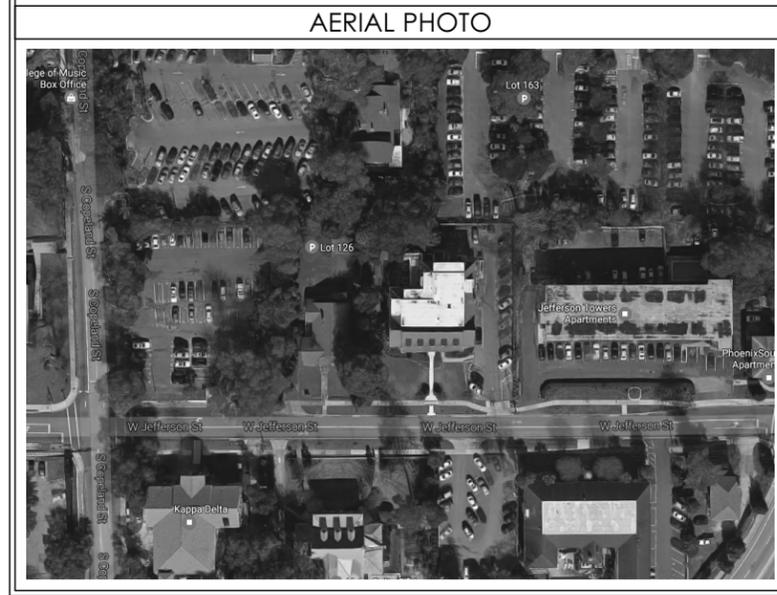
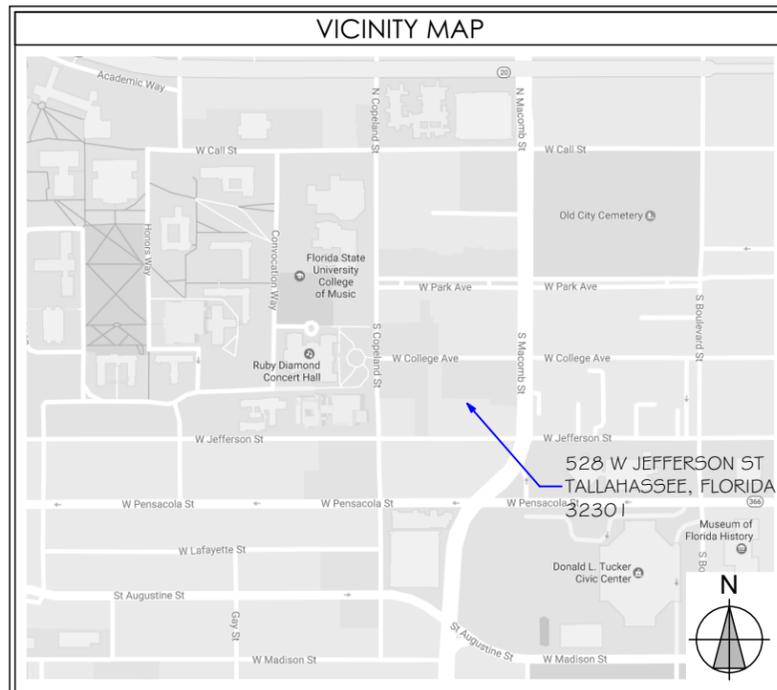


KAPPA KAPPA GAMMA PORCH RENOVATION

KAPPA KAPPA GAMMA TALLAHASSEE, FLORIDA

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SCOPE OF WORK

BRIEFLY AND WITHOUT FORCE AND EFFECT UPON THE CONTRACT DOCUMENTS, THE WORK OF THE CONTRACT CAN BE SUMMARIZED AS FOLLOWS:

THE WORK INCLUDES DEMOLITION OF EXISTING BALCONY DECK AND STAIRS, AND CONSTRUCTION OF NEW BALCONY AND STAIRS.

DISCLAIMER

THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MLD ARCHITECTS INC. AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACT DOCUMENTS WERE PREPARED FOR THE USE ON THIS SPECIFIC SITE IN CONJUNCTION WITH ITS ISSUE DATE AND ARE NOT SUITABLE FOR USE ON A DIFFERENT SITE OR AT A LATER TIME. USE OF THESE DRAWINGS FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THE CONTRACT DOCUMENTS FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED.

ELECTRONIC DISTRIBUTION OF THESE DOCUMENTS IS NOT AUTHORIZED, UNLESS SPECIFICALLY APPROVED BY PROJECT ARCHITECT IN WRITING.

