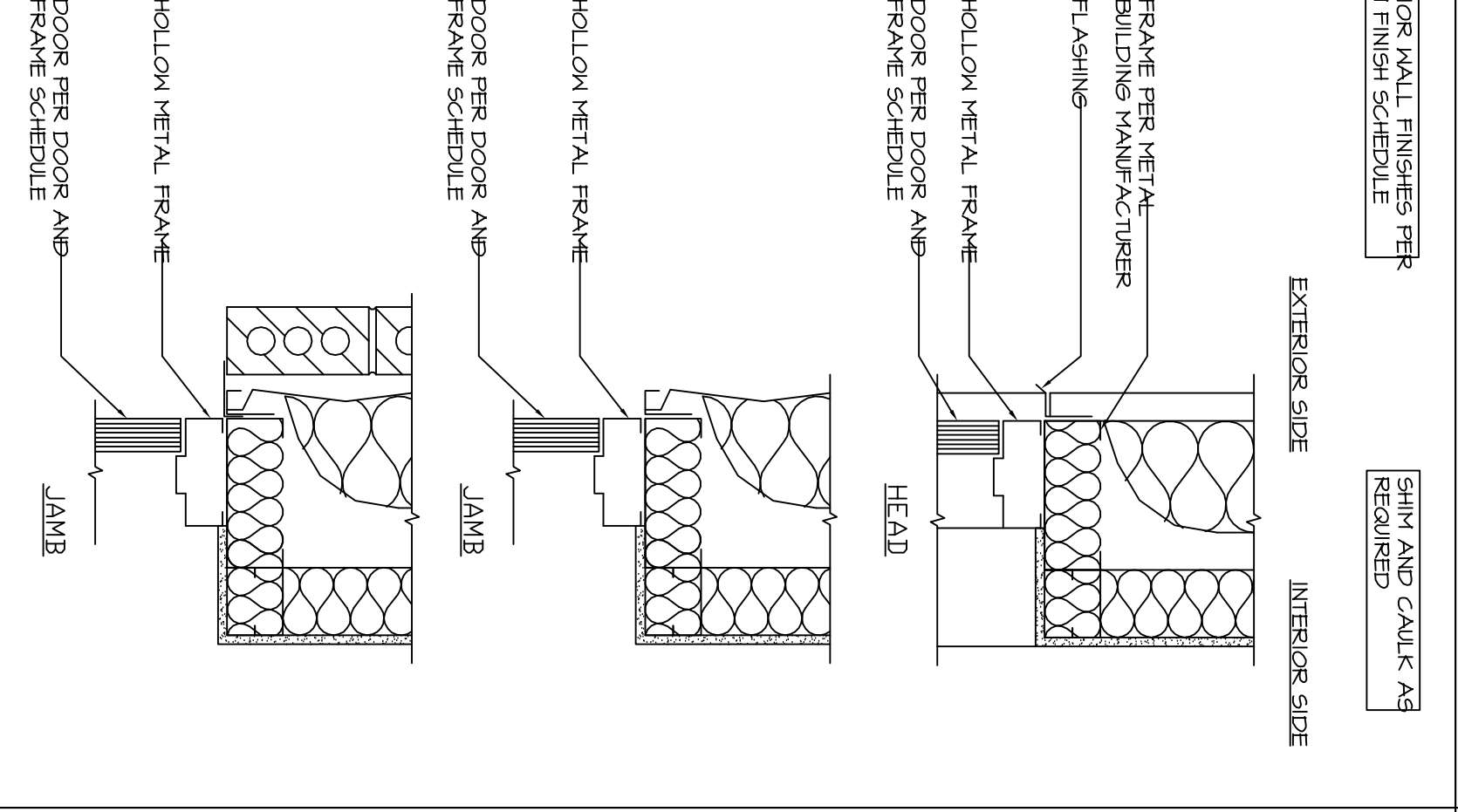
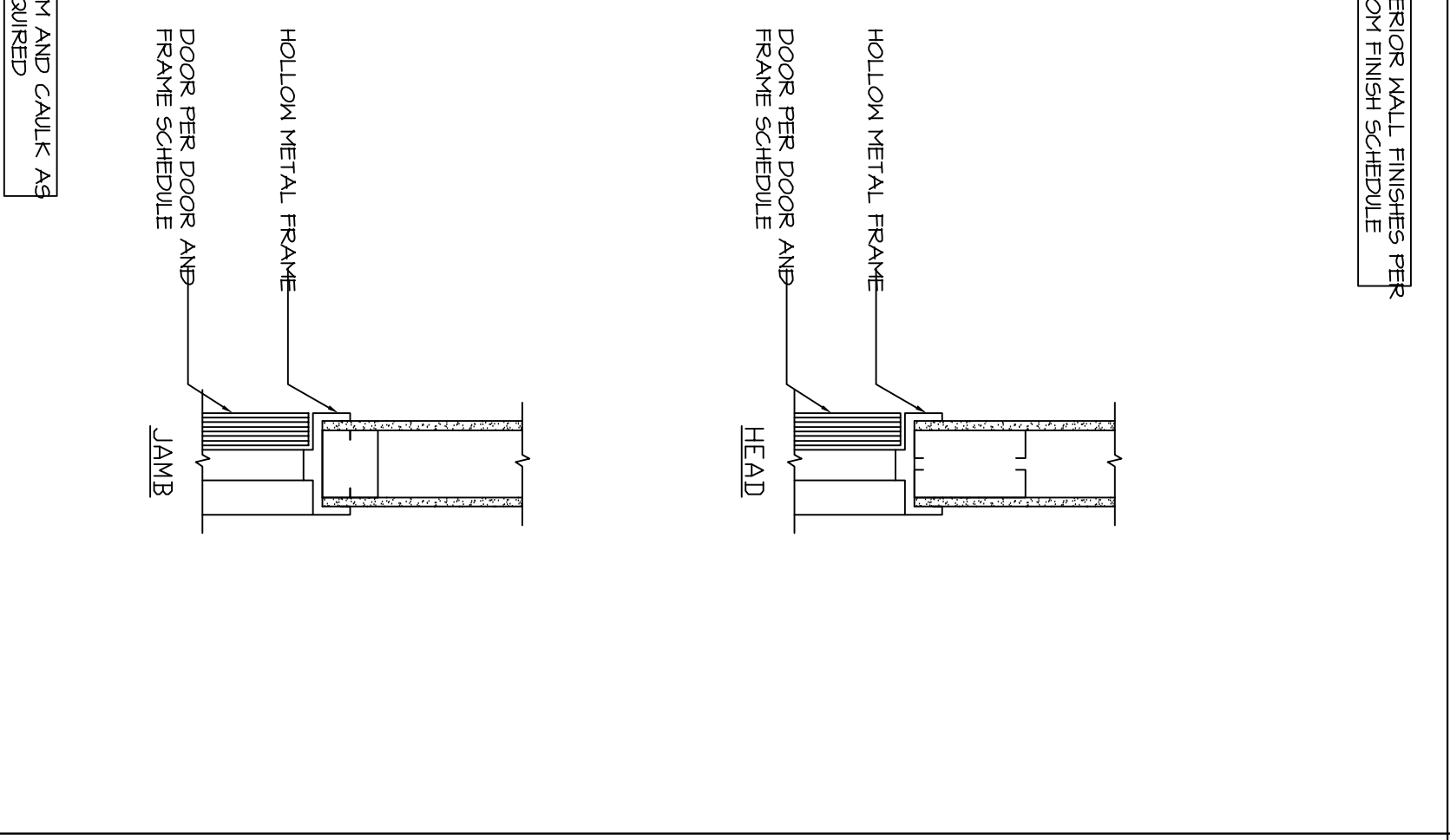
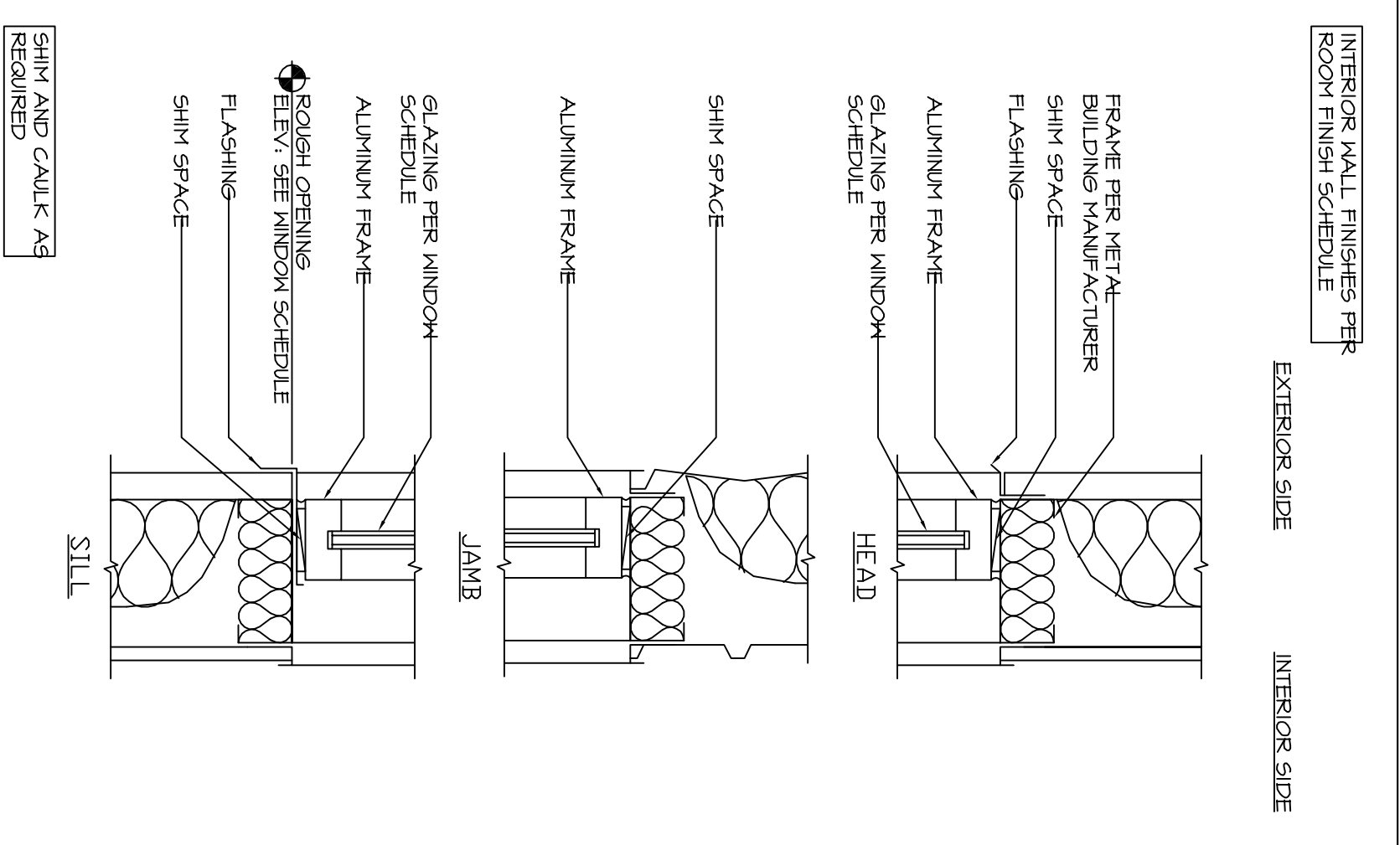
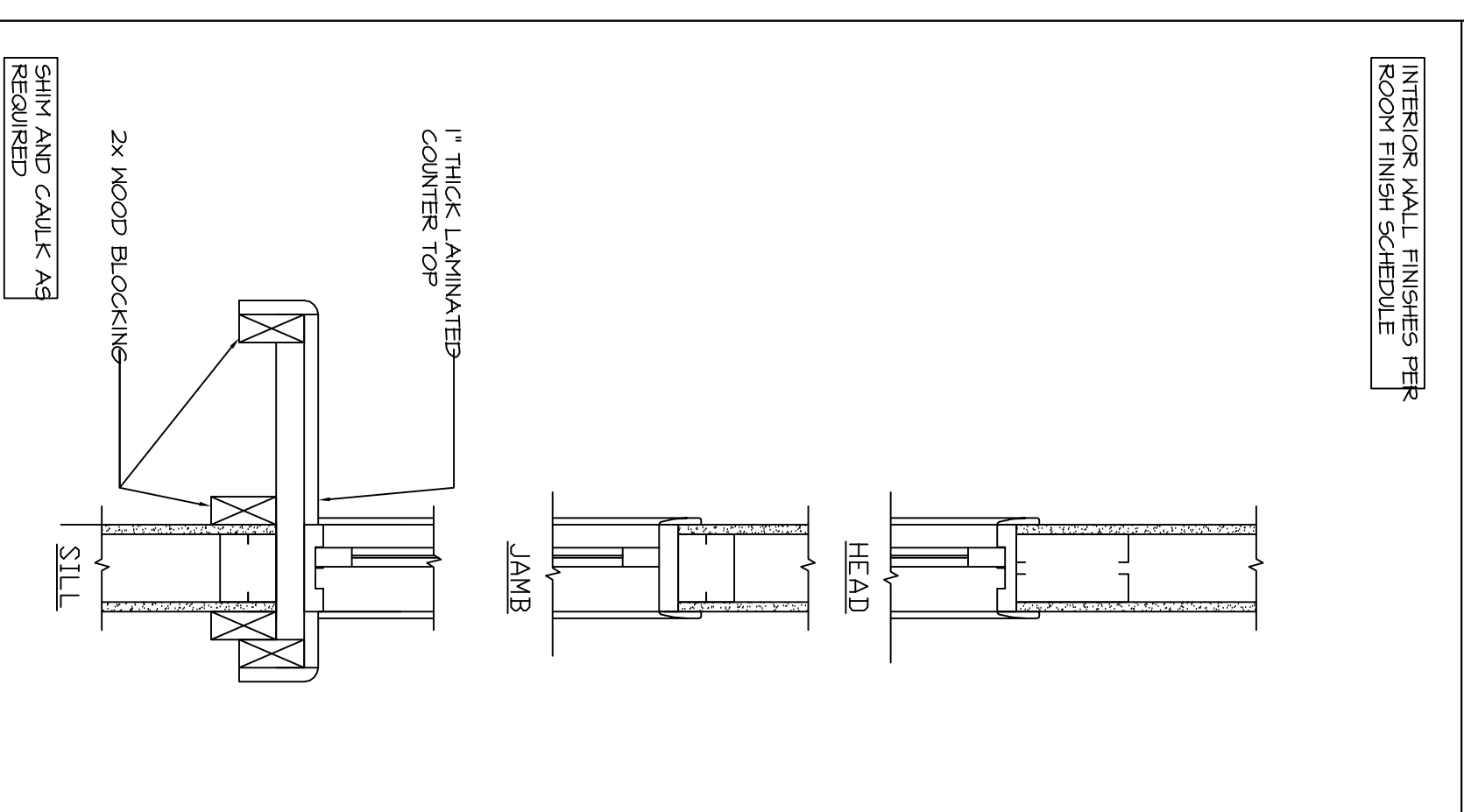
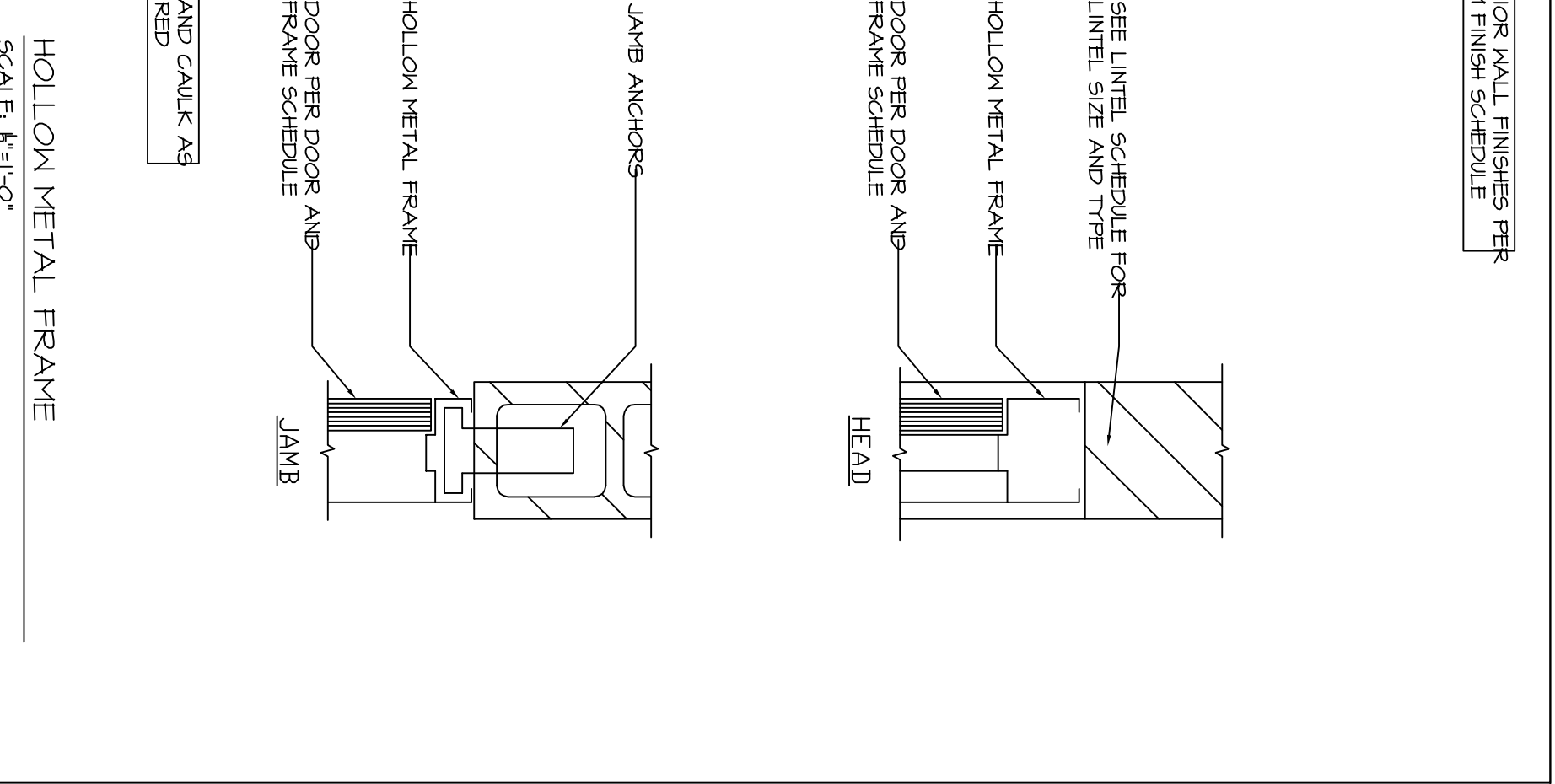
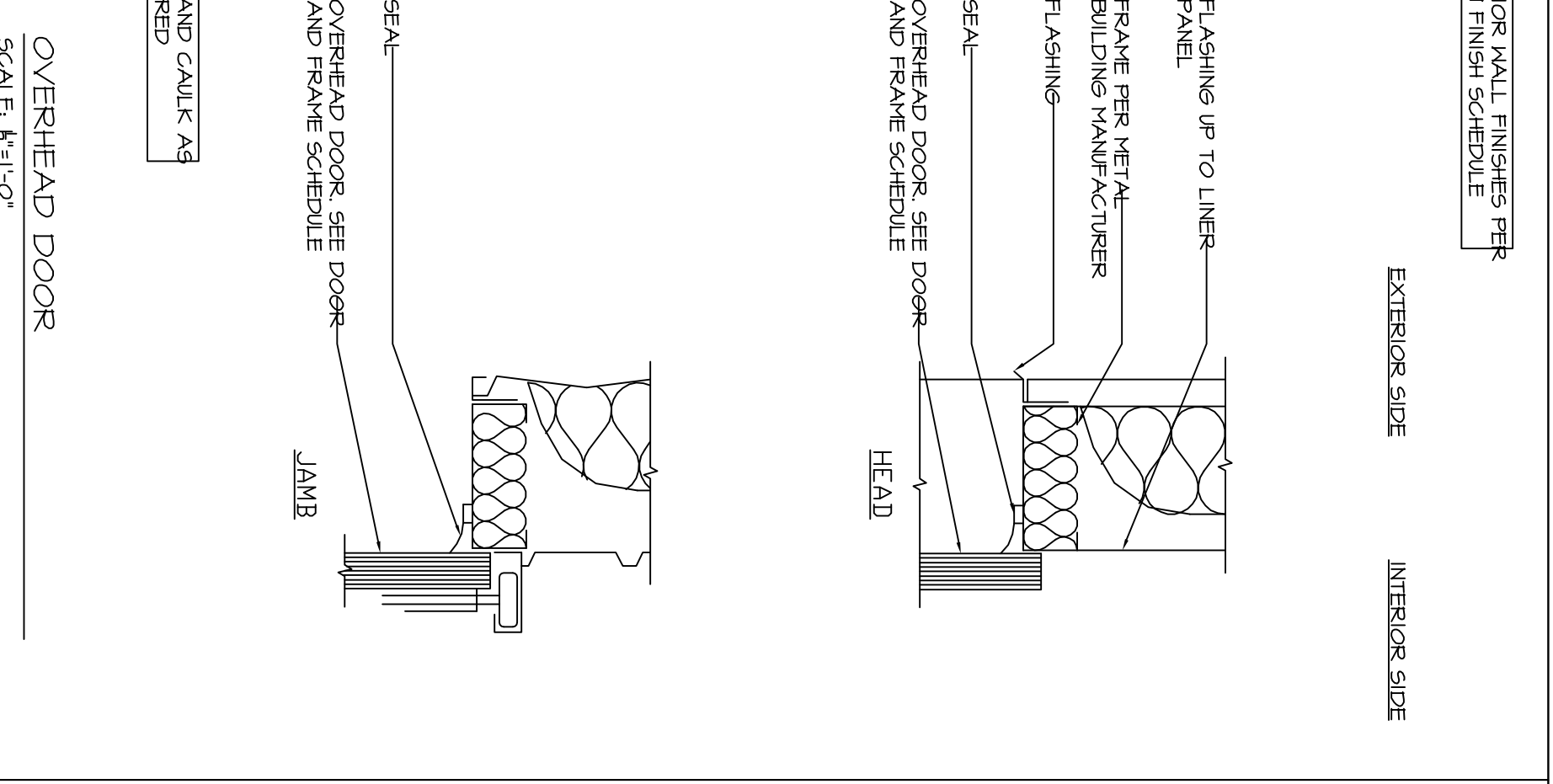
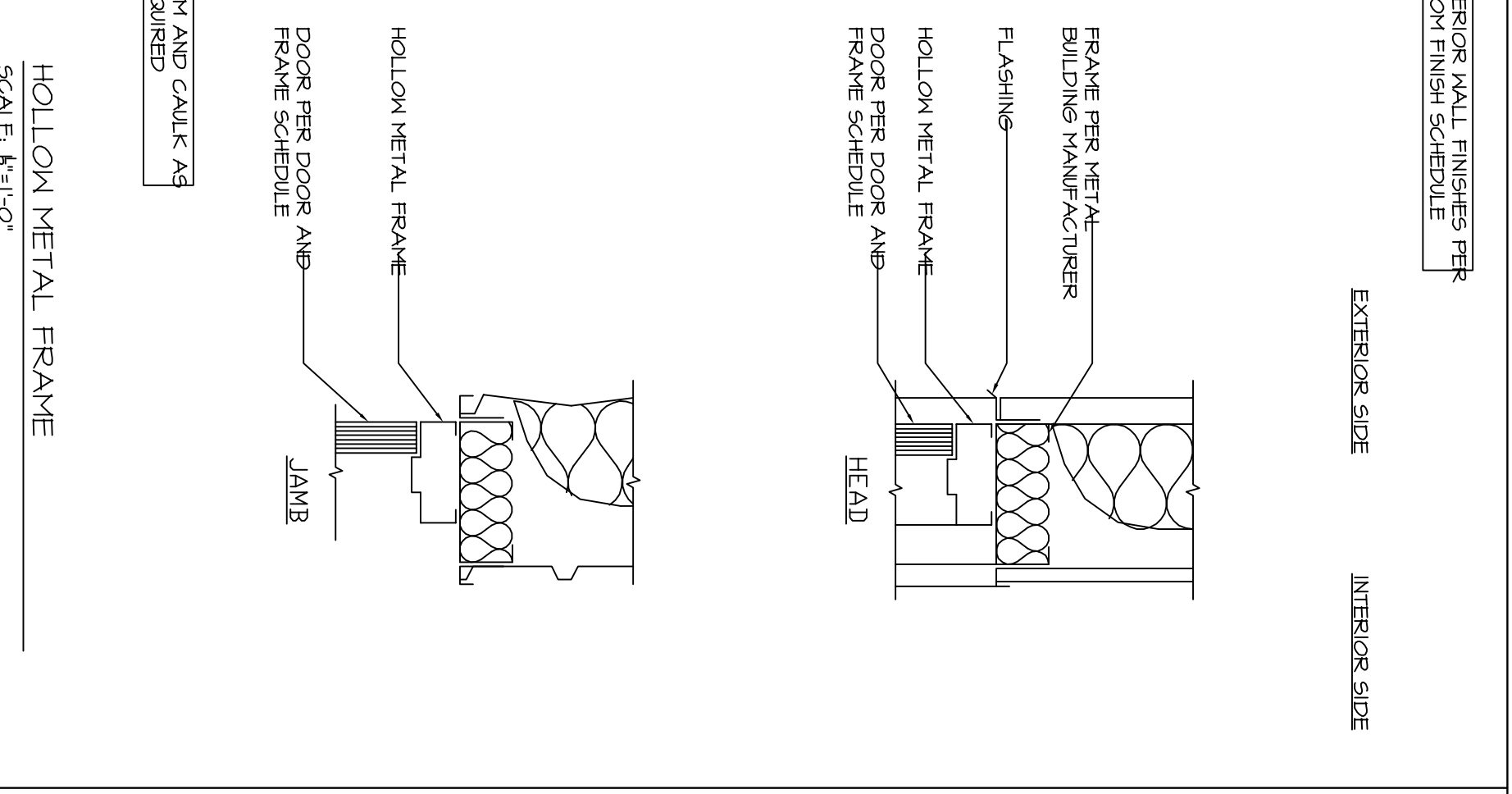
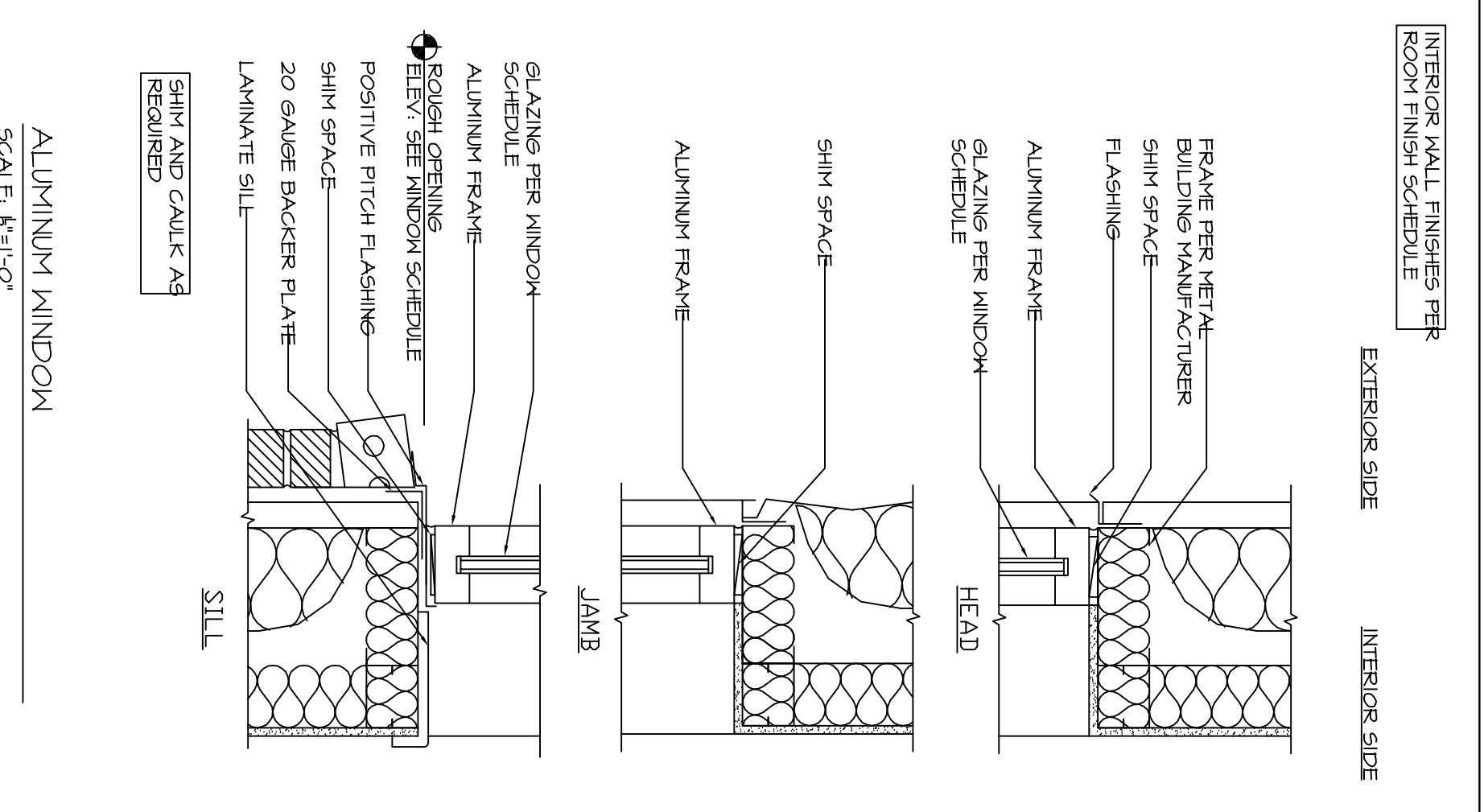
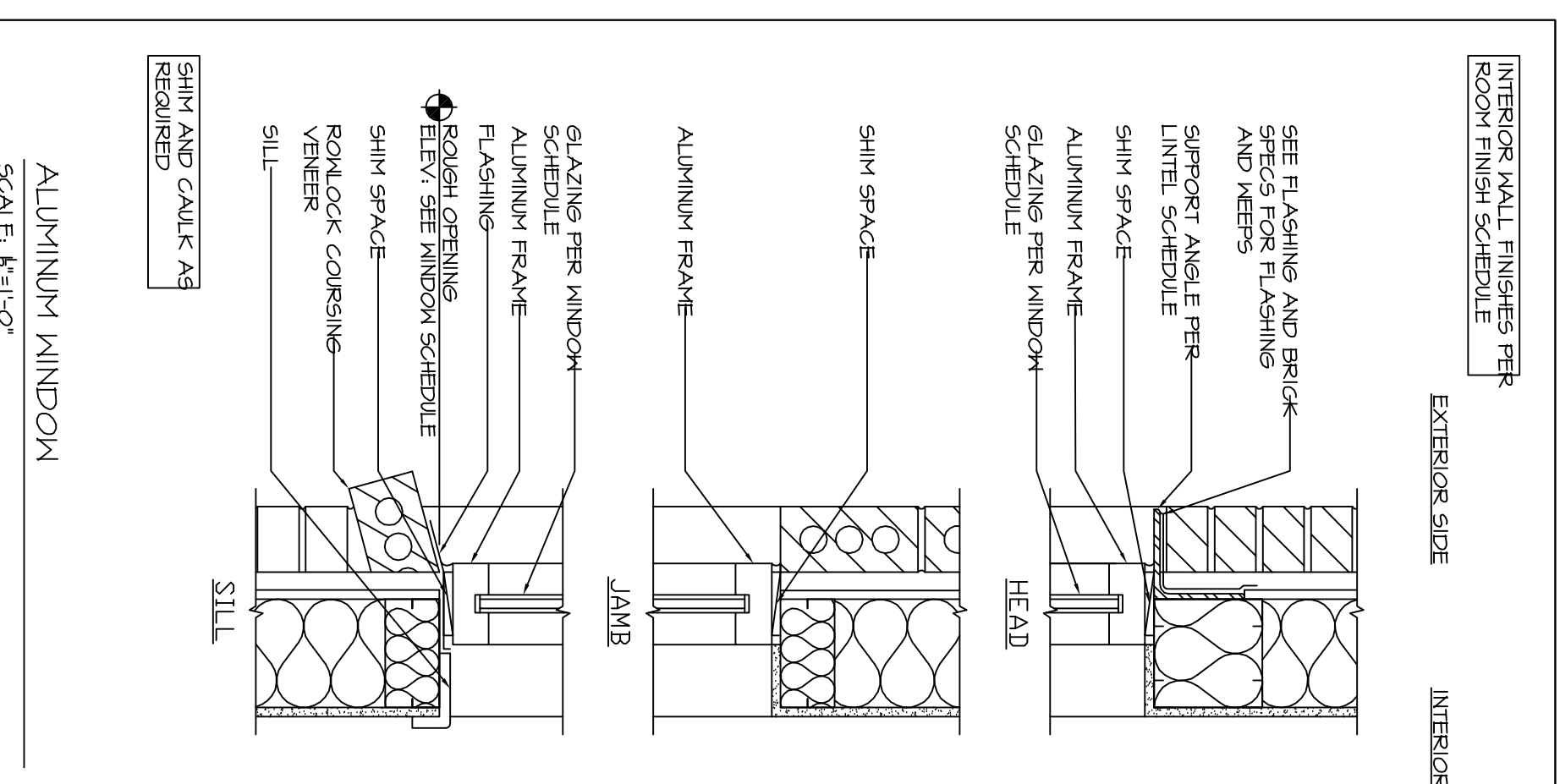
Thomas H. Williford Architect
FLORIDA REG # 9900
PO Box # 236
Holder, Fla. 3445
Phone - 352-476-1431

NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL CONSTRUCTION DRAWINGS PRIOR TO COMMENCING CONSTRUCTION.

THESE PLANS ARE FOR BIDDING PURPOSE ONLY DO NOT USE FOR CONSTRUCTION



<p>LAMERS</p> <p>DATE: 11.9.2012 DRAWING NO: 112-0011 DATE: 8.23.2012</p>	<p>FLEET MAINTENANCE FACILITY BUILDING</p> <p>LAMERS BUS LINES WILDWOOD FLORIDA SUMTER COUNTY</p>	<p>Signature Homes</p> <p>P.O. Box 697 Fruitland Park, FL 34731 Ph 352-787-8168 Fax 352-926-8141</p>	<p>Gregory Fengarinas and Associates Inc. 7124 W. Crestview Lane Crystal River, Fla 34414 Phone: 352-894-8160 FENASS@GMAIL.COM</p>	<p>Thomas H. Williford Architect FLORIDA REG # 9900 PO Box # 236 Holder, Fla. 34465 Phone - 352-476-1497</p>	<p>NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL CONSTRUCTION DRAWINGS PRIOR TO COMMENCING CONSTRUCTION.</p> <p>THESE PLANS ARE FOR BIDDING PURPOSE ONLY. DO NOT USE FOR CONSTRUCTION.</p>



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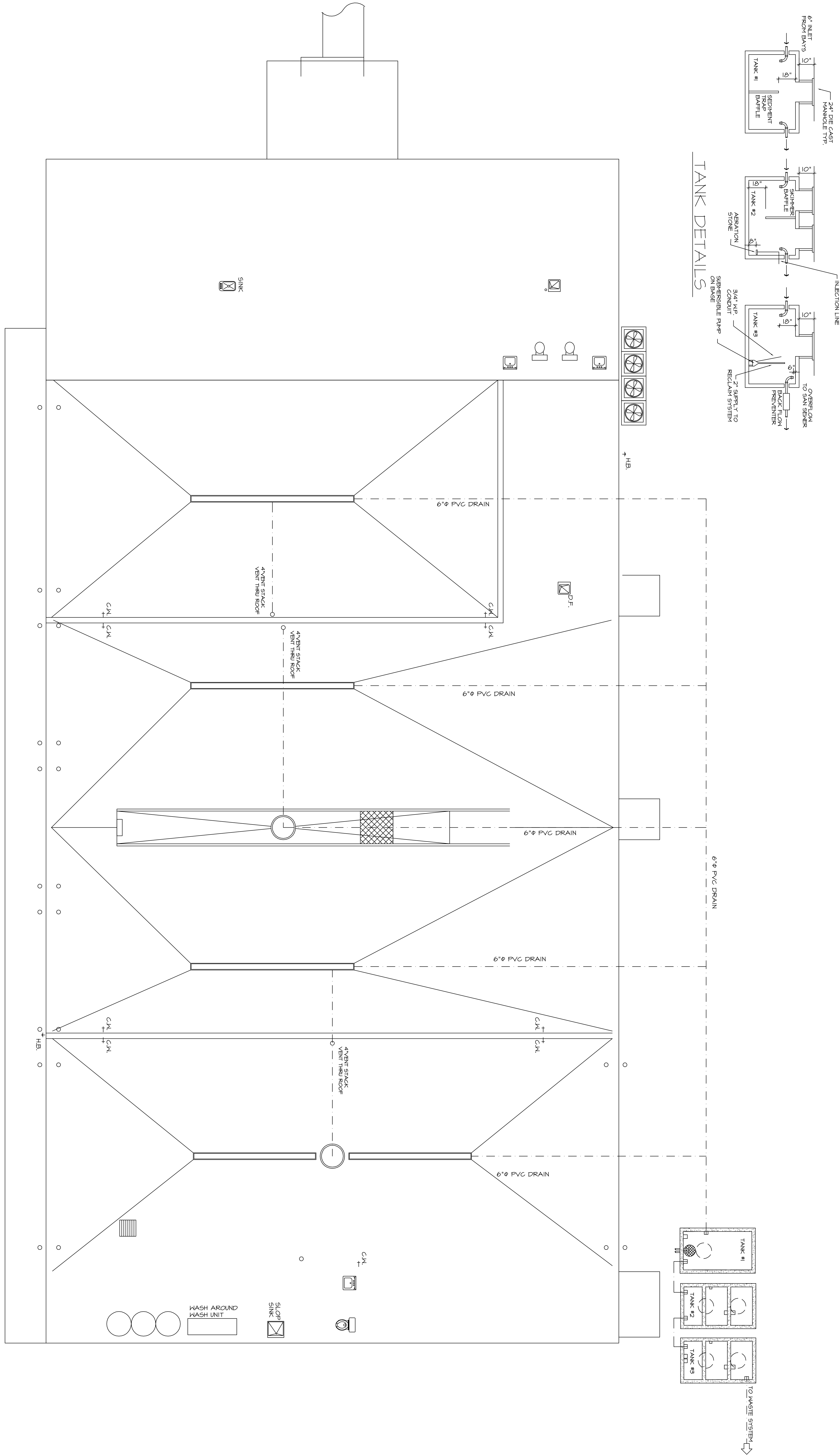
FLEET MAINTENANCE FACILITY BUILDING
LAMERS BUS LINES
WILDWOOD FLORIDA
SUMTER COUNTY

LAMERS

DATE 1-18-2012
DATE 8-1-2012
PROJECT NO. 12 - 638
SHEET 1011
BIG DETAILS

FLOOR DRAIN LAYOUT PLAN

SCALE 5/8" = 1'-0"



LAMERS

FLEET MAINTENANCE FACILITY BUILDING
LAMERS BUS LINES
 WILDWOOD FLORIDA
 SUMTER COUNTY

Signature Homes

P.O. Box 697 Fruitland Park, FL 34731 Ph 352-787-8168 Fax 352-326-8141

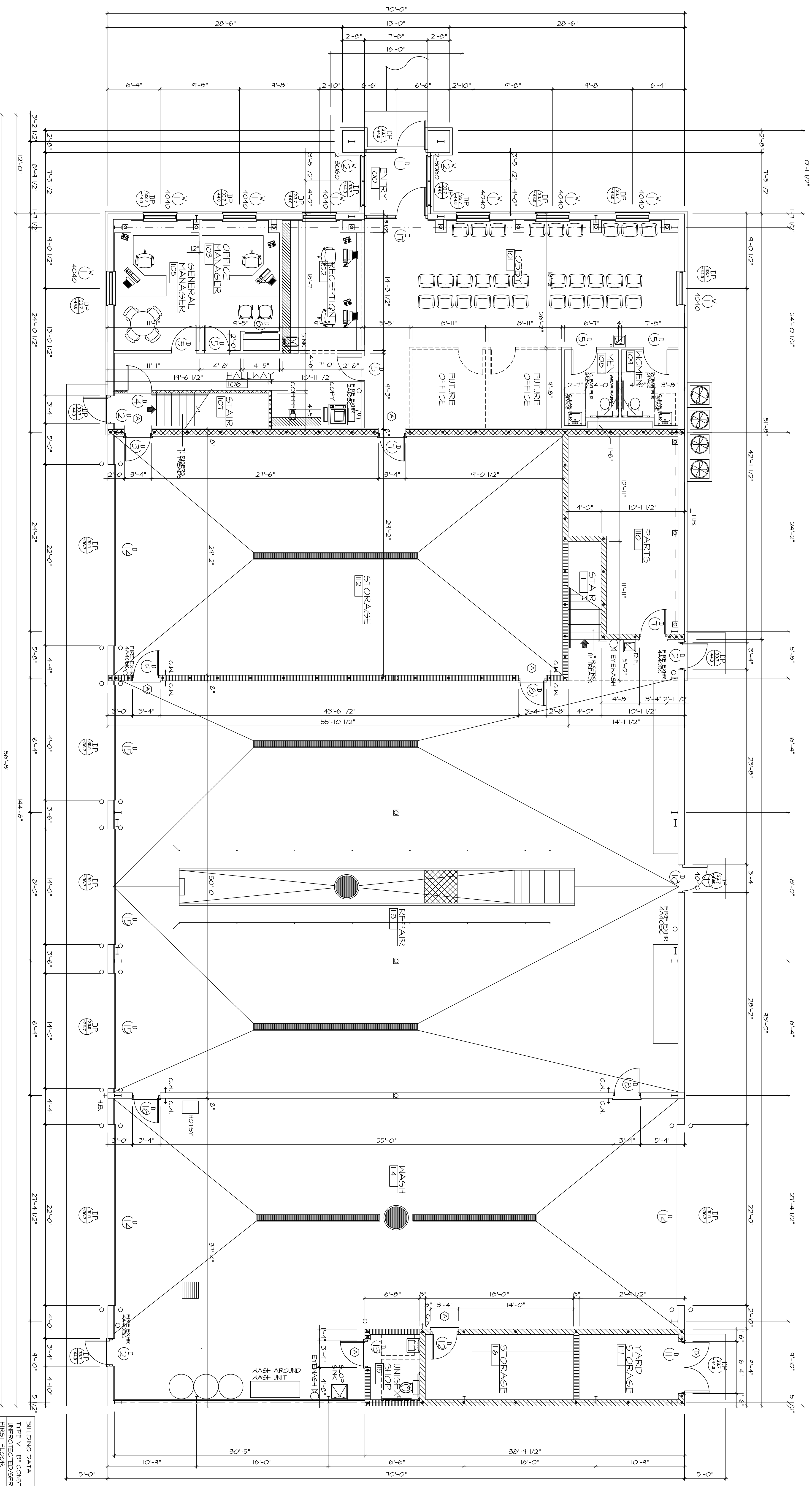
Gregory Fengarinas
 and
 Associates Inc.
 7124 W. Crestview Lane
 Crystal River, Fla. 34429
 Phone - 352-564-8160
 FENASSC@INFLIONLINE.NET

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 Architect
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 Phone - 352-476-1937

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 PURPOSE ONLY DO NOT USE FOR
 CONSTRUCTION

DATE 1-18-2012
 DATE 8-2-2012
 PROJECT NO. 12 - 638
 SHEET 20111
 FLOOR DRAIN LAYOUT PLAN

- NOTES
- (1) CORES ON EACH SIDE OF OPENING TO SET A 6 BAR VERTICAL (CONCRETE) TO TOP OF WALL AND SOLID GROUT (CONCRETE) ABOVE REINFORCE AND GROUT FIVE CORNERS ON EACH SIDE OF OPENING REINFORCEMENTS TO BE CONCRETE THROUGH LIMIT OF 12" OFF WALL.
 - (2) DOUBLE RING STOPS REQUIRED ON EACH SIDE.
 - (3) DOUBLE RING STOPS REQUIRED ON EACH SIDE.
 - (4) DOUBLE RING STOPS REQUIRED ON EACH SIDE.
 - (5) DOUBLE RING STOPS REQUIRED ON EACH SIDE.
 - (6) DOUBLE RING STOPS REQUIRED ON EACH SIDE.
 - (7) DOUBLE RING STOPS REQUIRED ON EACH SIDE.
 - (8) DOUBLE RING STOPS REQUIRED ON EACH SIDE.
 - (9) DOUBLE RING STOPS REQUIRED ON EACH SIDE.
 - (10) DOUBLE RING STOPS REQUIRED ON EACH SIDE.