BUILDING AND FIRE CODES

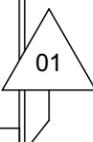
FLORIDA BUILDING CODE, (FBC-B) FIFTH EDITION /2016 SUPPLEMENTS
FLORIDA EXISTING BUILDING CODE, (FBC-EB) FIFTH EDITION
FLORIDA FIRE PREVENTION CODE, (FFPC) FIFTH EDITION
FLORIDA ACCESSIBILITY CODE (FAC), FIFTH EDITION
NATIONAL ELECTRICAL CODE, (NEC) 2011 EDITION
ASCE STANDARD 7-10 (STRUCTURAL WIND LOAD CRITERIA)

FLORIDA PRODUCT APPROVAL

AS REQUIRED BY FLORIDA STATUTE 553.842 AND FLORIDA ADMINISTRATIVE CODE 9B-72, PROVIDE INFORMATION AND PRODUCT APPROVAL NUMBER(S) ON THE BUILDING COMPONENTS UTILIZED ON THE CONSTRUCTION PROJECT REQUIRING PERMITTING AFTER APRIL 1, 2004. REFER TO WWW.FLORIDABUILDING.ORG FOR MORE INFORMATION.

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RENOVATION
KAPPA KAPPA GAMMA
TALLAHASSEE, FLORIDA

100% SUBMITTAL

PROJ. NO.	126317
DATE	11/1/2017
DRAWN	CS
CHECKED	J5
APPROVED	J5
REVISION	02
REVISION DATE	03/16/2018

G100

STRUCTURAL NOTES

1. GENERAL:
- A. UNLESS OTHERWISE SPECIFIED, ALL WORK AND MATERIALS SHALL CONFORM TO "FLORIDA BUILDING CODE" (FBC) REQUIREMENTS, 2014 EDITION.
 - B. ALL ELEVATIONS ON STRUCTURAL SHEETS ARE RELATIVE TO (STRUCTURAL DATUM) FINISHED FLOOR ELEVATION OF 0.00'.
 - C. DO NOT SCALE DRAWINGS. USE DIMENSIONS AND DETAILS.
 - D. THE GENERAL CONTRACTOR SHALL VERIFY THE DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. FOR DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
 - E. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF CONDITIONS ENCOUNTERED IN THE FIELD CONTRADICTORY TO THOSE SHOWN ON THESE STRUCTURAL CONTRACT DOCUMENTS.
 - F. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND FOR CONFORMANCE WITH THE HEALTH AND SAFETY PROVISIONS REQUIRED BY ANY REGULATORY AGENCIES. THE STRUCTURAL ENGINEER OF RECORD HAS NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR, OR THEIR EMPLOYEES WITH THEIR WORK OR ANY HEALTH OR SAFETY PRECAUTIONS.

2. DESIGN LOADS:
- A. LIVE LOADS:
 - (1) DECK LOAD: 100 PSF
 - (2) STAIR LOAD: 100 PSF
 - (3) GUARD RAIL LOAD: 50 PLF OR 200 LB NON-CONCURRENTLY
 - B. WIND LOAD:
 - (1) ULTIMATE DESIGN WIND SPEED = 120 MPH
 - (2) RISK CATEGORY: II
 - (3) WIND EXPOSURE CATEGORY = B
 - (4) ENCLOSURE CLASSIFICATION = ENCLOSED
 - (5) INTERNAL PRESSURE, GC_{pi} = ±0.18
 - (6) CLADDING EDGE WIDTH = 3'-0"

4. SHALLOW FOUNDATIONS:
- A. ALLOWABLE SOIL BEARING CAPACITY TO BE 2,500 PSF ON UNDISTURBED SOILS OR STRUCTURAL FILLS.
 - B. SUB-GRADE PREPARATION SHALL BE FIELD CONTROLLED AND TESTED BY A LICENSED GEOTECHNICAL ENGINEER. AT COMPLETION, THAT ENGINEER SHALL PREPARE AND SUBMIT TO THE OWNER, ARCHITECT, CONTRACTOR AND STRUCTURAL ENGINEER A SIGNED AND SEALED LETTER INDICATING THAT THE ALLOWABLE SOIL BEARING PRESSURE MEETS THE REQUIREMENT ABOVE.
 - C. CENTER ALL FOOTINGS UNDER THEIR RESPECTIVE COLUMNS OR WALLS, U.O.N.

5. STRUCTURAL STEEL:
- A. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO AMERICAN INSTITUTE OF STEEL CONSTRUCTION'S (AISC) "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS".
 - B. STRUCTURAL STEEL SHAPES SHALL BE FABRICATED FROM THE FOLLOWING MATERIALS:
 - (1) ROLLED W AND WT SHAPES: ASTM A992, F_y=50 KSI.
 - (2) ROLLED HP SHAPES: ASTM A572, GRADE 50
 - (3) ALL OTHER ROLLED SHAPES: ASTM A36.
 - (4) HOLLOW TUBE (HSS): ASTM A500, GRADE B, F_y=46 KSI.
 - (5) STRUCTURAL PIPE: ASTM A53, TYPE E OR S, GRADE B, F_y=35 KSI
 - C. ALL STEEL CONNECTIONS SHALL CONFORM TO AISC MANUAL "STANDARD FRAMED BEAM CONNECTIONS" UNLESS SHOWN OTHERWISE. HIGH STRENGTH BOLTS SHALL BE ASTM A325-N BEARING TYPE, THREAD INCLUDED IN SHEAR PLANE.
 - D. ANCHOR BOLTS AND ALL OTHERS SHALL BE ASTM F1554-36
 - E. ALL WELDING WORK SHALL BE PERFORMED AS PER THE AMERICAN SOCIETY'S RECOMMENDATIONS BY CERTIFIED WELDERS.
 - F. UNLESS NOTED OTHERWISE, ALL WELDING SHALL BE MADE WITH E70 ELECTRODE.
 - G. NON-SHRINK GROUT SHALL BE NONMETALLIC SHRINKAGE-RESISTANT GROUT CONFORMING TO ASTM C1107.

7. NON-COMPOSITE METAL FLOOR DECK:
- A. METAL ROOF DECK SHALL BE NON-COMPOSITE, GALVANIZED STEEL DECK WITH THE FOLLOWING MINIMUM PHYSICAL PROPERTIES
 - TYPE: 1½"C CONFORM MANUFACTURED BY VULCRAFT (OR APPROVED ALT.)
 - GAUGE: 24 (0.0239)
 - ALLOWABLE YIELD STRESS: 60 KSI
 - MOMENT OF INERTIA: I_p = 0.136 IN⁴/FT
 - I_n = 0.108 IN⁴/FT
 - DEPTH: 1½"
 - B. ALL STEEL DECK SHALL BE MANUFACTURED AND ERECTED IN ACCORDANCE WITH THE STEEL DECK INSTITUTE
 - C. ALL DECK SHALL BE MINIMUM 3 SPAN CONTINUOUS
 - D. ALL DECK SHALL BE FABRICATED FROM GALVANIZED SHEETS CONFORMING TO ASTM A 653, CLASS G60 COATINGS.
 - E. FASTEN ALL METAL ROOF DECK TO SUPPORTING MEMBERS, PERIMETER MEMBERS AND OPENING EDGES WITH 5/8" PUDDLE WELDS AT 12" O.C. PROVIDE #10 SIDELAP SCREW AT MIDSPAN OR 36" INTERVALS (WHICHEVER IS SMALLER).
 - F. THE CONTRACTOR SHALL PROTECT THE DECK FLUTES FROM MOUNDING CONCRETE AND HEAVY EQUIPMENT INCLUDING WHEEL BARROWS AND SCREEDING EQUIPMENT, PRIOR TO AND DURING CONCRETE PLACEMENT.

G. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SHORE THE DECK AT PENETRATIONS OR AREAS OF MINOR DECK DAMAGE.