FLOOR PLAN

SCALE 3/16" = 1'-0"

DOOR SCHEDULE

STYL	QUANTY	TYPE	ACTUAL SIZE	STYLE	RATING	HWKRE	MATL	JAMB	REMARKS
1	1	ENTRY	6'-0" X 6'-0"	"A"			MTL DR	MTL	
2	3	EXTERIOR	3'-0" X 6'-0"	"B"			MTL DR	MTL	
3	1	SMING	3'-0" X 6'-0"	"A"	2 HR		MTL DR	MTL	
4	2	SMING	3'-0" X 6'-0"	"C"	2 HR		MTL DR	MTL	
5	12	SMING	3'-0" X 6'-0"	"A"			MTL DR	MTL	
6	2	SMING	3'-0" X 6'-0"	"A"			MTL DR	MTL	
7	2	SMING	3'-0" X 6'-0"	"A"			MTL DR	MTL	
8	2	SMING	3'-0" X 6'-0"	"A"			MTL DR	MTL	
9	2	SMING	3'-0" X 6'-0"	"A"			MTL DR	MTL	
10	1	EXTERIOR	6'-0" X 6'-0"	"A"			MTL DR	MTL	
11	1	EXTERIOR	3'-0" X 6'-0"	"A"	1 HR		MTL DR	MTL	
12	1	SMING	3'-0" X 6'-0"	"A"			MTL DR	MTL	
13	3	ROLL-UP	22'-0" X 14'-0"	"E"			MTL DR	MTL	
14	3	SMING	3'-0" X 6'-0"	"B"			MTL DR	MTL	
15	1	SMING	6'-0" X 6'-0"	"B"			MTL DR	MTL	

WINDOW SCHEDULE - MARION MASONRY PRODUCTS

STYL	QUANTY	SIZE	LINEEL	BOND/BEAN	LOAD/UL/LIFT
A	40	6'-4"	(1) #5	(1) #5	35663/1368
B	16	11'-2"	(1) #5	(1) #5	20287/11

WINDOW SCHEDULE

STYL	QUANTY	STYLE	ROUGH OPNG.	REMARKS
1	14	4040	48 1/4" X 50 1/2"	FIXED GLASS
2	2	2-3060	72 1/4" X 74 1/2"	FIXED GLASS

BUILDING DATA

TYPE V - 'B' CONSTRUCTION
FIRST FLOOR

OCUPANCY - GROUP '1' BUSINESSES
OCUPANCY - 'T' / '100' = 8 PERSONS
OCUPANCY - GROUP '5' STORAGE
OCUPANCY - GROUP '5' STORAGE
OCUPANCY - 31 FIXED SEATS
OCUPANCY - GROUP '5' STORAGE
OCUPANCY - 310 / 300 = 2 PERSONS
OCUPANCY - SERVICE BAY
OCUPANCY - = 8 PERSONS

SECOND FLOOR

OCUPANCY - GROUP '1' BUSINESSES
OCUPANCY - 438 / 100 = 5 PERSONS
OCUPANCY - GROUP '5' STORAGE
OCUPANCY - 1160 / 300 = 4 PERSONS
TOTAL OCCUPANCY = 59 PERSONS

MAX 3 STORES
MAX 14,000 SFT
200FT MAX TRAVEL / 20' DEAD END
LAYS 1/80 = 6 LAYS
FITTERS 1/80 = 6 FIXTURES
FITTERS 1/80 = 1
ALL CONTRIBUTION SHALL CONFORM TO

DATE 1.18.2012
DATE 8.24.2012

PROJECT NO 12 - 638
SHEET 30 of 31
FLOOR PLAN

LAMERS
WILDWOOD FLORIDA
SUMTER COUNTY

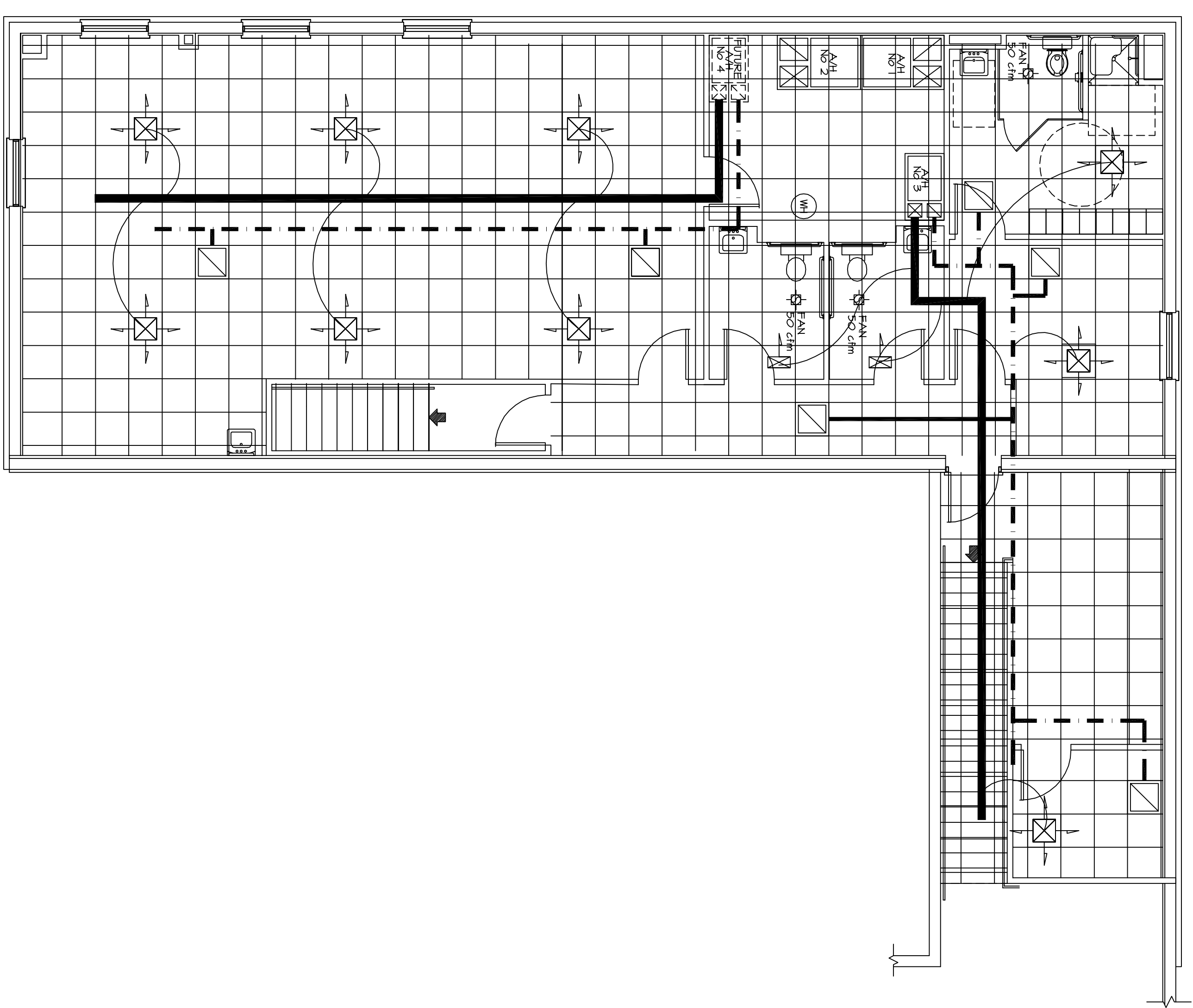
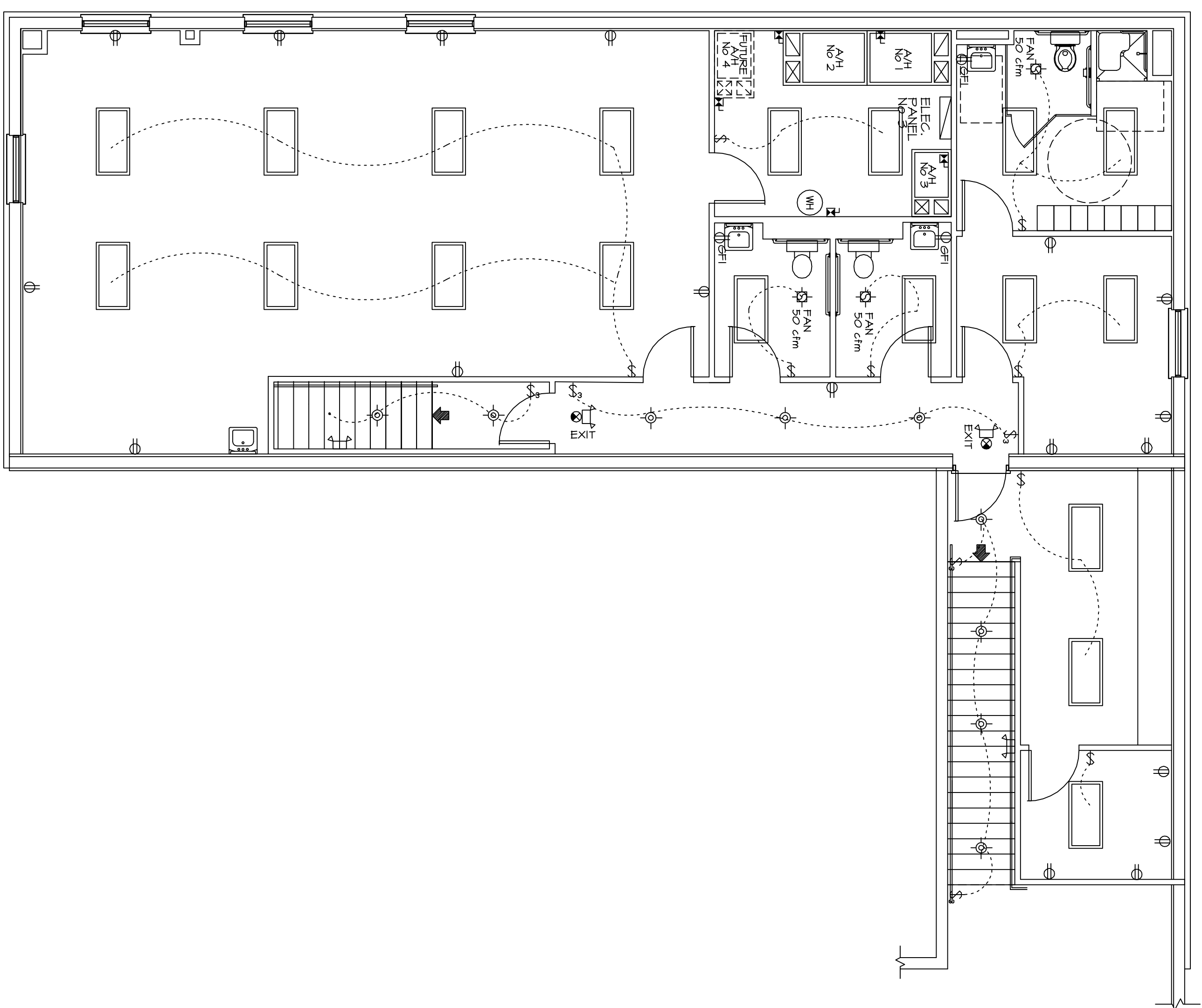
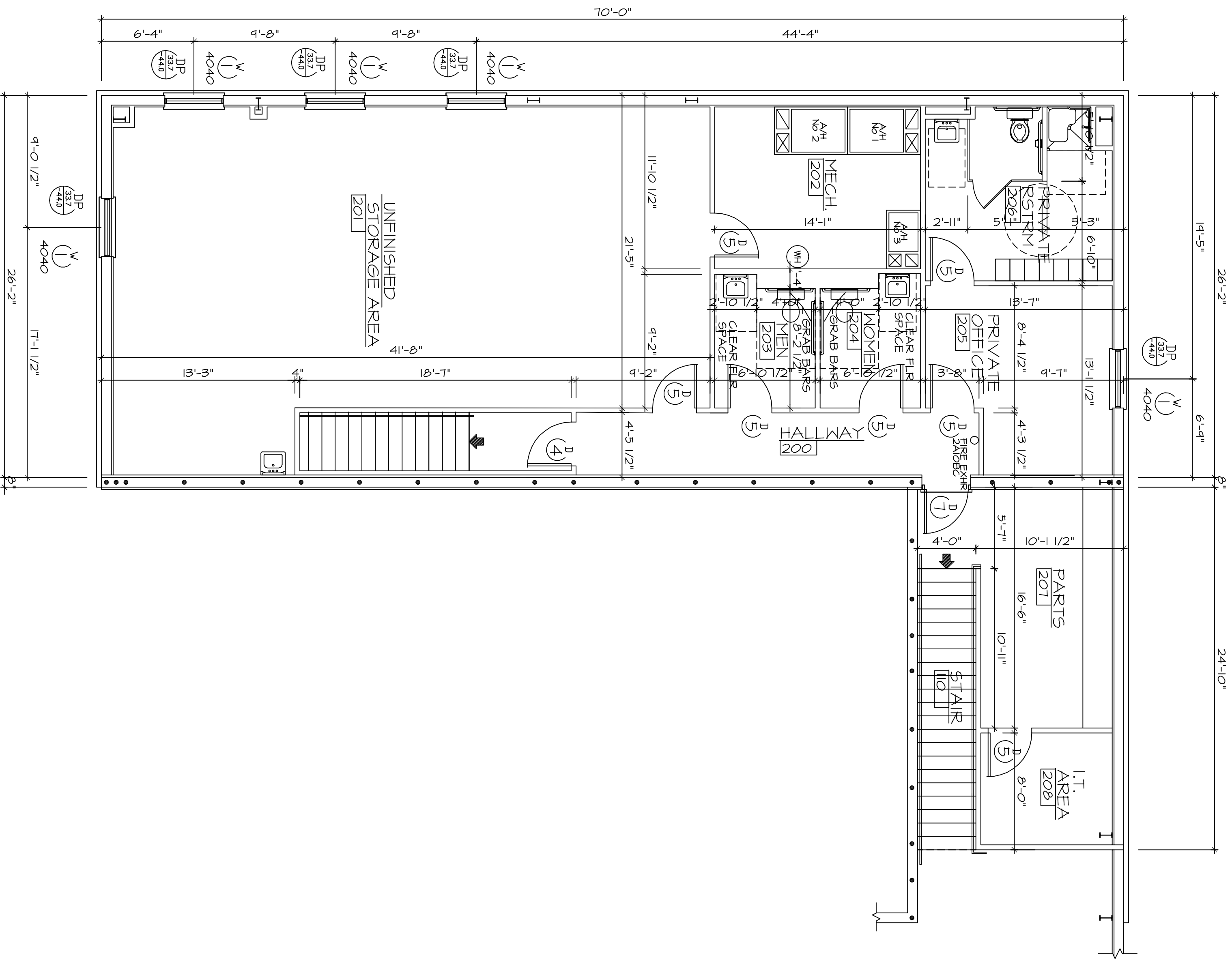
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FLOOR PLAN
SCALE 3/16" = 1'-0"

ELECTRICAL PLAN
SCALE 3/16" = 1'-0"

HVAC PLAN
SCALE 3/16" = 1'-0"

NOTES: 1. ALL EXTERIOR DOORS TO BE FINISHED WITH LAMERS VERTICAL SLAT ALUMINUM DOORS. 2. ALL INTERIOR DOORS TO BE FINISHED WITH LAMERS HORIZONTAL SLAT ALUMINUM DOORS. 3. ALL DOORS TO BE FINISHED WITH LAMERS VERTICAL SLAT ALUMINUM DOORS. 4. ALL DOORS TO BE FINISHED WITH LAMERS HORIZONTAL SLAT ALUMINUM DOORS. 5. ALL DOORS TO BE FINISHED WITH LAMERS VERTICAL SLAT ALUMINUM DOORS. 6. ALL DOORS TO BE FINISHED WITH LAMERS HORIZONTAL SLAT ALUMINUM DOORS. 7. ALL DOORS TO BE FINISHED WITH LAMERS VERTICAL SLAT ALUMINUM DOORS. 8. ALL DOORS TO BE FINISHED WITH LAMERS HORIZONTAL SLAT ALUMINUM DOORS. 9. ALL DOORS TO BE FINISHED WITH LAMERS VERTICAL SLAT ALUMINUM DOORS. 10. ALL DOORS TO BE FINISHED WITH LAMERS HORIZONTAL SLAT ALUMINUM DOORS.

DOOR SCHEDULE

STYL	QUNTY.	TYPE	ACTUAL SIZE	STYLE	RATING	HWKRE	MATL	JAMB	REMARKS
1	1	ENTRY	6'0" X 6'8"	"A"			MTL DR	MTL	
2	3	EXTERIOR	3'0" X 6'8"	"B"			MTL DR	MTL	
3	1	SMING	3'0" X 6'8"	"C"	2 HR	AUTO CLOSER	MTL DR	MTL	
4	2	SMING	3'0" X 6'8"	"A"	2 HR	AUTO CLOSER	MTL DR	MTL	
5	12	SMING	3'0" X 6'8"	"A"			MTL DR	MTL	
6	2	SMING	3'0" X 6'8"	"A"			MTL DR	MTL	
7	1	SMING	3'0" X 6'8"	"A"			MTL DR	MTL	
8	2	SMING	3'0" X 6'8"	"A"			MTL DR	MTL	
9	1	SMING	3'0" X 6'8"	"A"			MTL DR	MTL	
10	1	SMING	3'0" X 6'8"	"A"			MTL DR	MTL	
11	1	SMING	3'0" X 6'8"	"A"			MTL DR	MTL	
12	1	SMING	3'0" X 6'8"	"A"			MTL DR	MTL	
13	1	SMING	3'0" X 6'8"	"A"			MTL DR	MTL	
14	3	ROLL-UP	22'0" X 14'0"	"E"			MTL DR	MTL	
15	1	SMING	3'0" X 6'8"	"C"			MTL DR	MTL	
16	1	SMING	3'0" X 6'8"	"B"			MTL DR	MTL	
17	1	ENTRY	6'0" X 6'8"	"B"			MTL DR	MTL	

UNTEL SCHEDULE - MARION MASONRY PRODUCTS

STYL	OPENING	SIZE	UNTEL	UNTEL	BOND/BEAN	LOAD/RLFT
A	40	64	6" PRECAST	(1) #5	(1) #5	3566/1368
B	16	112	6" PRECAST	(1) #5	(1) #5	2028/717

WINDOW SCHEDULE

STYL	QUNTY.	STYLE	ROUGH OPENG.	REMARKS
1	14	4040	48 1/4" X 50 1/2"	FIXED GLASS
2	2	2-3060	72 1/4" X 74 1/2"	FIXED GLASS

NOTES:
 (1) CORERS ON EACH SIDE OF OPENING TO SET A 1/8 BAR VERTICAL (CONTINUOUS TO TOP OF MULL) AND SOLID GROUT (OVERHEAD DOORS) VERTICAL, REBAR TO BE CONTINUED THROUGH LITTLE TO TOP OF MULL.
 (2) CORERS SOLID ON EACH SIDE OF OVERHEAD DOORS.
 (3) DOUBLE KING STUDS REQUIRED ON EACH SIDE.
 (4) ATTACH LAGBOLT TO EACH SIDE OF OVERHEAD DOORS.
 (5) DOUBLE SWAGLERS SHIPS REQUIRED ON EACH SIDE.