6. REINFORCED CONCRETE:
- A. ALL REINFORCED CONCRETE CONSTRUCTION SHALL COMPLY WITH ACI 301 AND 318.
 - B. PROVIDE STRUCTURAL CONCRETE WITH A MINIMUM ULTIMATE COMPRESSIVE DESIGN STRENGTH IN 28 DAYS OF:
 - (1) DECK SLAB 3,000 PSI
 - (2) FOUNDATIONS 3,000 PSI
 - C. USE NORMAL WEIGHT CONCRETE FOR ALL STRUCTURAL MEMBERS. U.O.N.
 - D. PROVIDE ASTM A-615 GRADE 60 REINFORCING STEEL. REINFORCING SHALL BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND FIRMLY TIED IN PLACE, WITH APPROPRIATE BAR SUPPORTS AND SPACERS. LAP CONTINUOUS REINFORCING 48 BAR Ø U.O.N. LAP BOTTOM STEEL OVER SUPPORTS AND TOP STEEL AT MID-SPAN, U.O.N. HOOK DISCONTINUOUS ENDS OF ALL TOP BARS AND ALL BARS IN WALLS, U.O.N.
 - E. PROVIDE COVER OVER REINFORCING AS FOLLOWS:
 - (1) CAST AGAINST & EXPOSED TO EARTH/WEATHER 3"
 - (2) EXPOSED TO EARTH/WEATER
 - #6 THROUGH #18 REBAR 2"
 - #5 REBAR, W31/D31 WIRE OR SMALLER 1-1/2"
 - (3) NOT EXPOSED TO EARTH/WEATHER
 - SLABS, WALLS, JOISTS
 - #14 AND #18 REBAR 1-1/2"
 - #11 REBAR AND SMALLER 3/4"
 - BEAMS AND COLUMNS
 - REINF, TIES, STIRRUPS, SPIRALS 1-1/2"
 - F. WHERE SPECIFIED, PROVIDE PLAIN, COLD-DRAWN ELECTRICALLY-WELDED WIRE REINFORCEMENT CONFIRMING TO ASTM A-185. SUPPLY IN FLAT SHEETS ONLY. LAP SPLICE ONE CROSS WIRE SPACING PLUS TWO INCHES.
 - G. UTILITIES SHALL NOT PENETRATE BEAMS OR COLUMNS BUT MAY PASS THROUGH SLABS AND WALLS INDIVIDUALLY, U.O.N.. FOR OPENINGS 24" LONG OR LESS, CUT REINFORCING AND REPLACE A LONG SIDE OPENING WITH SPLICE BARS OF EQUIVALENT AREA WITH 48 BAR Ø LAP. PREPARE AND SUBMIT SHOP DRAWINGS FOR OPENINGS LONGER THAN 24". FOR RECTANGULAR OPENINGS 12" LONG OR LONGER, ADD (1) #5 X 6' MID DEPTH & DIAGONAL AT ALL 4 CORNERS.
 - H. WHERE REINFORCING STEEL CONGESTION PERMITS, CONDUIT AND PIPES UP TO 1"Ø MAY BE EMBEDDED IN CONCRETE PER ACI 318, SECTION 6.3. SPACE AT 3Ø O.C. PLACE BETWEEN OUTER LAYERS OF REINFORCING IF CONDUITS ARE SIGNIFICANTLY CONGESTED, ADDITIONAL REINFORCING PERPENDICULAR TO PIPING MAY BE REQUIRED. REQUESTS TO EMBED LARGER PIPES SHOULD BE ACCOMPANIED BY A DETAILED DESCRIPTION AND BE SUBMITTED TO THE ARCHITECT FOR EVALUATION.

LEGEND

A.B.	-	ANCHOR BOLT	L.L.V.	-	LONG LEG VERTICAL
ADD'L	-	ADDITIONAL	MAT'L	-	MATERIAL
B.B.	-	BOND BREAKER (30# FELT)	M.B.	-	MACHINE BOLT
B/L	-	BUILDING LINE	M.D.	-	METAL DECK
BM.	-	BEAM	MAX.	-	MAXIMUM
BRG.	-	BEARING	MIN.	-	MINIMUM
B.S.	-	BOTTOM STEEL	OP.HD.	-	OPPOSITE HAND
C.J.	-	CONSTRUCTION JOINT	R/C	-	REINFORCED CONCRETE
C.J.1	-	CONSTRUCTION JOINT AT NON-LOAD BEARING WALL	REINF.	-	REINFORCEMENT
CL.	-	CLEAR	REQ'R	-	REQUIREMENTS
C.M.U.	-	CONCRETE MASONRY UNIT	S.C.V.	-	SAW CUT CONSTRUCTION JOINT
COL.	-	COLUMN	SGL.	-	SINGLE
CONT.	-	CONTINUOUS	SIM.	-	SIMILAR
C.W.B.	-	CAPILLARY WATER BARRIER	S.L.V.	-	SHORT LEG VERTICAL
DBL.	-	DOUBLE	SPA.	-	SPACES
DN.	-	DOWN	S.S.V.	-	SIMPSON STRONG TIE
EL.	-	ELEVATION	STD.	-	STANDARD
E.O.A.	-	EDGE OF CONCRETE	T&B	-	TOP AND BOTTOM
EQ.	-	EQUAL	T.C.	-	TOP OF CONCRETE
E.J.	-	EXPANSION JOINT	T.D.	-	TRENCH DRAIN
F.S.	-	FIELD SPLICE	T.S.	-	THICKENED SLAB
GALV.	-	GALVANIZED	TS	-	TOP STEEL
H.B.	-	HIGH BEAM	SPA.	-	TYPICAL
HORIZ.	-	HORIZONTAL	U.N.V.	-	UNLESS NOTED OTHERWISE
H.S.B.	-	HIGH STRENGTH BOLT	V.B.	-	VAPOR BARRIER
L.B.	-	LOW BEAM	V.C.J.	-	VERTICAL CONTROL JOINT
LG.	-	LONG	V.E.J.	-	VERTICAL EXPANSION JOINT
			W.P.	-	WORKING POINT
			W.W.F.	-	WELDED WIRE FABRIC