PROJECT NO. 12 - 6 3 B
 DATE 1-18-2012
 DATE 8-2-2012
 SHEET 4011
 2ND FLOOR PLANS



FLEET MAINTENCE FACILITY BULSING
 LAMERS BUS LINES
 WILDWOOD FLORIDA
 SUMTER COUNTY

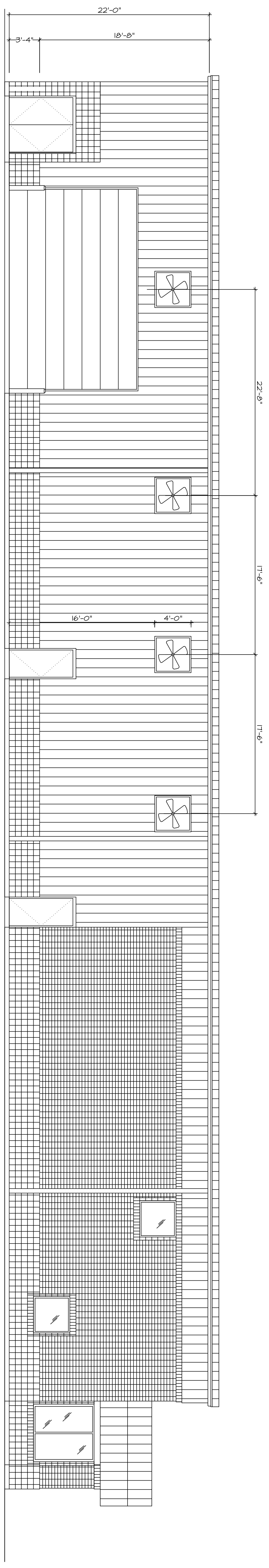
Signature Homes

P.O. Box 697 Fruitland Park, FL 34731 Ph 352-787-8168 Fax 352-926-8141

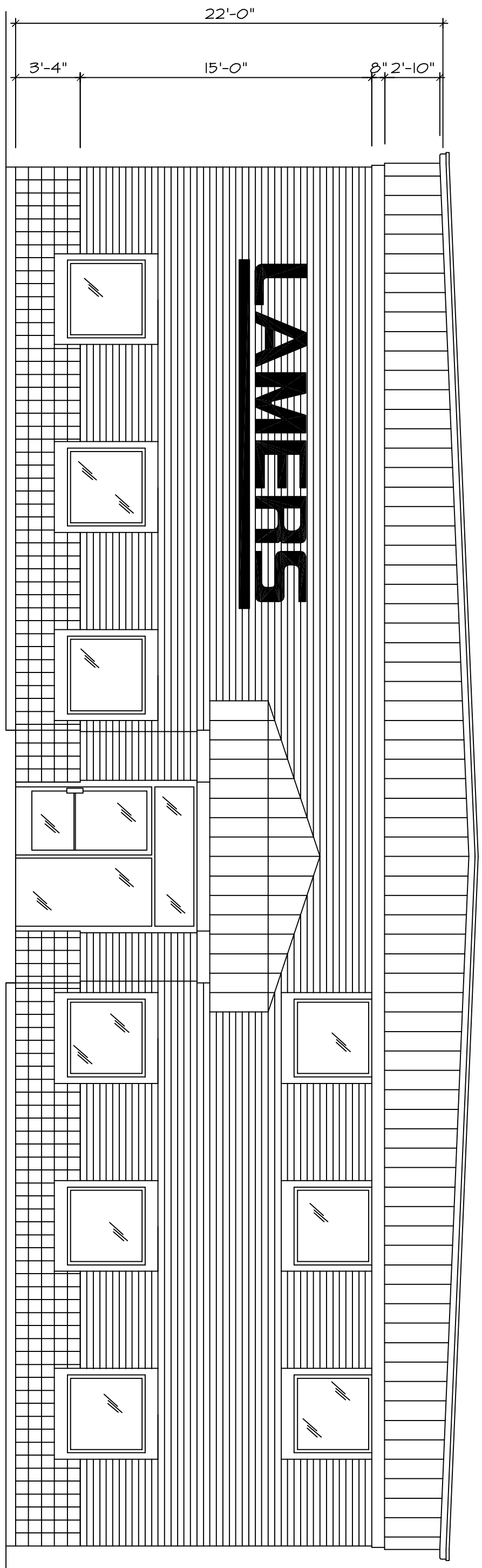
Gregory Fengarinas and Associates Inc.
 7124 W. Crestview Lane
 Crystal River, Fla 34429
 Phone 352-564-8160
 FENASS@GMAIL.COM

Thomas H. Williford Architect
 FLORIDA REG # 9900
 PO Box # 236
 Holder, Fla. 34445
 Phone - 352-476-1937

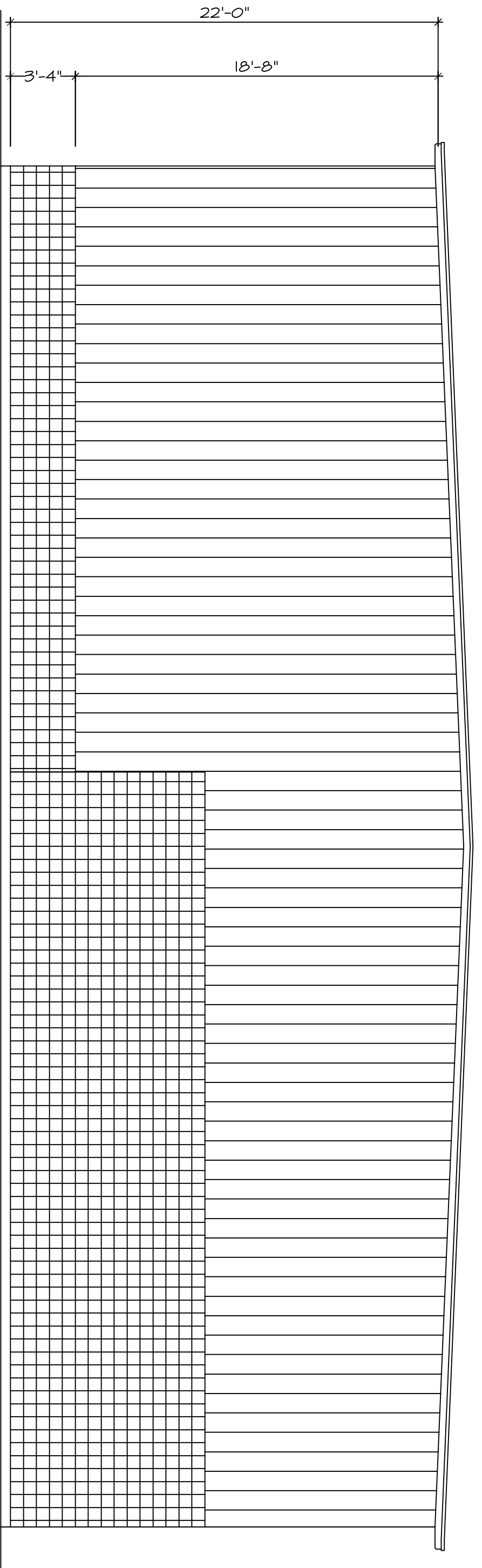
NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL CONSTRUCTION DRAWINGS PRIOR TO COMMENCING CONSTRUCTION.
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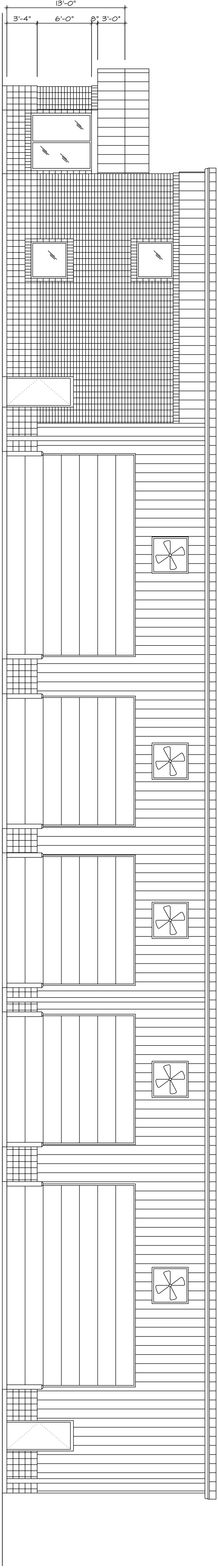
LEFT ELEVATION
SCALE 3/16" = 1'-0"



FRONT ELEVATION
SCALE 3/16" = 1'-0"



REAR ELEVATION
SCALE 3/16" = 1'-0"



RIGHT ELEVATION
SCALE 3/16" = 1'-0"

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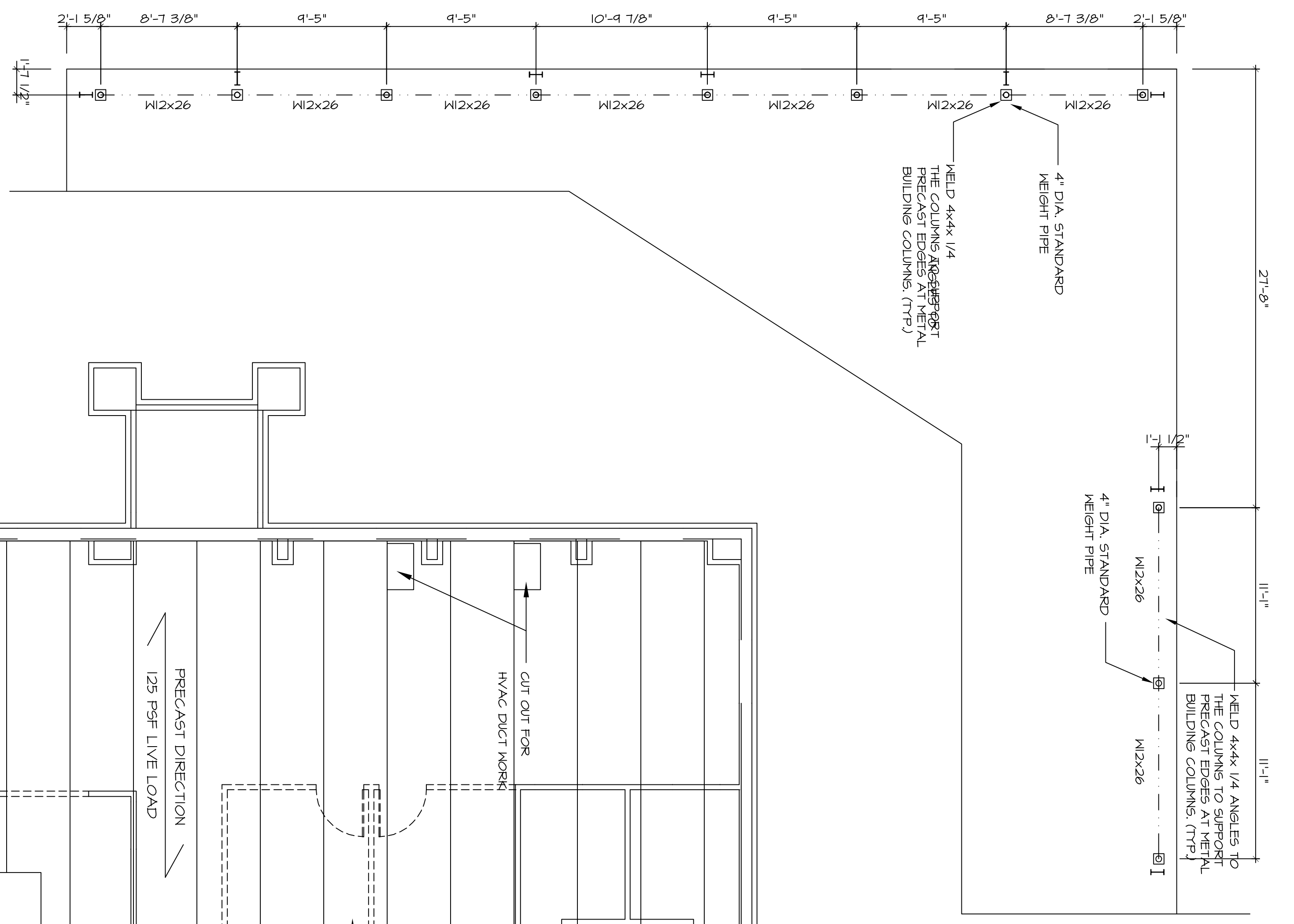
Signature Homes
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FLEET MAINTENCE FACILITY BUILDING
LAMERS BUS LINES
WILDWOOD FLORIDA
SUMTER COUNTY

LAMERS

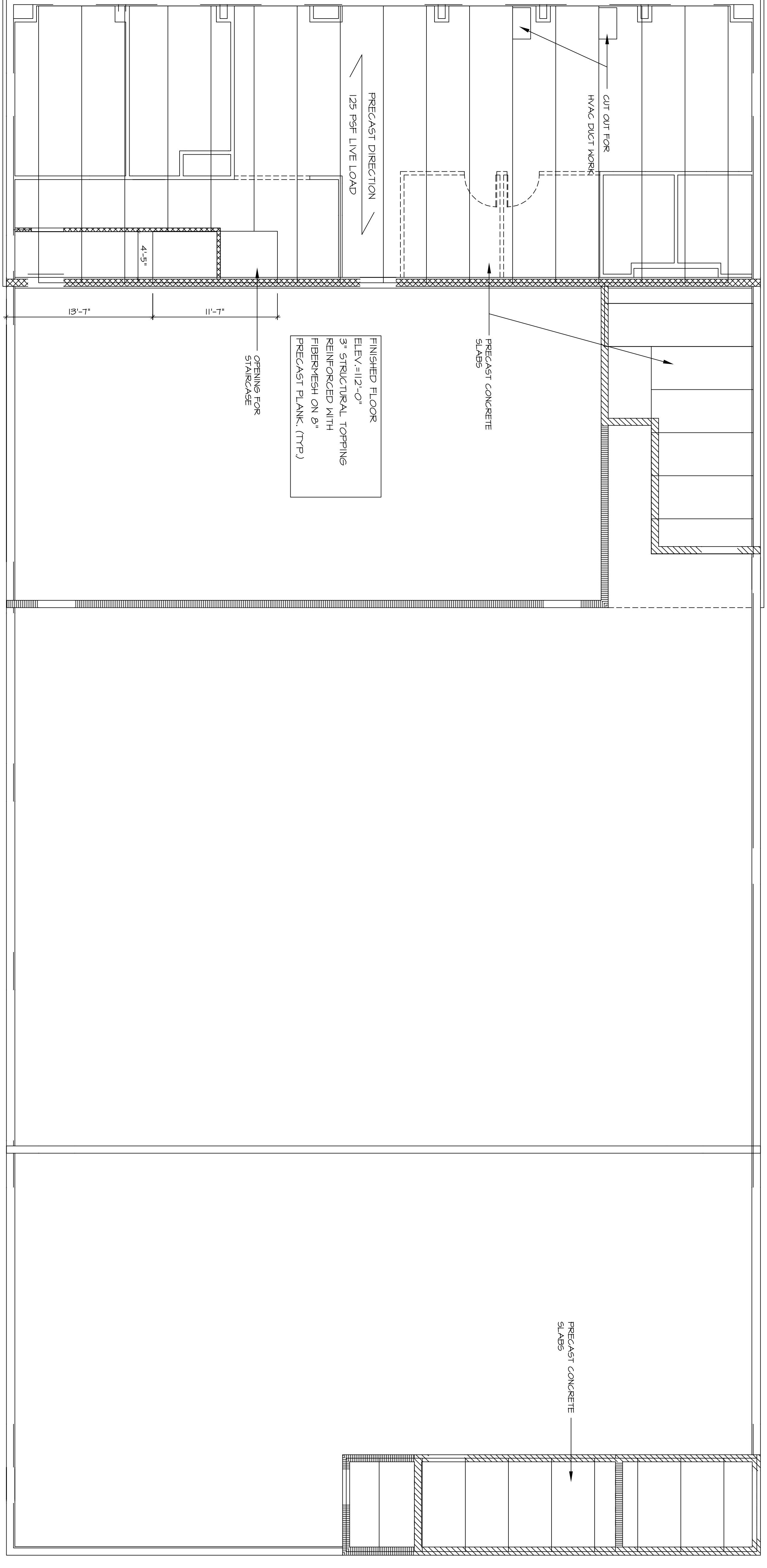
DATE 7-18-2012
DATE 8-2-2012
PROJECT NO. 12 - 638
SHEET 5 of 11
ELEVATIONS

COLUMN/BEAM LAYOUT
SCALE 3/16" = 1'-0"



NOTE: PRECAST SUPPLIER TO PROVIDE WELD PLATES AT 4'-0" O.C. FOR ROM OF BEAMS. TACK WELD PLANKS TO SUPPORT BEAMS.

FLOOR FRAMING PLAN
SCALE 3/16" = 1'-0"



FLEET MAINTENCE FACILITY BULSING
LAMERS BUS LINES
WILDWOOD FLORIDA
SUMTER COUNTY

Signature Homes
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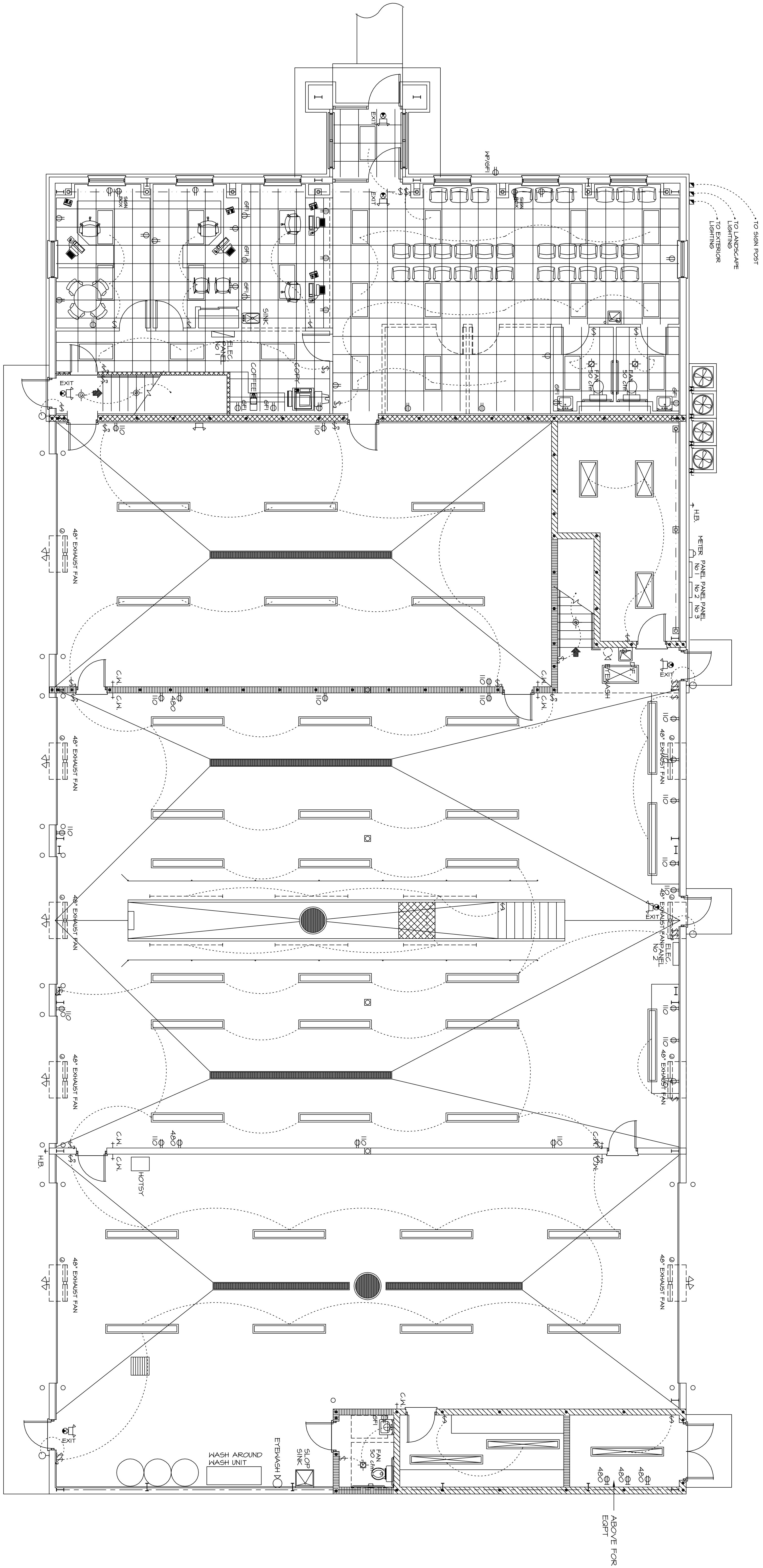
Gregory Fingarinas
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Phone - 352-476-1497

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DATE 1-18-2012
DATE 8-2-2012
PROJECT NO. 12 - 638
SHEET 0011
FLOOR FRAMING PLAN



ELECTRICAL PLAN

SCALE 5/16" = 1'-0"



FLEET MAINTENANCE FACILITY BUILDING
LAMERS BUS LINES
WILDWOOD FLORIDA
SUMTER COUNTY

Signature Homes

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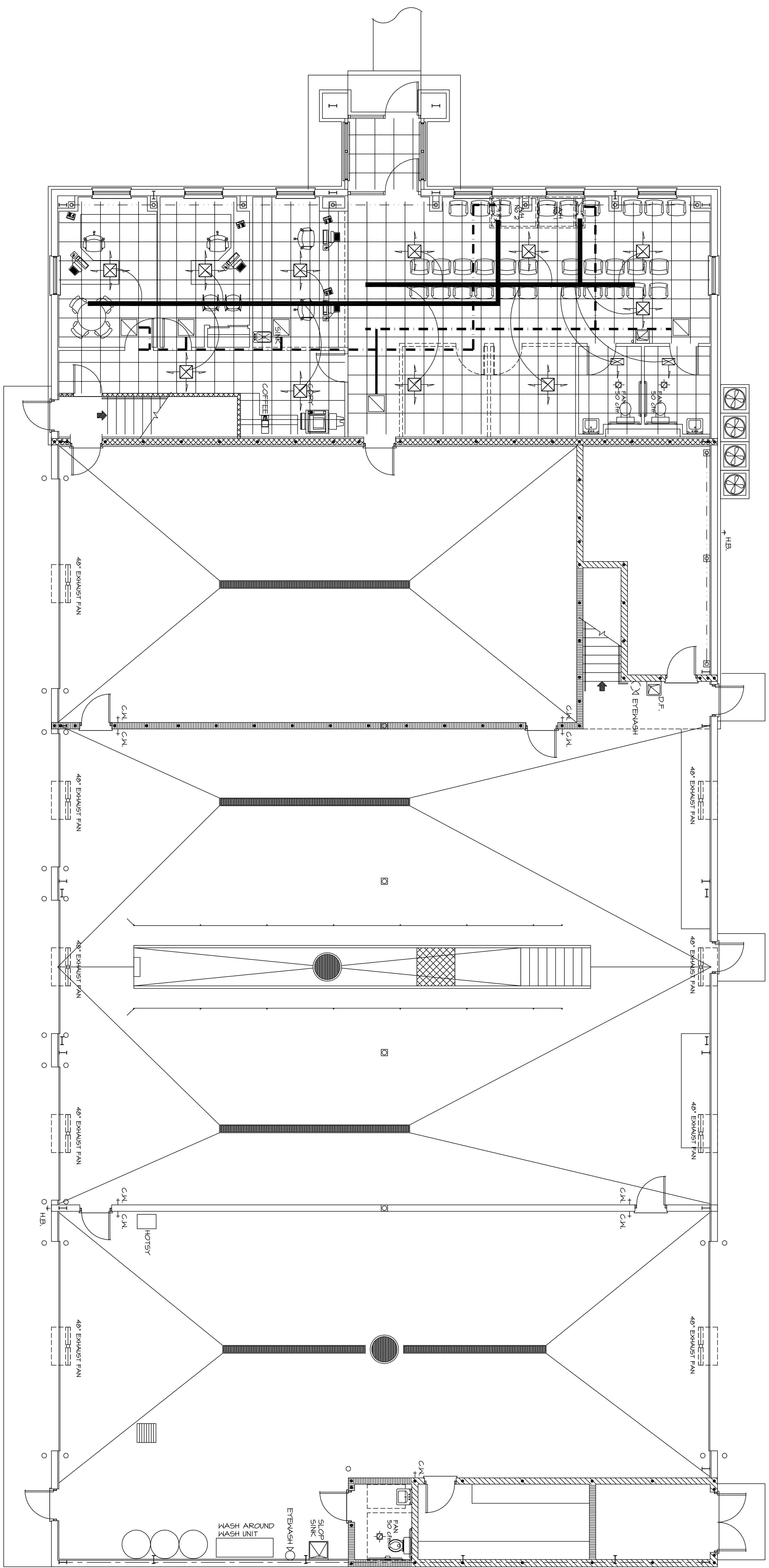
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DATE	1.18.2012
REVISED	
DATE	8.24.2012
PROJECT NO.	1.2 - 6.9.8
SHEET	70 of 11
ELECTRICAL PLAN	



HVAC PLAN
SCALE 3/16" = 1'-0"