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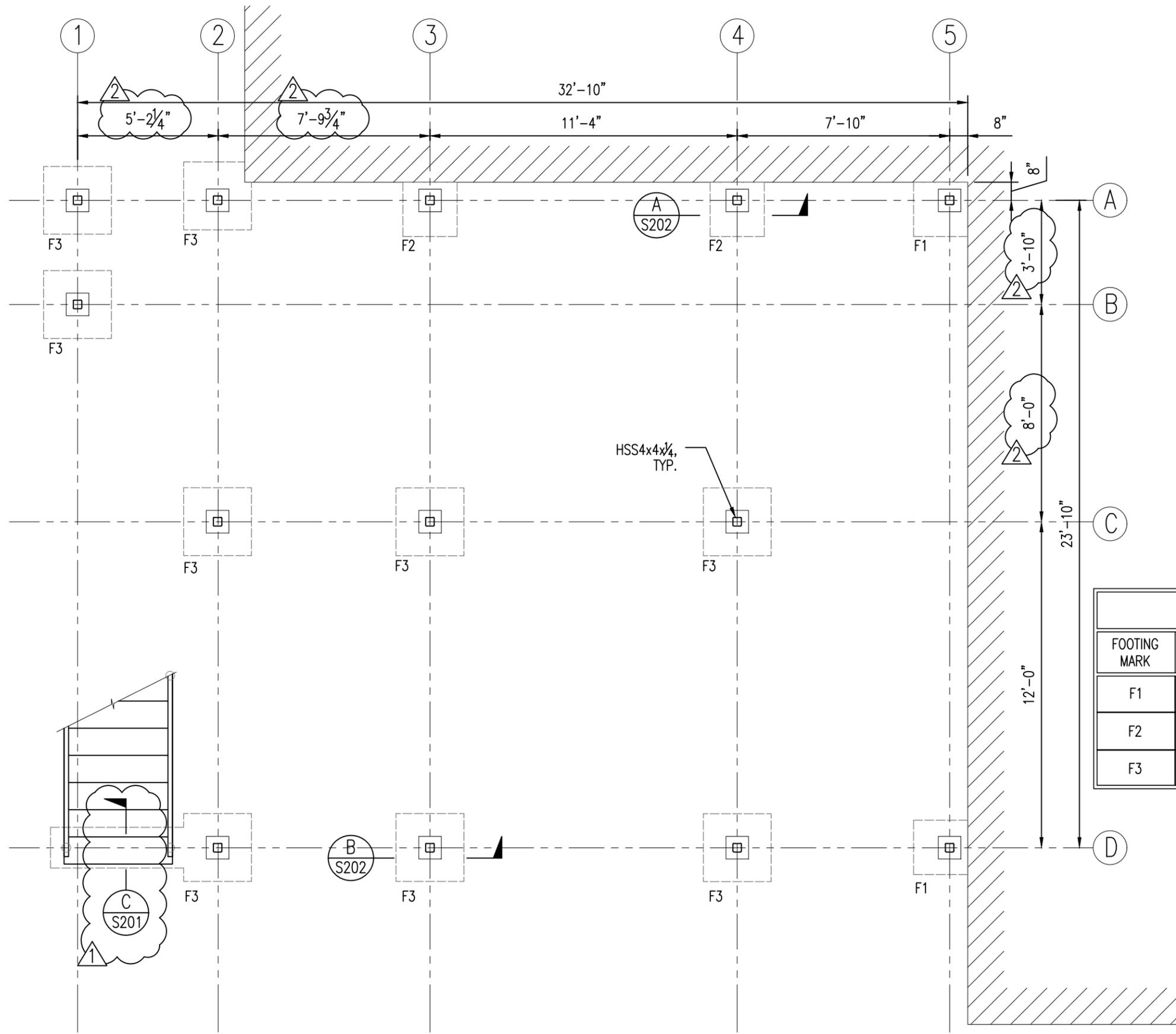
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PROJ. NO.	
DATE	6/1/2017
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CHECKED	FMM
APPROVED	FMM
REVISION	1
REVISION DATE	1/4/2018

5001



FOOTING SCHEDULE			
FOOTING MARK	TYPE	FOOTING SIZE	FOOTING DEPTH
F1	A	2'-0" SQ.	6'-0"
F2	A	2'-0"x2'-0"	6'-0"
F3	B	3'-0"x3'-0"	1'-6"