FLEET MAINTENANCE FACILITY BUILDING
LAMERS BUS LINES
WILDWOOD FLORIDA
SUMTER COUNTY

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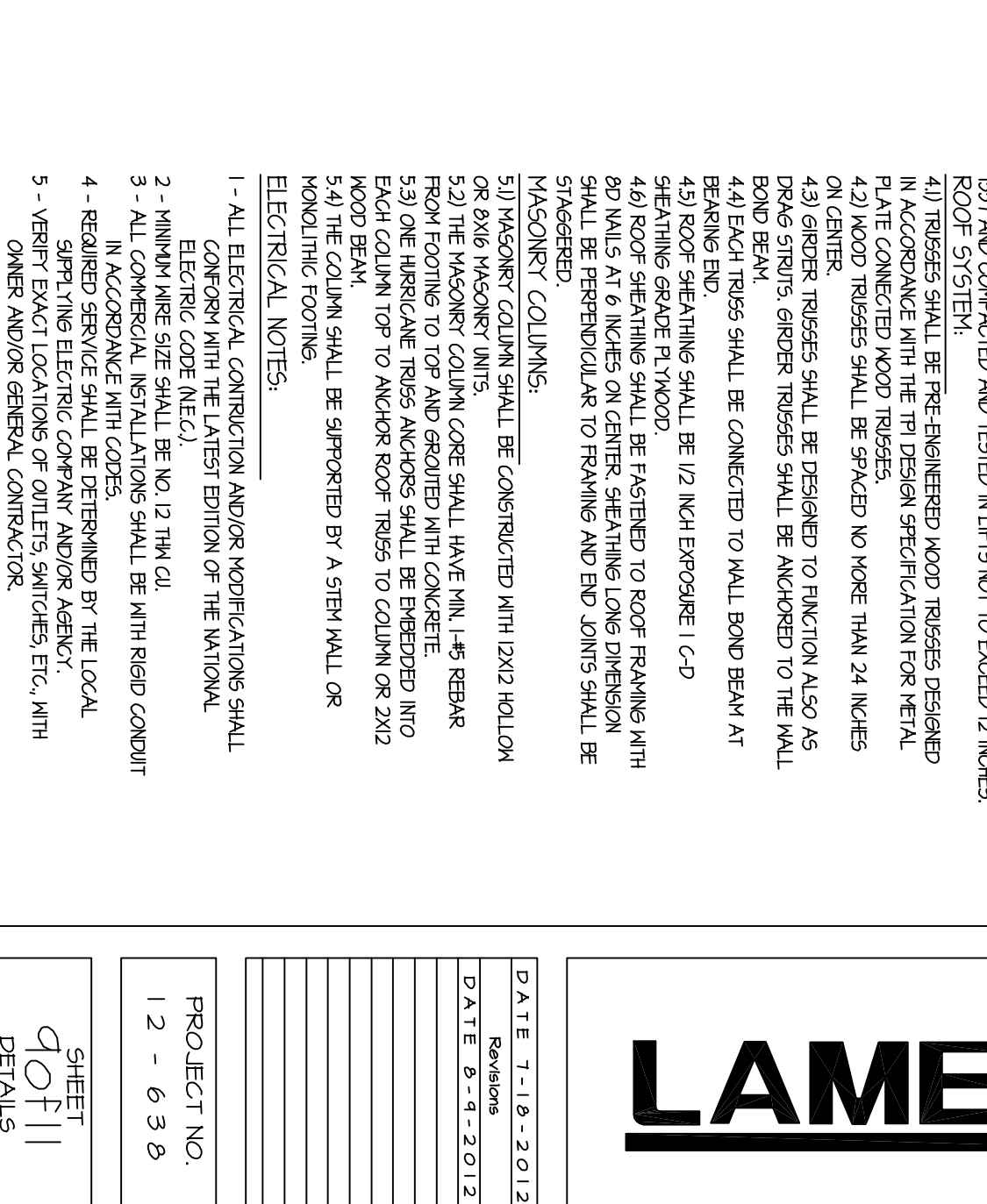
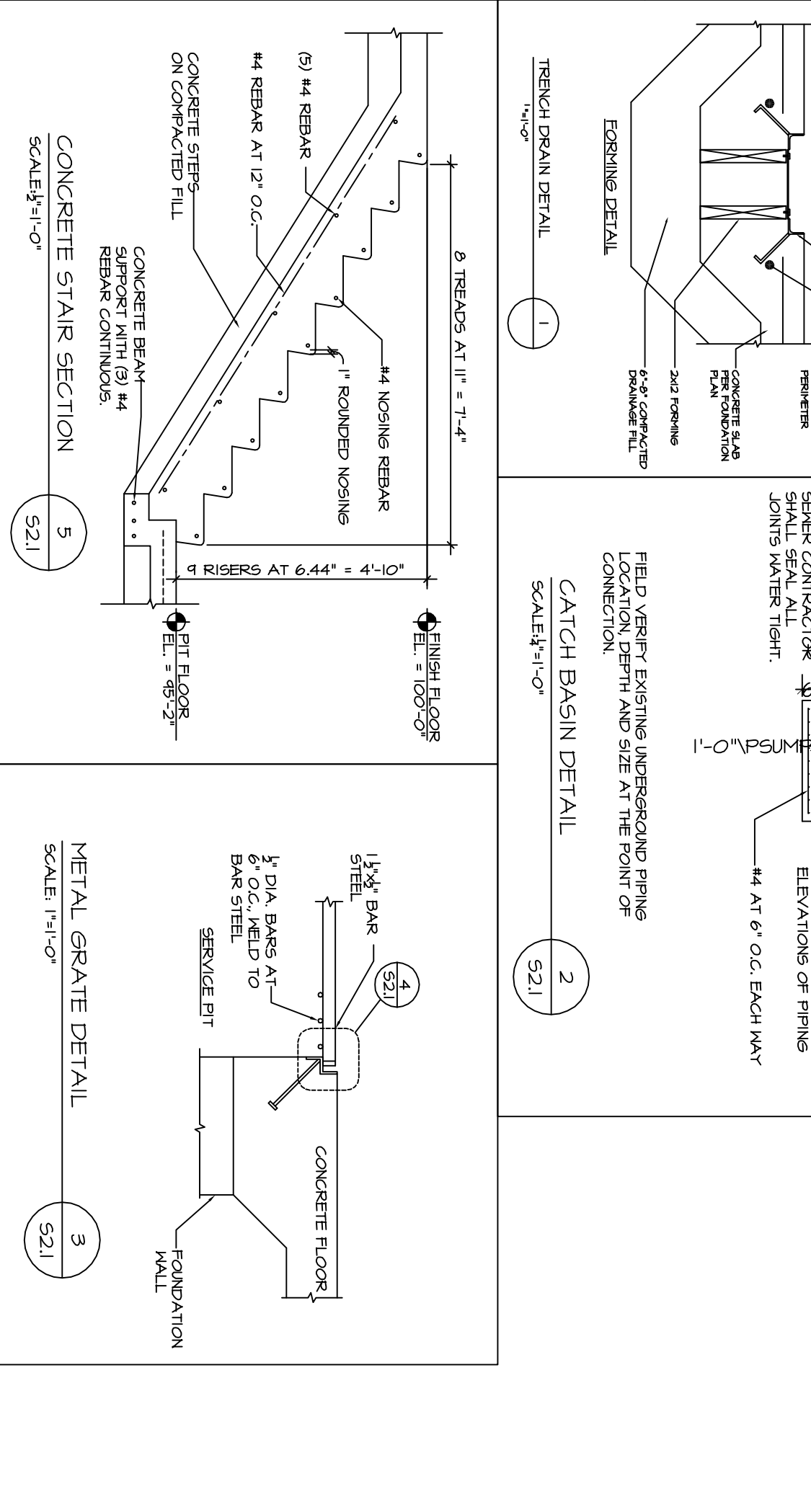
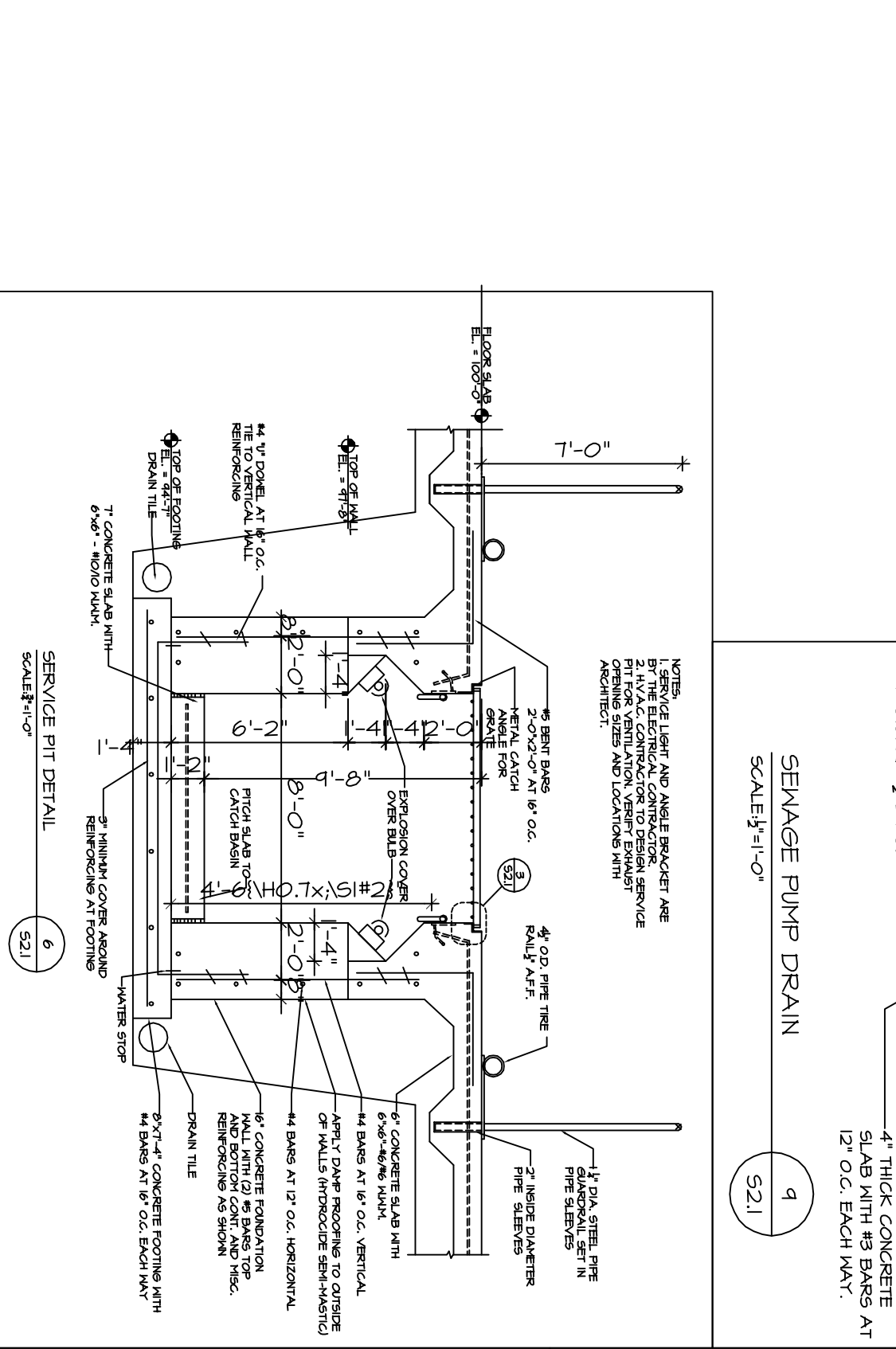
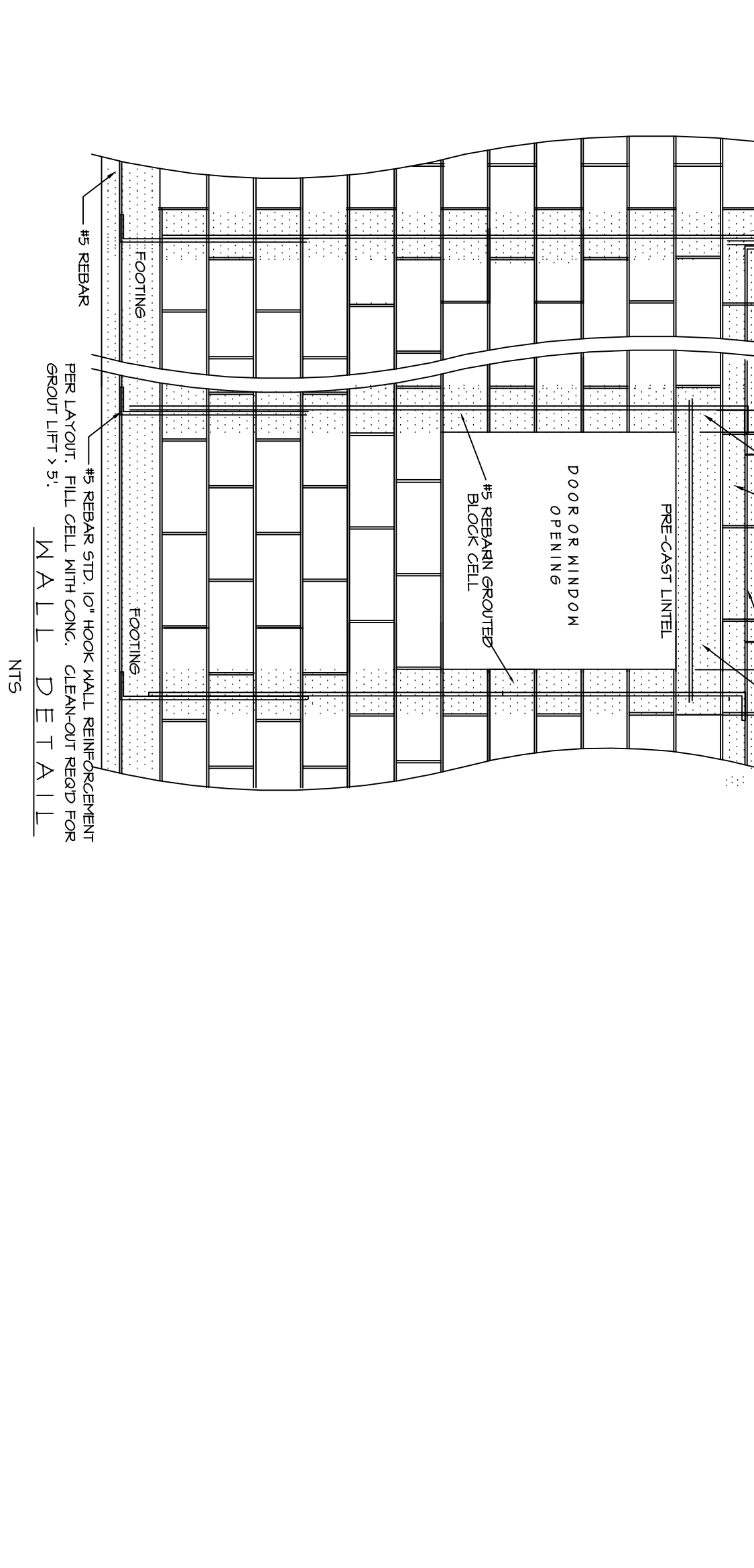
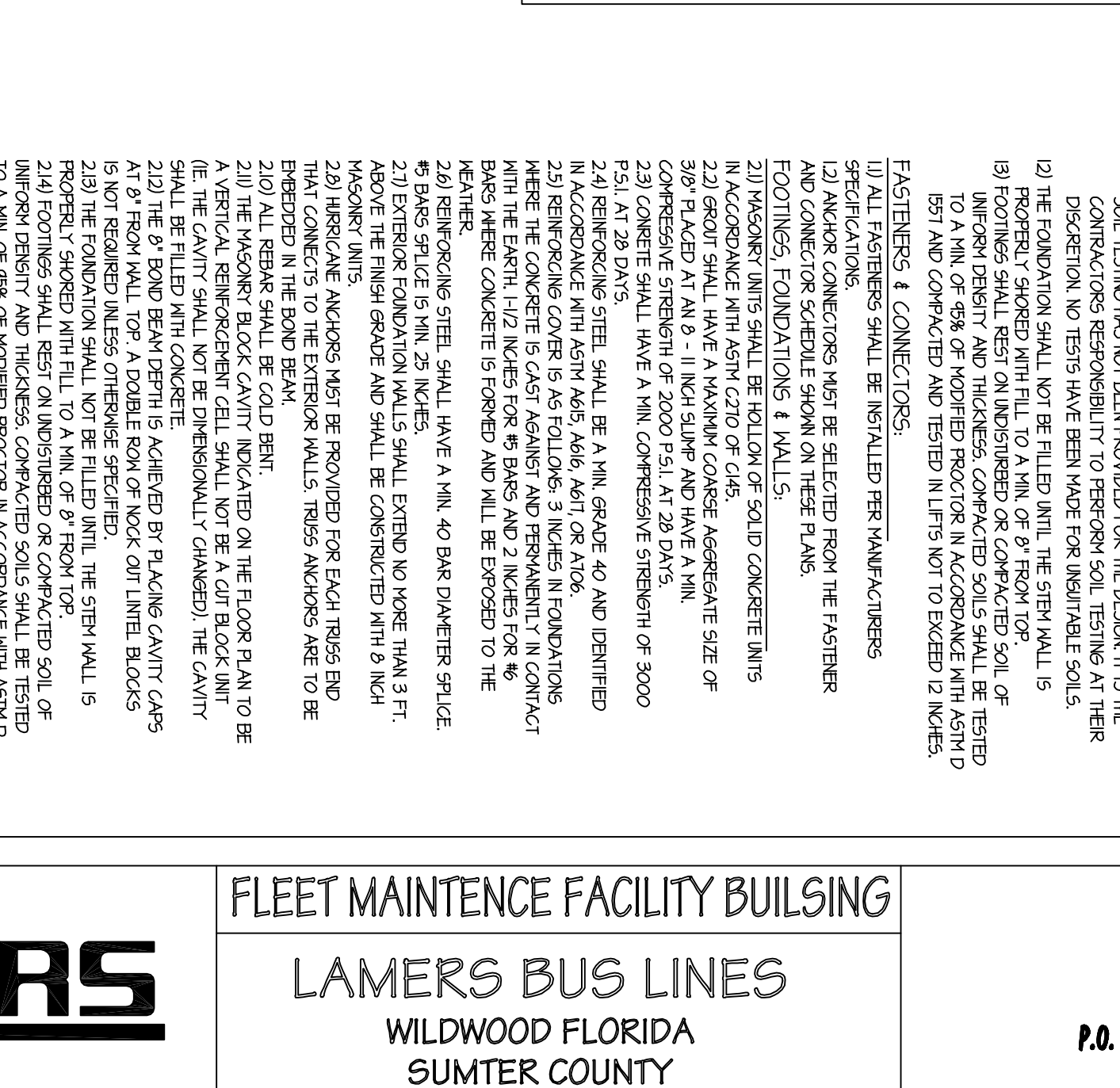
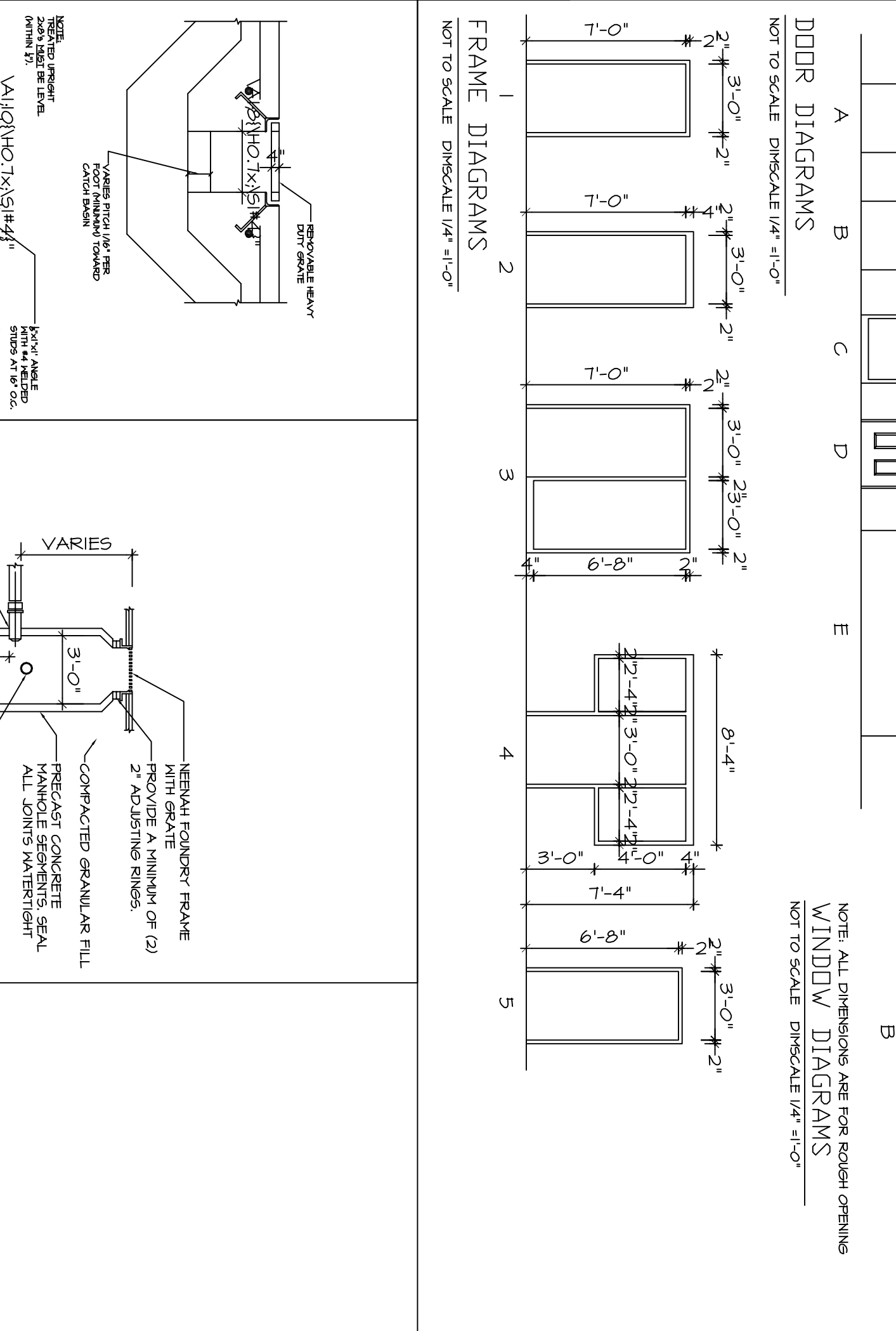
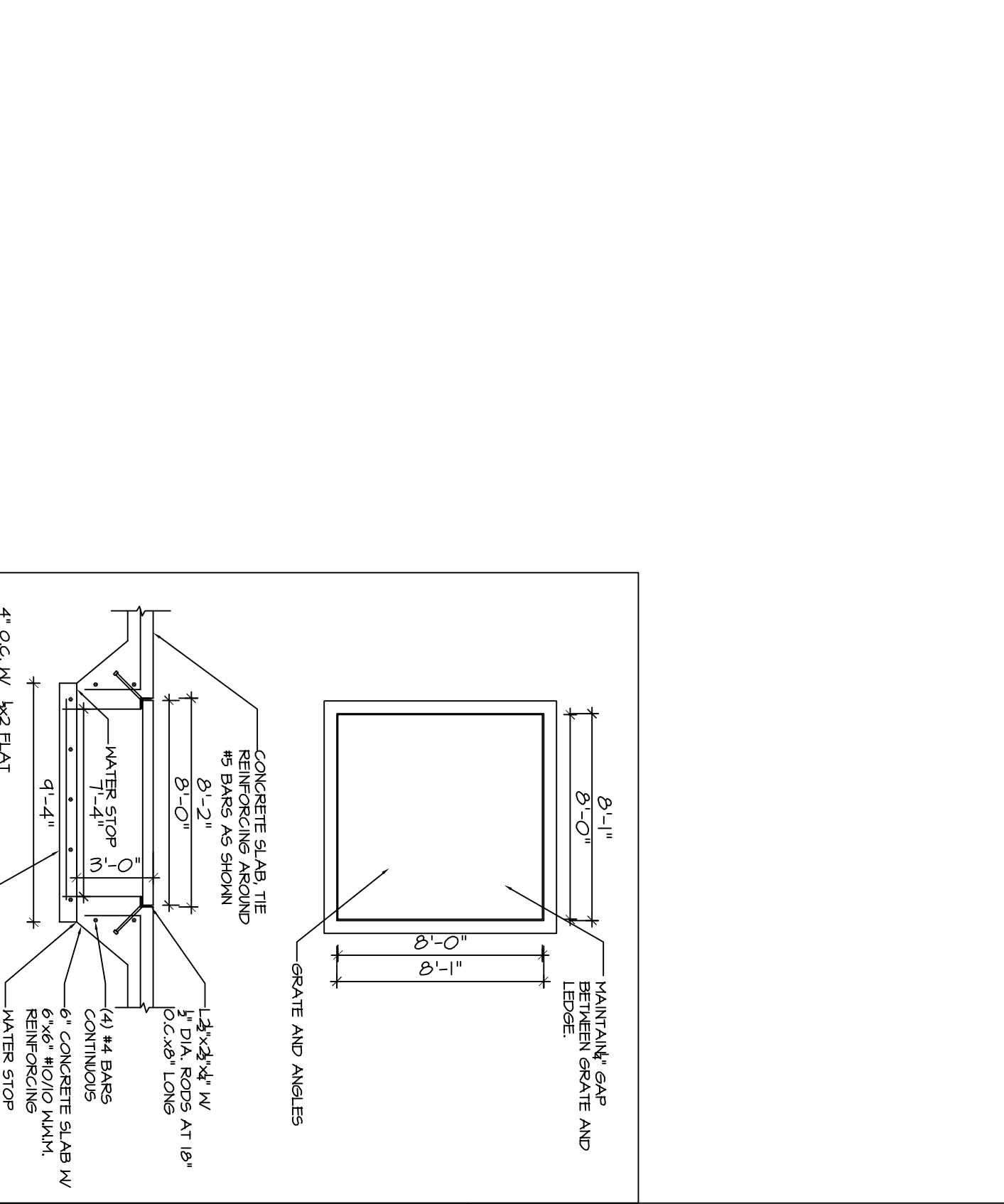