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



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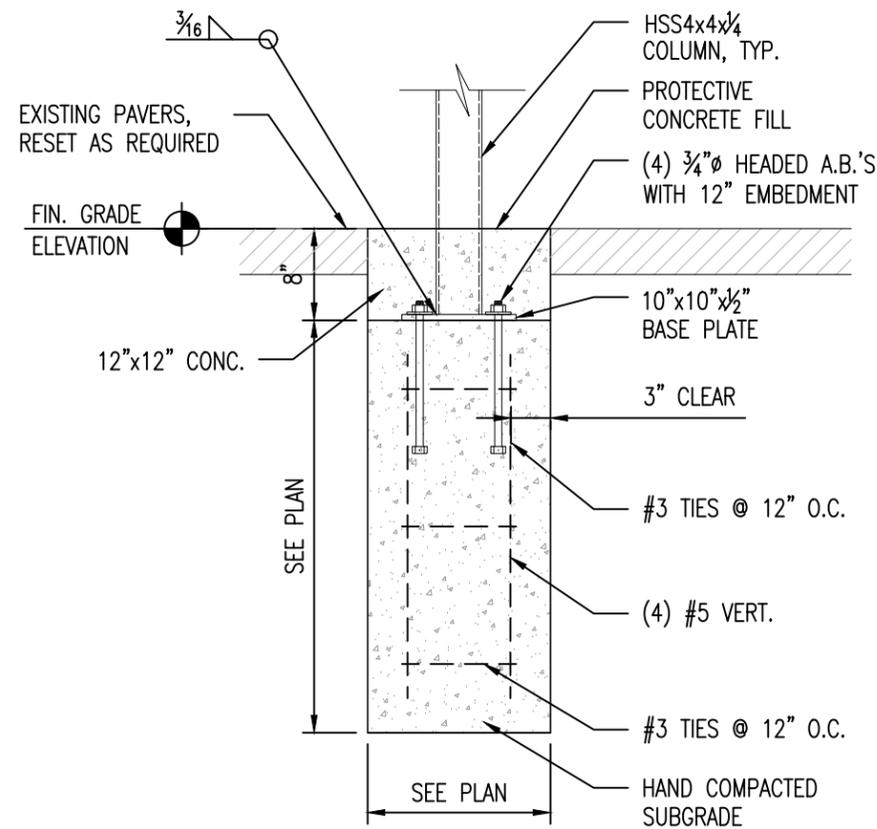
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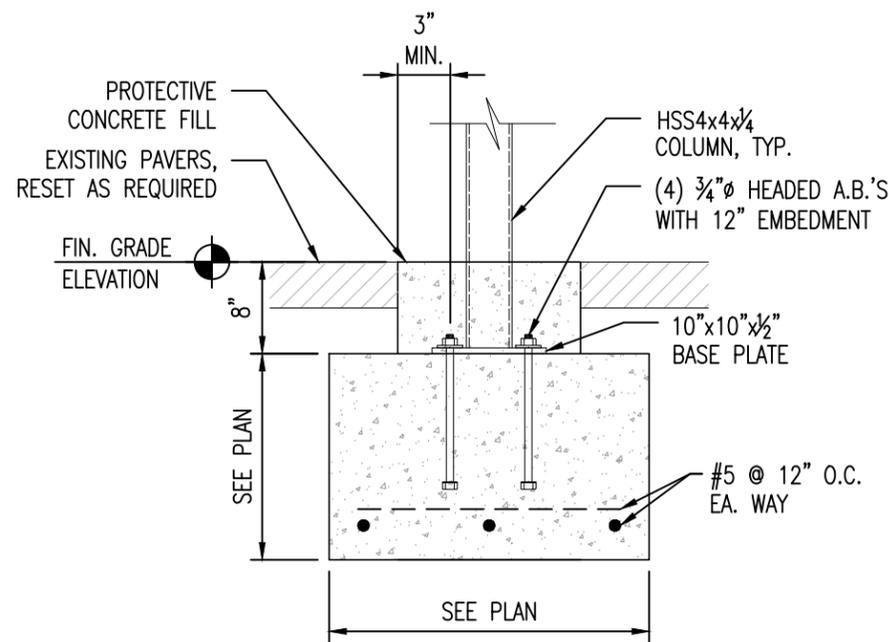
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DATE	6/1/2017
DRAWN	KDF
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REVISION	2
REVISION DATE	2/8/2018