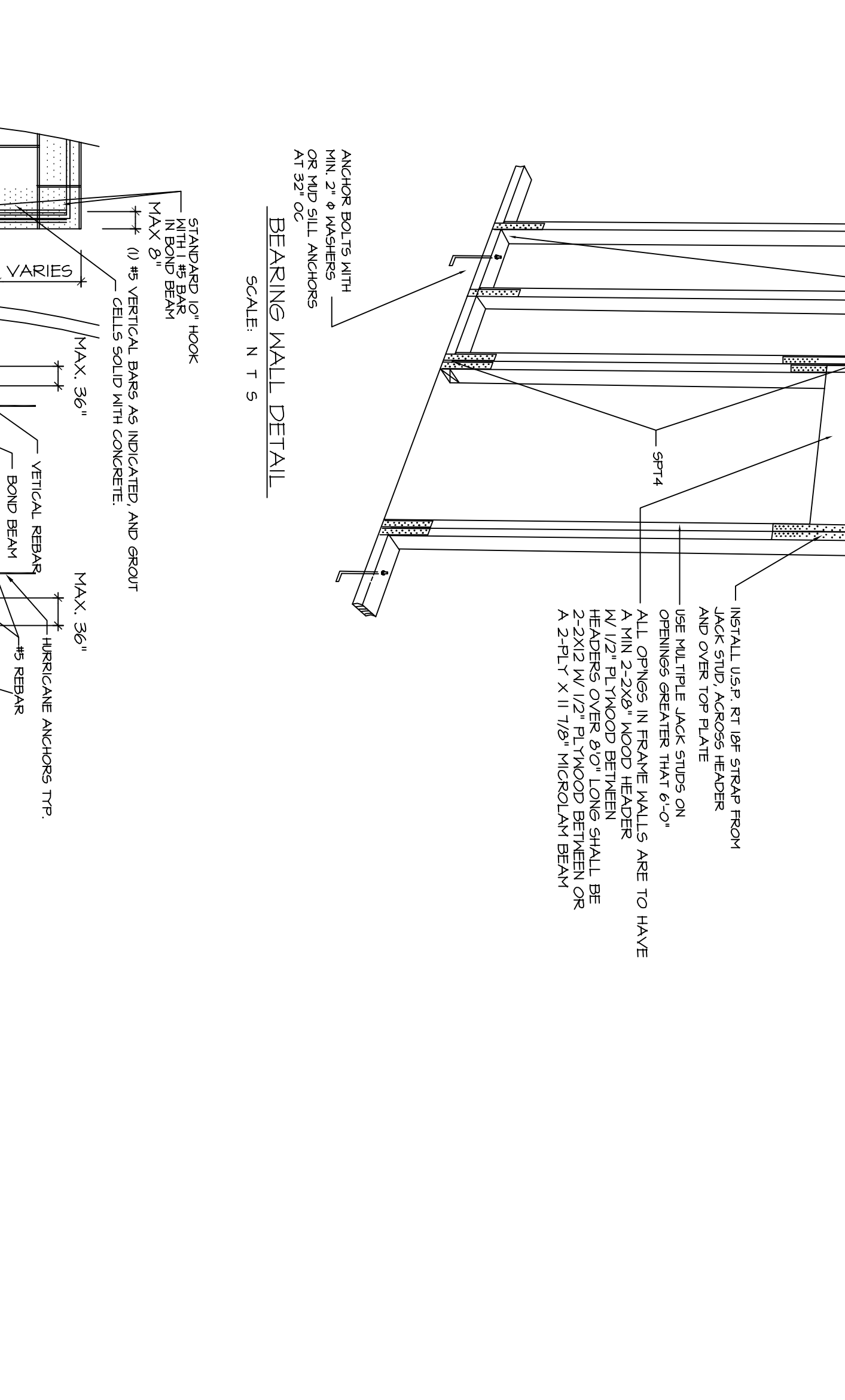
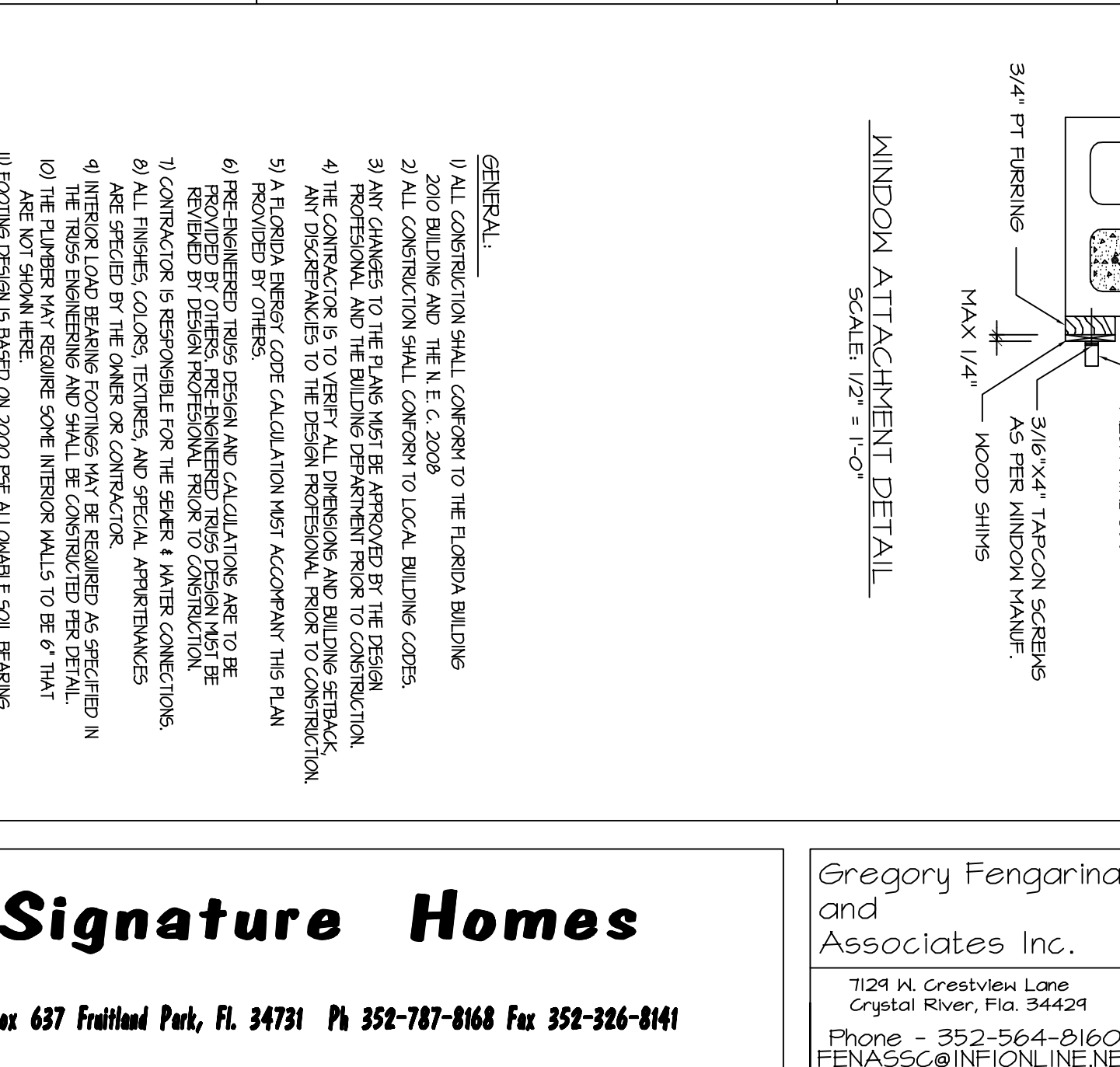
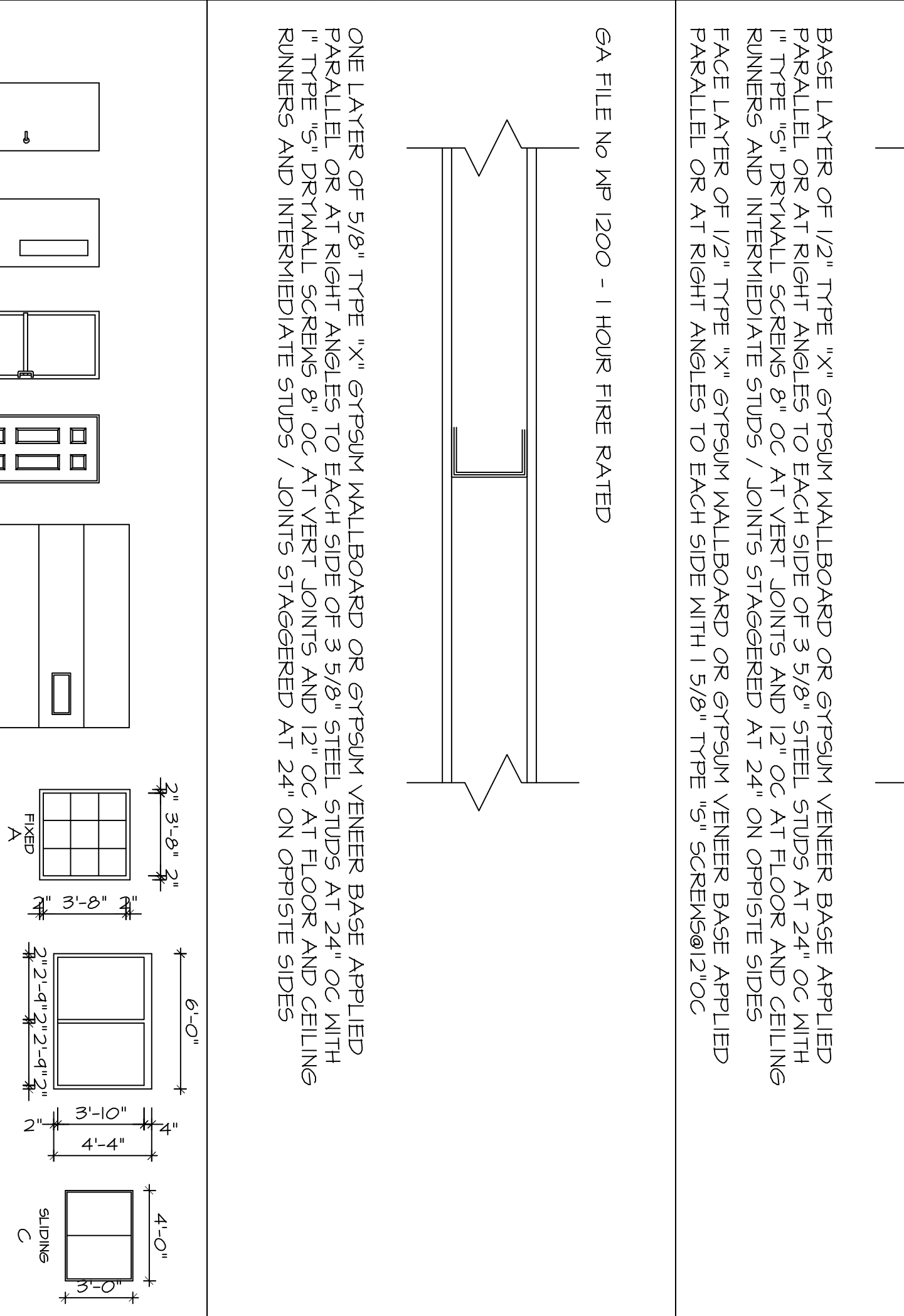
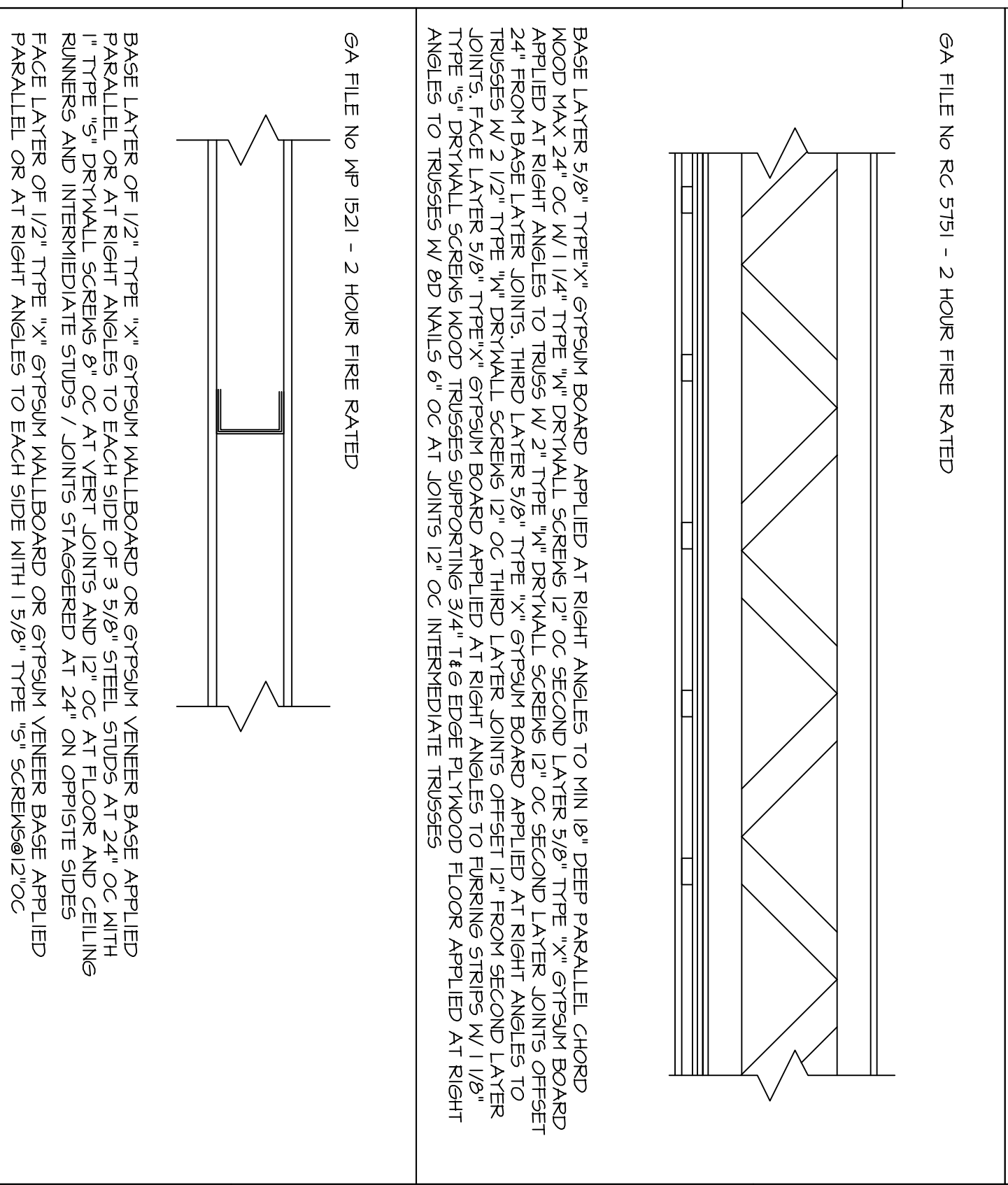
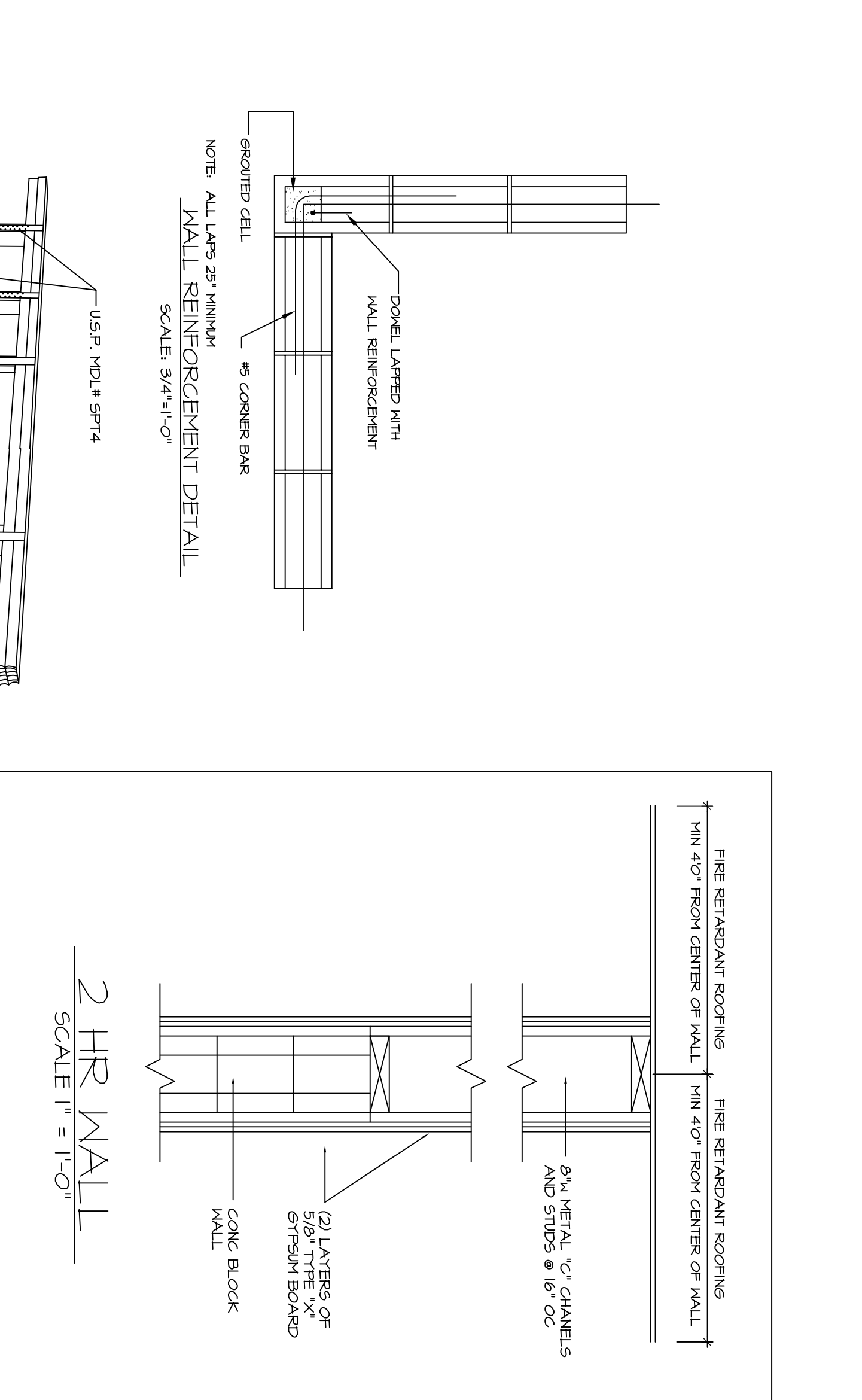
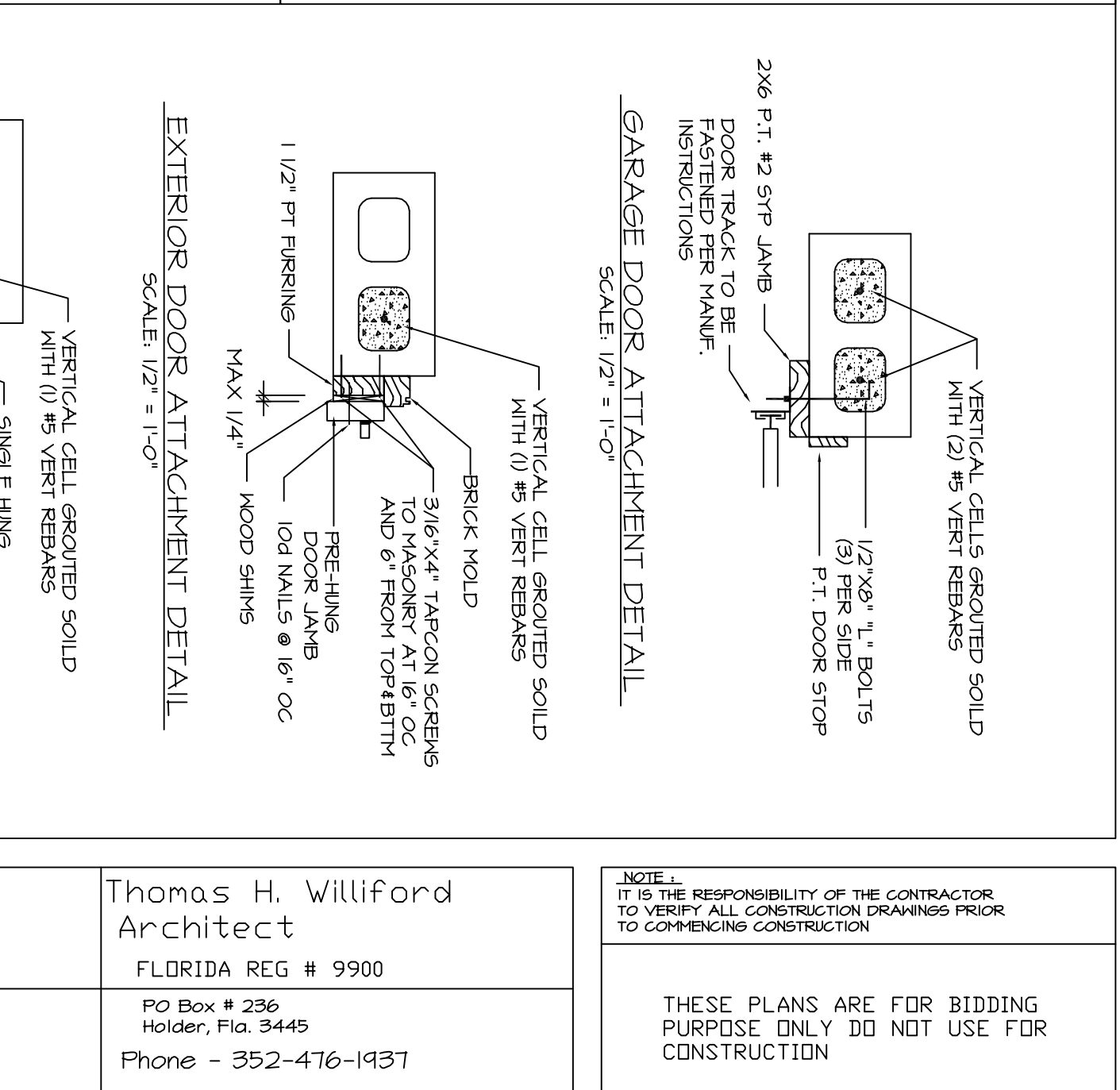
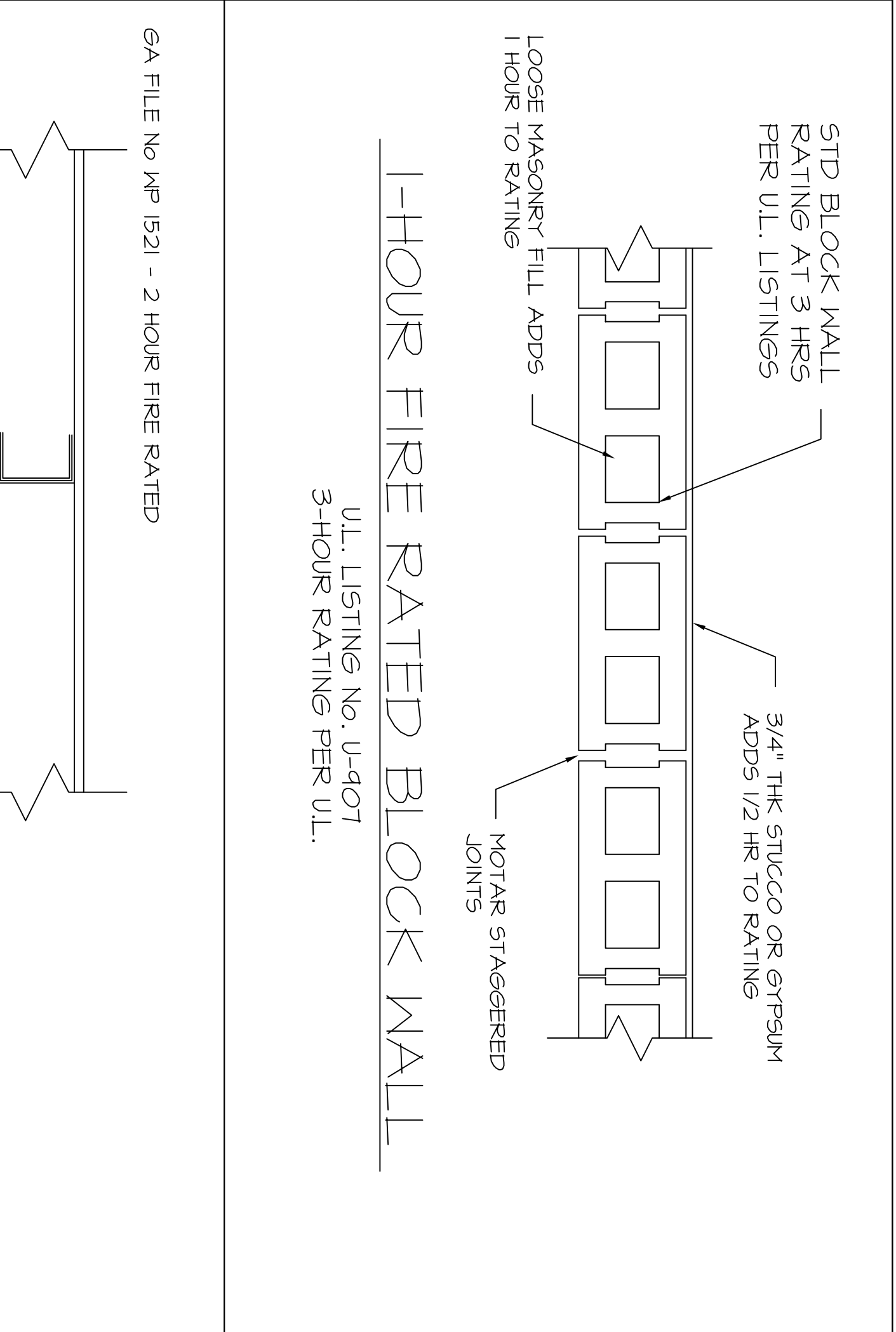
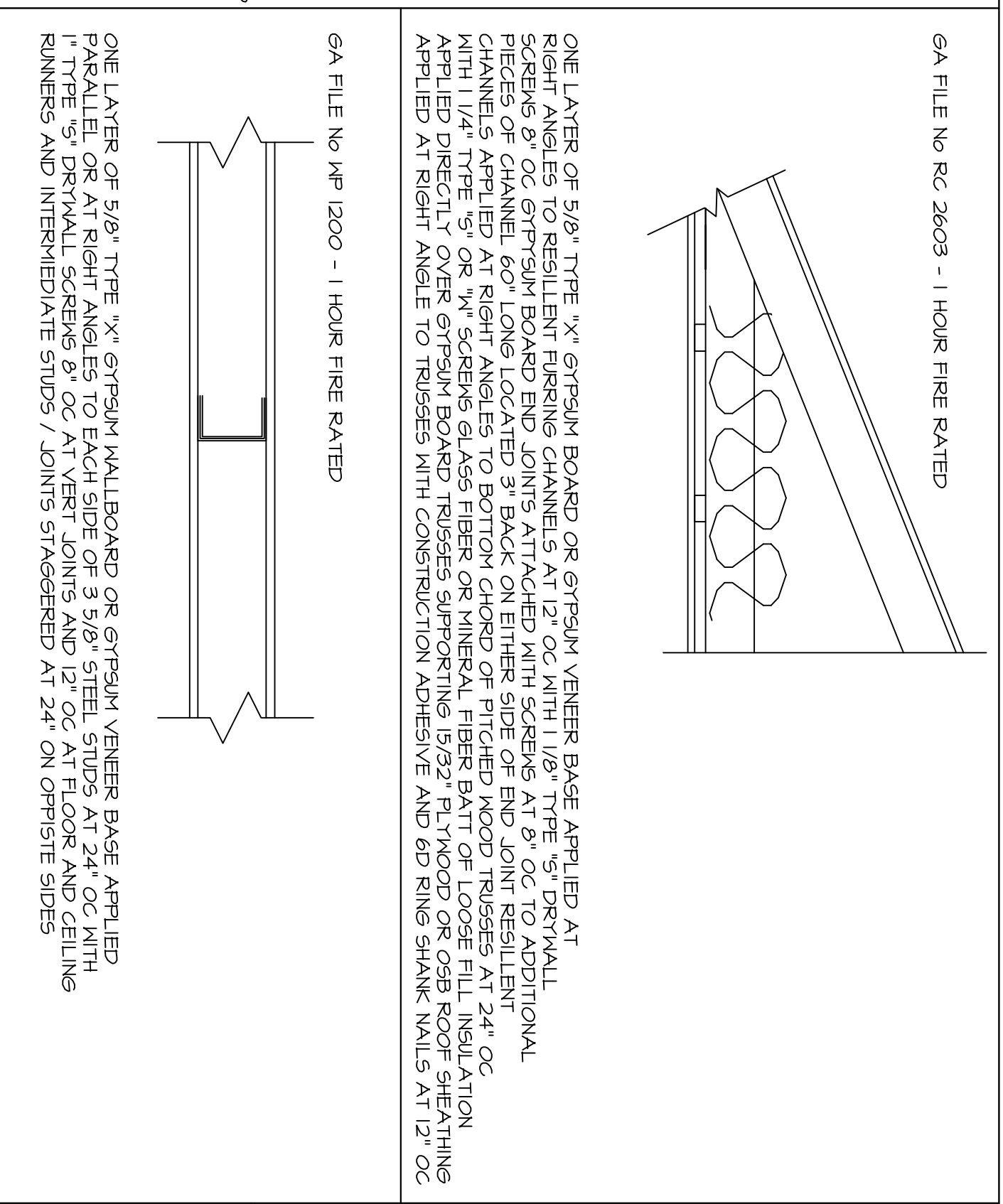
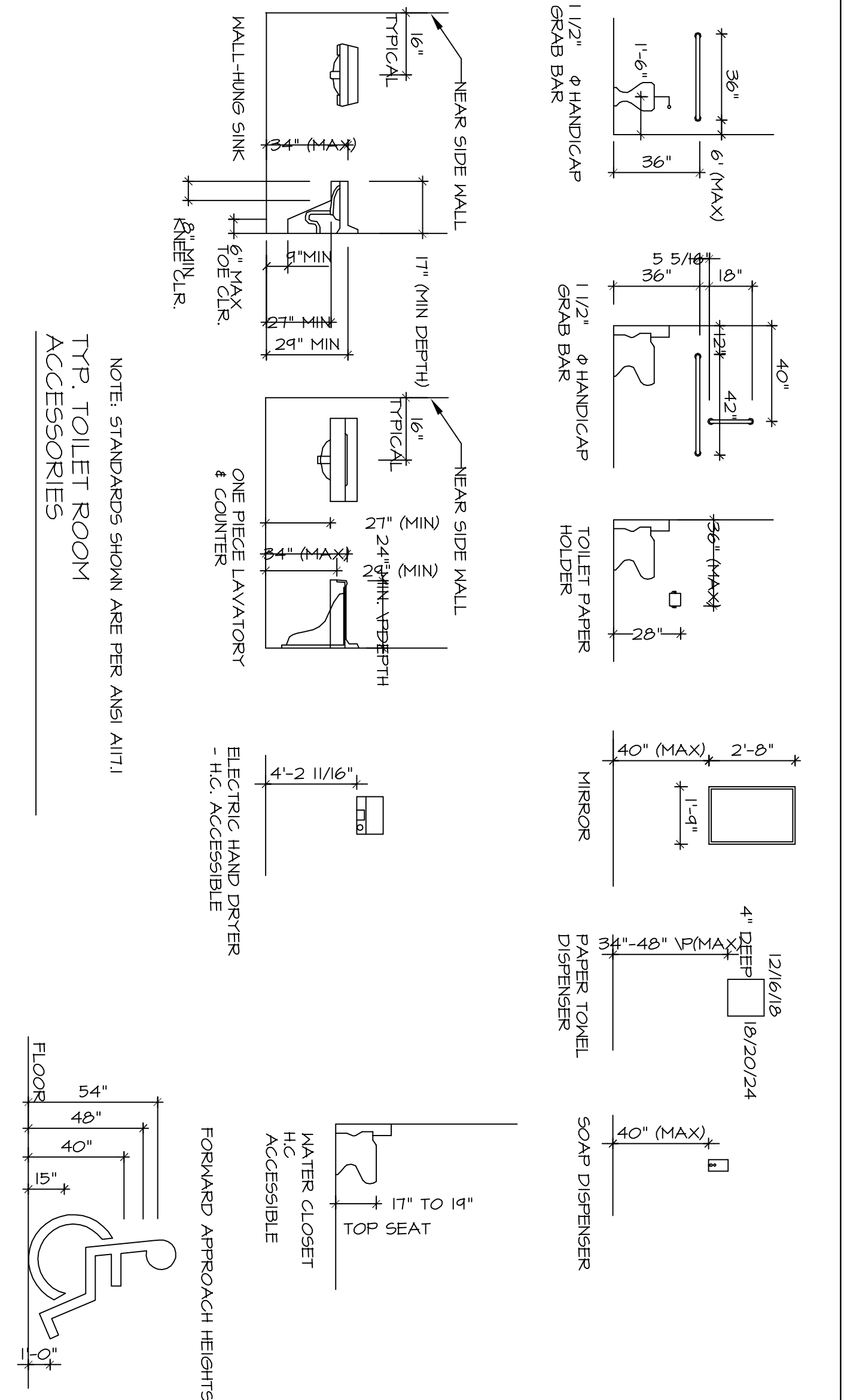
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Phone - 352-476-1931

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DATE 1-18-2012	REVISIONS
DATE 8-2-2012	
PROJECT NO. 12 - 638	
SHEET 8011	
HVAC PLAN	



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Thomas H. Williford
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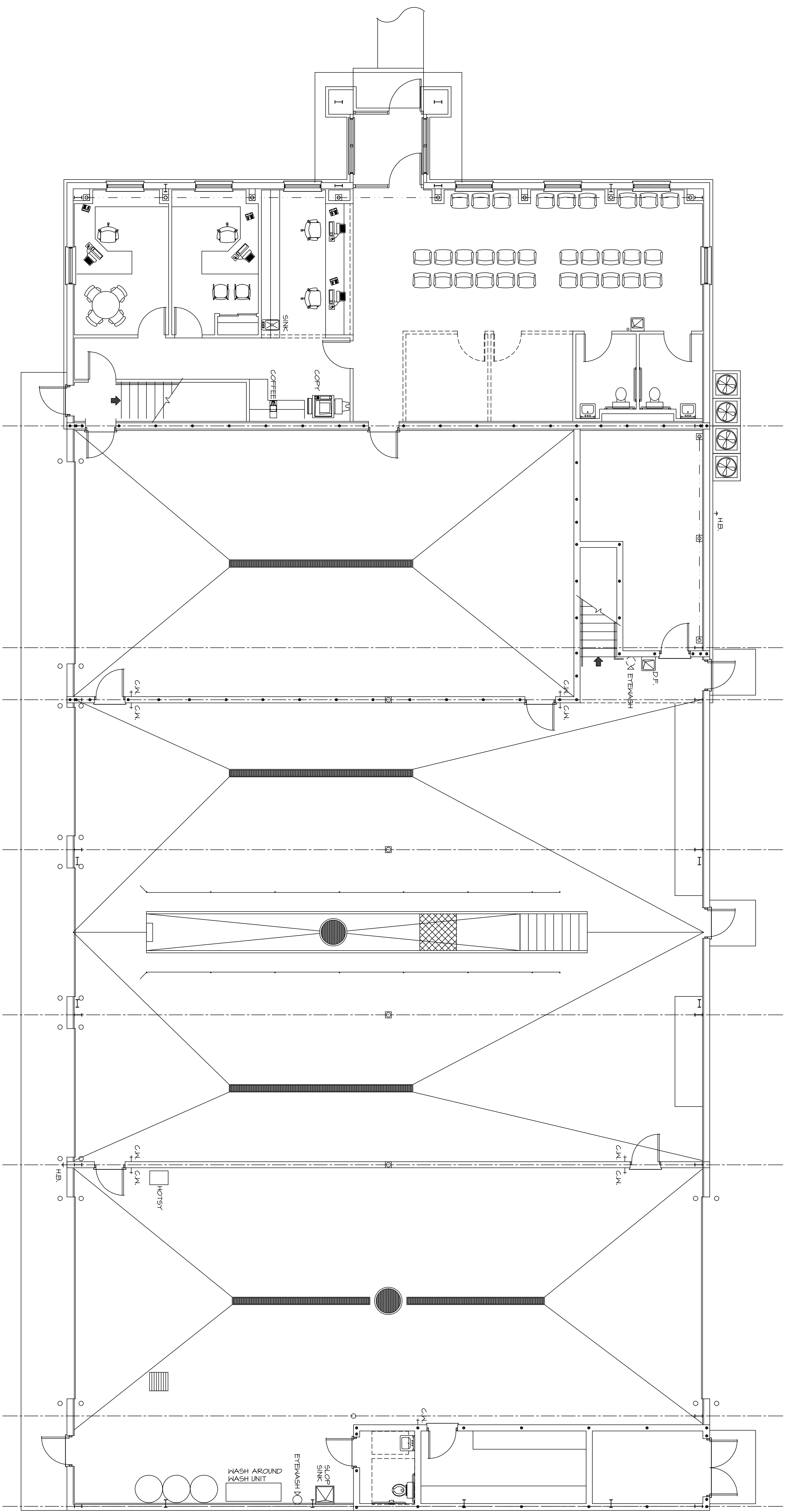
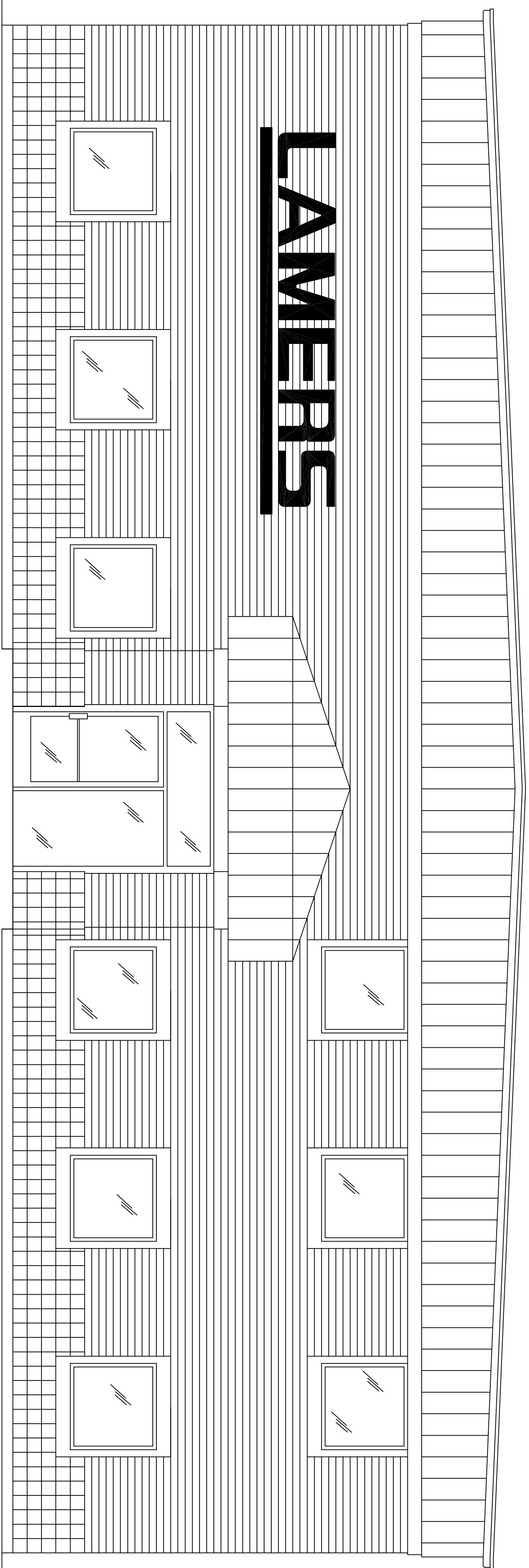
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Signature Homes
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FLEET MAINTENANCE FACILITY BUILDING
LAMERS BUS LINES
WILDWOOD FLORIDA
SUMTER COUNTY

LAMERS

PROJECT NO. 12 - 63 B
DATE 8-2-2012
SHEET 9 OF 11
DETAILS



BUILDING DATA	
TYPE	V - 'B' CONSTRUCTION UNPROTECTED/SPRINKLED
FIRST FLOOR OCCUPANCY	- GROUP 'B' BUSINESS
	175 / 100 = 8 PERSONS
SECOND FLOOR OCCUPANCY	- GROUP 'B' BUSINESS
	150 / 100 = 5 PERSONS
TOTAL OCCUPANCY 58 PERSONS	
MAX. 2 STORES	
MAX. 14000 sqft	
200FT MAX TRAVEL / 20' DEAD END	
LAVS 1/80 = 6 LAVS	
WATER FOUNTAIN 1 FIXTURES	
SERVICE SINK - 1	

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FLEET MAINTENANCE FACILITY BUILDING
LAMERS BUS LINES
WILDWOOD FLORIDA
SUMTER COUNTY



TABLE OF CONTENTS

10f11	FOUNDATION PLAN
20f11	PIT DRAINAGE PLAN
30f11	FLOOR PLAN
40f11	2nd FLOOR PLANS
50f11	ELEVATIONS
60f11	FLOOR FRAMING PLAN
70f11	ELECTRICAL PLAN
80f11	HVAC PLAN
90f11	DETAILS
100f11	WALL SECTIONS
110f11	BLDG DETAILS

DATE	7.18.2012
REVISION	
DATE	8.23.2012
PROJECT NO.	1.2 - 6.3.8
SHEET	
COVER SHEET	



2408 U.S. Hwy. 441/27 N. (352)787-8168 Ph.
 Fruitland Park, FL 34731 (352)326-8141 Fax
www.signaturebuild.net

LETTER OF TRANSMITTAL

DATE:	November 13, 2012
ATTN:	Mary Catherine Smith
JOB:	Lamers Bus Maintenance Facility

TO:

Department of Community Affairs
Florida Building Commission

WE ARE SENDING YOU:

- Attached Under Separate cover via: _____

The following items:

- Shop Drawings Subcontract Specifications
 Plans Purchase Order Copy of Letter
 Submittals Change Order Other: Elevator Costs

COPIES	DATE	NUMBER	DESCRIPTION
1	11/13/12		Elevator Estimate Sheet
1	11/13/12		Elevator Quote: Mowrey Elevators
1	11/13/12		Elevator Quote: Delaware Elevator
1	11/13/12		Elevator Quote: Skyline Elevators

THESE ARE TRANSMITTED as checked below:

- For Approval Approved as Noted Return ___ Corrected Prints
 For Your Use Approved as Submitted Submit ___ Copies for _____
 As Requested Returned for Correction Resubmit ___ Copies for _____
 For Review and Comment Returned after loan to us For Bids Due _____

COMMENTS: Mary Catherine, attached is our elevator estimate and (3) quotes for elevators.