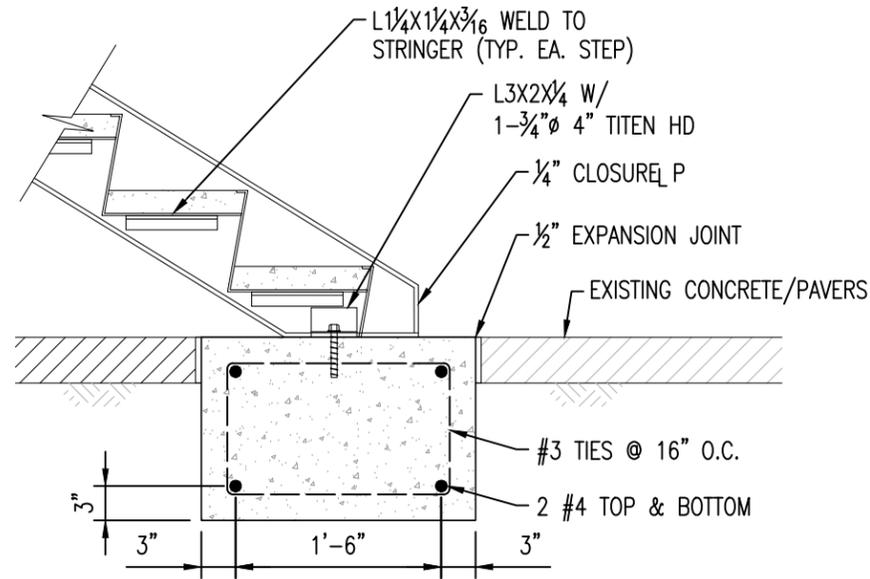
S101



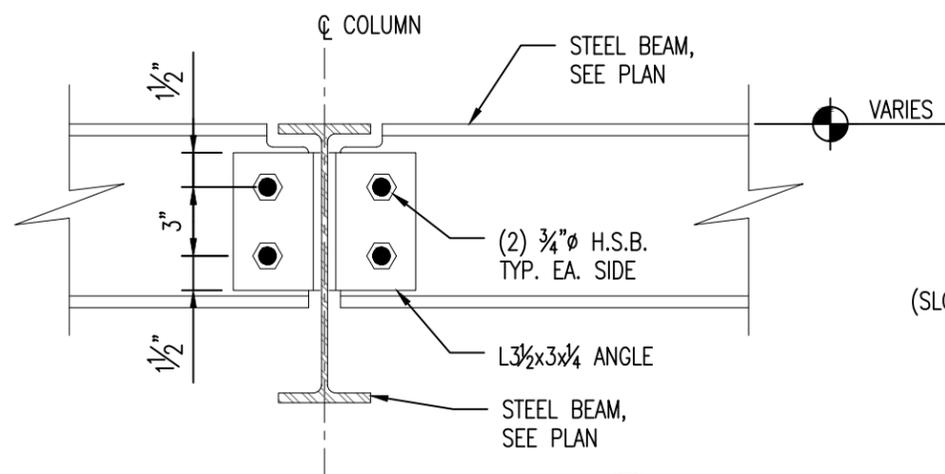
TYPE A FOOTING A
SCALE: 3/4" = 1'-0" S201



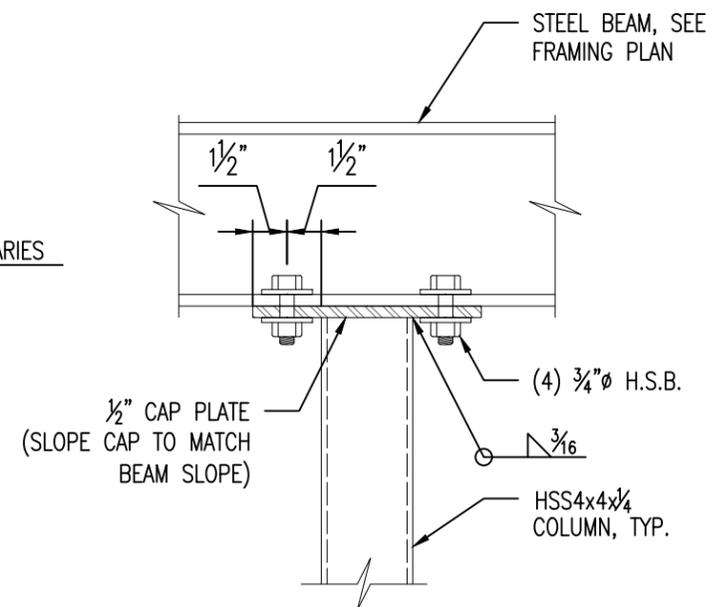
TYPE B FOOTING B
SCALE: 3/4" = 1'-0" S201