We have estimated the budget for the elevator to be approximatley \$ 60,700.00. Please let me know if you haven ay questions. Thanks

Thank you for your attention to the above items. If you have any questions, please feel free to call the office at (352)787-8168.

RCVD: _____

SIGNED:
 Brian Sellers
 Project Manager/Signature Enterprises, Inc.

Elevator Estimate Sheet

Job Name: Lamers Bus Lines		Contractor: Signature Enterprises, Inc.				Estimate No.:		
Location: Wildwood, FL		Architect:				Date: 11/13/12		
Estimator: Brian Sellers		Checked By:				Bid Date:		
Job Description: Elevator Estimate								
Division	Description	Quantity	Unit	@	Material	Labor	Subcontract	Total
3	Concrete							
	Foundation (Elevator Pit)							
3-31	12" Foundation w/ #5 @ 12" E.W. T&B	88	SF					
	Fnd. Prep	88	SF	\$2.00		\$176.00		\$176.00
	Fnd. Pre-treat	88	SF	\$0.20			\$17.60	\$17.60
	Visqueen .006 Mil (10' x 100')	1	RL	\$52.00	\$52.00			\$52.00
	#5 Rebar (5/8" x 20')	21	EA	\$10.63	\$223.23			\$223.23
	3000 PSI Concrete	4	YD	\$85.00	\$340.00			\$340.00
	Dump & Finish Concrete Fnd.	88	SF	\$2.00		\$176.00		\$176.00
3-32	8" Concrete Stem Wall w/ #5 12" o.c. EW	170	SF					
	Formwork Labor	340	SF	\$4.50		\$1,530.00		\$1,530.00
	3/4" Plywood (4x8)	13	EA	\$22.00	\$280.50			\$280.50
	2x4 - 16' Spruce	28	EA	\$6.08	\$170.24			\$170.24
	#5 Rebar (5/8" x 20')	26	EA	\$10.63	\$276.38			\$276.38
	Wire Ties	204	EA	\$0.04	\$8.16			\$8.16
	3000 PSI Concrete	6	YD	\$85.00	\$510.00			\$510.00
	Concrete Labor	6	YD	\$50.00	\$300.00	\$300.00		\$600.00
	Foundation (Elevator Machine Rm)							
3-31	20"w x 20"d w3- #5	26	LF					
	Trenching (Part of Mono Slab Cost)	26	LF	\$0.00				\$0.00
	Chairs	13	EA	\$0.33	\$4.29			\$4.29
	#5 Rebar (5/8" x 20')	6	EA	\$11.86	\$66.08			\$66.08
	Wire Ties	39	EA	\$0.04	\$1.56			\$1.56
	3000 PSI Concrete	3	YD	\$80.00	\$236.33			\$236.33
	#4 Rebar (1/2" x 20')	2	EA	\$8.95	\$21.88			\$21.88
	Wire Ties	88	EA	\$0.04	\$3.52			\$3.52
	Grade Stakes	22	EA	\$0.47	\$10.34			\$10.34
	3000 PSI Concrete	7	YD	\$85.00	\$609.48			\$609.48
3-33	4" Concrete Slab w/ 6x6 W.W.M.	56	SF					
	Slab Prep	56	SF	\$1.45		\$81.20		\$81.20
	Slab Pre-treat	56	SF	\$0.10		\$5.60		\$5.60
	Visqueen .006 Mil (10' x 100')	0	RL	\$52.00	\$2.91			\$2.91
	Wire Mesh 6x6 10x10 (6' x 150')	0	RL	\$125.00	\$8.24			\$8.24
	3000 PSI Concrete	2	YD	\$85.00	\$170.00			\$170.00
	Dump & Finish Concrete Slab	56	SF	\$0.75		\$42.00		\$42.00
4	Masonry							
	Block Walls (Elevator Shaft)							
4-42-05	8" Block Wall - 22'-0"	34	LF					
	3000 PSI Pump Mix Concrete	1	YD	\$90.00	\$62.33			\$62.33
	#5 Rebar (5/8" x 20')	8	EA	\$10.63	\$80.32			\$80.32
	8x8x16 Regular Block	741	EA	\$0.95	\$704.29			\$704.29
	8x8x16 Lintel Block	102	EA	\$1.30	\$132.93			\$132.93
	Type S Mortar	17	BG	\$11.00	\$185.59			\$185.59
	Masonry Sand	2	YD	\$35.00	\$59.05			\$59.05
	Lintel Felt 6" x 100'	1	RL	\$5.00	\$3.40			\$3.40
	Dura-Wall 10'	58	EA	\$1.70	\$98.26			\$98.26
	Pumping Charge	1	YD	\$50.00		\$34.63		\$34.63

Elevator Estimate Sheet

	Block Labor Solid Count	844	EA	\$2.50		\$2,109.02		\$2,109.02
4-42-50	8" Single Cell Down Pour (22'-0" Blk.Wall)	220	LF					
	3000 PSI Pump Mix Concrete	2	YD	\$87.00	\$194.94			\$194.94
	#5 Rebar (5/8" x 20')	12	EA	\$10.63	\$129.92			\$129.92
	#5 Rebar (5/8" x 12" x 48" Dowels)	24	EA	\$3.90	\$91.96			\$91.96
	8x8x16 Inspection Block	24	EA	\$1.98	\$46.69			\$46.69
	Pumping Charge	2	YD	\$50.00		\$112.04		\$112.04
4-42-100	Lintels/Sills/Headers							
	64" Precast Lintel 8"	2	EA	\$24.63	\$49.26			\$49.26
	Block Walls (Machine Room)							
4-42-05	8" Block Wall - 9'-4"	20	LF					
	3000 PSI Pump Mix Concrete	1	YD	\$90.00	\$90.00			\$90.00
	#5 Rebar (5/8" x 20')	2	EA	\$10.63	\$23.62			\$23.62
	8x8x16 Regular Block	180	EA	\$0.95	\$171.43			\$171.43
	8x8x16 Lintel Block	30	EA	\$1.30	\$39.10			\$39.10
	Type S Mortar	4	BG	\$11.00	\$46.32			\$46.32
	Masonry Sand	0	YD	\$35.00	\$14.74			\$14.74
	Lintel Felt 6" x 100'	0	RL	\$5.00	\$1.00			\$1.00
	Dura-Wall 10'	14	EA	\$1.70	\$23.80			\$23.80
	Pumping Charge	1	YD	\$50.00		\$50.00		\$50.00
	Block Labor Solid Count	211	EA	\$2.00		\$421.05		\$421.05
4-42-50	8" Single Cell Down Pour (9'-4" Blk.Wall)	94	LF					
	3000 PSI Pump Mix Concrete	1	YD	\$90.00	\$86.17			\$86.17
	#5 Rebar (5/8" x 20')	5	EA	\$10.63	\$55.51			\$55.51
	#5 Rebar (5/8" x 12" x 48" Dowels)	10	EA	\$3.90	\$39.29			\$39.29
	8x8x16 Inspection Block	10	EA	\$1.98	\$19.95			\$19.95
	Pumping Charge	1	YD	\$50.00		\$47.87		\$47.87
4-42-100	Lintels/Sills/Headers							
	3/0 Recessed Door Header	1	EA	\$23.34	\$23.34			\$23.34
4-49-01	Stucco	712	SF					
	Stucco Over Block	79	SY	\$14.00		\$1,107.56		\$1,107.56
7	Thermal and Moisture Protection							
7-71-02	Roofing (Budget)	\$850.00	LS			\$850.00		\$850.00
8	Doors and Windows							
8-81-01	Interior/Exterior Doors							
	Doors/Frames/Hardware	\$350.00	LS			\$350.00		\$350.00
	Labor	\$80.00	LS			\$80.00		\$80.00
9	Finishes							
9-98-50	Painting	712	SF	\$1.00		\$712.00		\$712.00
14	Conveying Systems							
14-1400	Elevator (Budget)	\$35,000.00	LS			\$35,000.00		\$35,000.00
15	Mechanical							
15-02-1000	Plumbing (Sump Pump)	\$800.00	LS			\$800.00		\$800.00

Friday, October 12, 2012

Quote #04-8607

ATTN: ESTIMATING

RE: THE LAMERS BUS LINE
WILDWOOD, FL

Quote is based on

- Specifications Only
- Drawings Only
- Drawings & Specifications
- Phone Conversation
- Email Request

To Whom It May Concern:

We are pleased to quote the amount of **\$31,800.00** for the complete installation of **one** elevator in the above mentioned building based on the following specifications:

Capacity	2500 LBS	Speed	100 FPM
Travel	12'-0"	Doors	42 X 84 Single slide
Landings	Two in line	Controller	Simplex microprocessor

SPECIAL FEATURES:

Braille buttons	Fireman's emergency service
In use lights at all hall stations	Acknowledgment lights in car station
Proximity edge	Position indicators in car station
ADA Telephone	Directional arrows and arrival gongs
ME 200 cab design	Aluminum sills
208 volt 3 phase power	Twelve months new installation maintenance
#4 Stainless steel frames and mica clad doors	PVC

Notes: Please see the attached Work Not Included statement and Insurance Coverage statement.

Please note, lead time to manufacture equipment is approximately 12 to 14 weeks upon receipt of approved submittals.

Please note, this quote includes outside drilling with a pit only. If inside, off grade, or rock drilling is required a quote will be made available upon request.

Crane service (if required) and flooring is by other.

NO LIQUIDATED DAMAGES WILL BE ACCEPTED.

This quote is good for 60 days.

Bond, if required, add 3.5%.

Please contact this office for Value Engineering.

Thank you for your consideration. If you should have any questions, please do not hesitate to contact this office.

Sincerely,

Grace Bush

Grace Bush, Construction Sales Manager
Mowrey Elevator Company

**** By accepting this quote you are acknowledging and accepting that this Quote, Work Not Included sheet and Insurance specification sheet will be included in all future binding contract(s)****



Work Not Included

Note to purchaser: The following lists of items are usually and customarily not provided by any elevator contractor. We include this as part of our quote to make sure there are no misunderstandings at a later date.

This proposal does not include the following work, and is conditioned on the proper performance of such work by the General Contractor or other Subcontractors.

A legal hoistway, properly framed and enclosed. Including a pit of proper depth, provided with sump pump, lights, access doors and waterproofing, as required. A legal machine room that is adequate for the elevator equipment, including floors, trap doors, gratings, foundations, lighting, ventilation and heat to maintain the room at an ambient temperature of 50 degrees minimum / 90 degrees maximum. Adequate supports and foundations to carry the loads of all equipment, including supports for guide rail brackets and machine beams or overhead sheaves (if furnished). If adjacent hoistways are utilized, divider beams at suitable points shall be provided for guide rail bracket support. This quote includes Seismic 1 requirements unless otherwise specified on bid sheet.

All sill supports and sill recesses. Grouting of door sills and door frames. Provide removable temporary enclosures or other protection from open hoistways during the time the elevator is being installed. Proper trenching and backfilling for any underground piping or conduit. Cutting of walls, floors, etc., and removal of such obstructions as may be necessary for proper installation of the elevator. Setting of anchors and sleeves. Pocket or blockouts for signal fixtures. All fire caulking required to maintain fire rating.

Suitable connections from the power mains to each controller or starter as required, including necessary circuit breakers and fused mainline disconnect switches. Wiring to controller for car lighting and ventilation. Electric power without charge, for construction, testing and adjusting of the same characteristics as the permanent supply. Wiring and conduit from life safety panel or any other monitor station to elevator machine room. A means to automatically disconnect the main line power supply to the elevator prior to the application of water in the elevator machine room will be furnished by the electrical contractor. This means shall not be self resetting. Heat and smoke sensing devices at elevator lobbies on each floor with electrical conductors terminating at a properly marked panel in the elevator machine room. Telephone connection to elevator hoistway. Telephone connection to elevator controller (remote diagnostics - no fixture).

All painting, except as otherwise specified. Temporary elevator service prior to completion and acceptance of complete installation. Materials for adequate protection from damage to elevator. Furnishing, installing and maintaining the required fire rating of elevator hoistway walls, including the penetration of fire wall by elevator fixture boxes. Flooring by others. Rear entrances unless specified on bid sheet. Any governmentally required safety provisions not directly involved with the elevator installation. Will not accept liquidated damages. Waiver of Subrogation. **Our bid does not meet HUD prevailing wage rates or Davis Bacon rates unless specified on bid sheet.** Mowrey will be responsible for our own debris clean up and no Clean Up charges will be accepted. Employees for composite clean up crews will not be provided.

The following applies only to standard in ground hydraulic elevator applications.

Proper location of Jack hole from building lines and adequate ingress and egress for mobile well drilling equipment, after final excavation and previous to the pouring of footings or foundation. Removal of all dirt and debris accumulated during excavation of the jack hole to be by the General Contractor.. Crane service to set hydraulic cylinder by General Contractor. Grouting of piston. This quote includes a single piece piston unless specified on bid sheet. PVC pressure test. Should unusual conditions, anything other than normal dirt, be encountered during digging the cylinder hole, Contractor will be notified immediately and written authorization to proceed shall be provided to the Subcontractor. The contract price shall be increased by the amount of additional labor at Subcontractor's usual billing rates, and the actual cost of any additional materials plus 15%.

In the event that any elevator(s) fail inspection because of incomplete or incorrect work by others, a three hundred dollar (\$300.00) re-inspection fee per elevator will be assessed. Further you will be required to pay the inspection company their current fee. Re-inspections will not be scheduled until a fully executed change is received by our office.

**** By accepting this quote you are acknowledging and accepting that the Quote, this Work Not Included statement and Insurance specification sheet will be included in all future binding contract(s)****



➤ Commercial General Liability	Policy # 13UKNOJ6191	
Each Occurrence		\$1,000,000
Damage to Rented Premises (per occurrence)		\$300,000
Med Exp (any one person)		\$10,000
Personal & Adv Injury		\$1,000,000
General Aggregate		\$3,000,000
Products – Comp/Op Agg		\$3,000,000

Agent: JM Associates / Burnham + Co.
 One Bridge Plaza North, Suite 445
 Fort Lee, New Jersey 07024
 (201) 585-6500

Excess Liability	Policy # XSO171277	
Each Occurrence		\$5,000,000
Aggregate		\$5,000,000

Agent: Harmon Dennis Bradshaw, Inc.
 7115 Halcyon Summit Drive
 Montgomery, Alabama 36124
 (334) 273-7277

➤ Automobile Liability	Policy # BA00000029668K	
Combined Single Limit (each accident)		\$1,000,000

Agent: Harmon Dennis Bradshaw, Inc.
 7115 Halcyon Summit Drive
 Montgomery, Alabama 36124

➤ Workers Compensation and Employers Liability	Policy # 0830-39051	
E.L. Each Accident		\$1,000,000
E.L. Disease – Each Employee		\$1,000,000
E.L. Disease – Policy Limit		\$1,000,000

Agent: Michelle Whiddon
 Marks Insurance Agency, Inc.
 2344 Hansen Ln. Unit #2
 Tallahassee, Florida 32301
 (850) 668-6162

Acceptance of our bid includes acceptance of our insurance as outlined above.

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Brian Sellers

From: tom.isaacs@delawareelevator.com
Sent: Monday, October 15, 2012 9:34 PM
To: Brian@signaturebuild.net
Subject: FW: Budget 2 stop pricing
Attachments: Why you should specify non proprietary controllers.pdf

Importance: High

From: Tom Iaaacs [<mailto:tom.isaacs@delawareelevator.com>]
Sent: Monday, October 15, 2012 8:55 PM
To: Brian@signaturebuild.net
Subject: Budget 2 stop pricing

Brian, sorry for the delay. Based our brief conversation standard package elevator will be 2500#, 2 stops inline, approximate travel of 12'-0" with machine room located adjacent to elevator at ground level. Budget also takes into account power will be three phase 208, 220, or 480 volt.

Budget \$37,000- \$39,000 based on above.



SKYLINE ELEVATORS

Modernization • Service • Installation

Date: 9-10-12

Re: 849 Industrial Drive, Wildwood FL

This is presented by ClayCo, Inc. t/a Skyline Elevators (Woman Owned, DBE Certified Small Business). ClayCo, Inc. t/a Skyline Elevators will supply and install one hydraulic elevator for this project for the sum of **\$58,000.00 (Fifty Eight Thousand Dollars)**. Elevator to meet ASME A17.1-2000 elevator code.

BOND RATE: 1.5% (Not Included)

2 stop Hydraulic Elevator

(1) 2- stop, 3,500 lb Hydraulic Elevator

Capacity-----	3,500 lb
Speed-----	125 fpm
Travel-----	16' approx
Landings-----	2
Openings-----	2 Front, 0 Rear
Doors-----	Single speed side slide Satin Stainless Steel #4
Entrances-----	3'-6' wide x 7' tall Satin Stainless Steel #4
Sills-----	Extruded aluminum, mill finish
Cab-----	Removable Raised Vertical Plastic Laminate Panels on back and side walls with black reveals, #4 satin stainless steel front returns, drop ceiling with fluorescent lights & aluminum frame and Lexan diffusers
Handrail-----	#4 brushed stainless steel, 1/2" x 2" flat, on rear wall
Fixtures-----	Satin Stainless Steel #4, ADA compliance, white illuminated light up buttons
Floor-----	By others, not to exceed 2 lbs./ sq. ft.
Operation-----	Simplex
Protective Pads---	Included
Machine Room----	On ground floor adjacent to elevator shaft
Maintenance-----	One Year
Warranty-----	One Year

Items Supplied by Others

208/480 Main Line Disconnect
120 Disconnect, cab/controller
Pit Lights
Card Readers
Fire Sprinklers
Fire Alarm/Smoke/Heat Detectors
Grouting of Hoistway Sills & Frames
Pit Ladders
Divider and Support Beams
Foundations to carry loads
Code Compliant Machine Room
Hoistway Venting
Blockouts
Sump Pumps
Telephone wiring
Overhead Hoisting Beams
Rail Supports
Emergency Power

Conditions/Clarifications/Descriptions:

The price we have quoted is based on the clarifications, descriptions and conditions stipulated in this proposal. Please be sure to read this document in its entirety.

All contractual agreements must be completely executed prior to the placement of any factory orders or commencement of any work on the project.

Requirements for payment and performance bonds will add 1.5% to the bid price.

Our proposal is established on all work being performed during regular working hours.

Elevator mechanic's services required to operate the elevators or elevator platforms for other trades is not included. These services, if required, will be added at an \$85.00 per hour.

There will be the necessity of a secure area to accommodate our storage trailers on the jobsite to store materials.

Each elevator will require a final inspection with a Qualified Elevator Inspector present. This inspection will be scheduled once the contractor's work and the installation is complete and ready for inspection. Should

deficiencies of others result in the requirement of additional inspections there will be a fee of \$1,750.00, for each re-inspection, plus the fee required by the inspector.

Any payment not made when due will be subject to interest at the rate of one and one-half percent (1.5%) per month or the maximum permitted by law, whichever is less, plus reasonable attorney's fees and collection cost.

In the event of default of the payment provisions herein, purchaser agrees to pay, in addition to any defaulted amount, all attorneys' fees, collection cost or court cost in connection therewith. The purchaser does hereby waive trial by jury and further hereby consents to venue in Lake County, Florida. In the event a third party is retained to enforce, construe or defend any of the terms and conditions of this agreement or to collect any monies due hereunder, either with or without litigation, the prevailing party shall be entitled to recover all cost and reasonable attorney's fees. You hereby waive the right of subrogation.

Additional work will be considered and performed once the mutually approved change order is in place.

This proposal does not include provisions for liquidated damages. Neither party shall be liable for any loss, damage or delay due to any cause beyond either party's reasonable control, including but not limited to acts of government, labor disputes, theft, weather, natural or man-made disaster, civil commotion, mischief or act of God.

At the end of the project we will hold a training session for the building's owners or personnel. All software supplied with your elevator is licensed to you and your successors. Manuals supplied by the manufacturer will be turned over at this time.

This proposal will be made of part of the contract agreement and will prevail over any contract specifications in discrepancy with the equipment being supplied.

In the event our agreement is terminated through no fault of ours, we shall be paid for all material furnished, or manufactured, and labor performed up to the date of termination, including a reasonable margin. The agreement may be terminated for default provide that we are allowed reasonable time upon written notice, to begin and continue to cure a deficiency.

Awards issued after the expiration of this proposal are subject to potential increases in price to cover escalating labor and material cost. This proposal expires in ninety (90) days.

We are a woman owned small business as well as DBE, and we are proud to say we enjoy an excellent reputation in the elevator industry.

Thank you for the opportunity to offer this proposal. If you have any other questions pertaining to this project or other elevator needs, please do not hesitate to call us.

Robin Bell

Skyline Elevators

352-429-7688