STAIR FOUNDATION C
SCALE: 3/4" = 1'-0" S201



BEAM TO BEAM CONN. D
SCALE: 1/2" = 1'-0" S201



TOP OF COLUMN CONNECTION E
SCALE: 1/2" = 1'-0" S201

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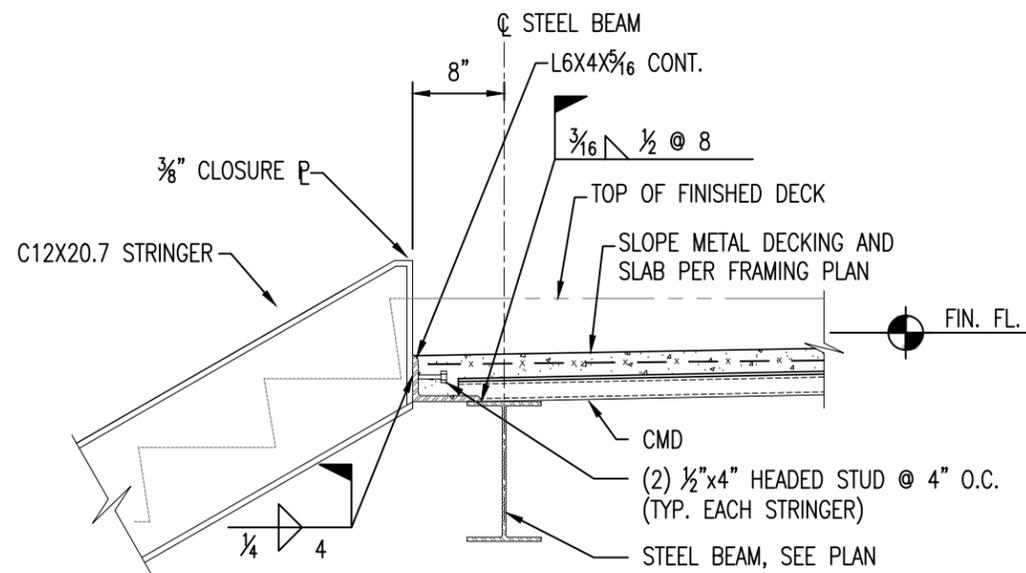
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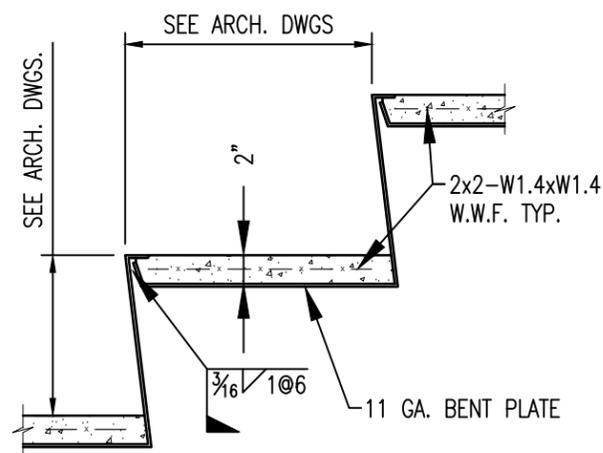
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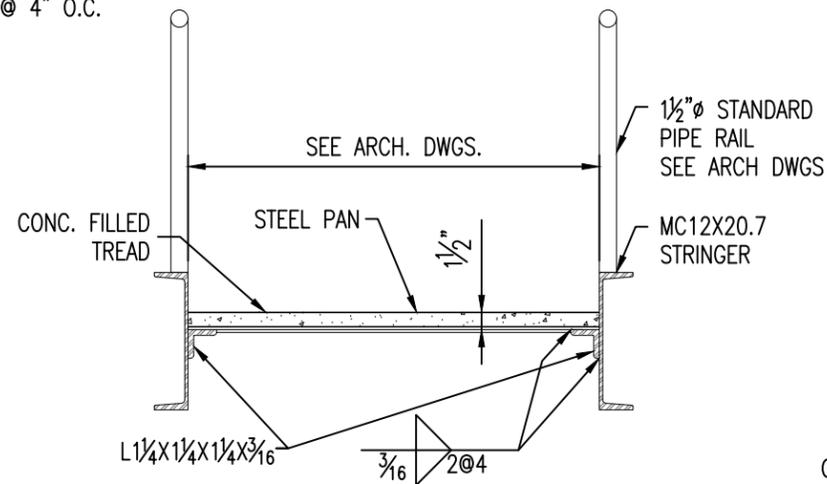
S201



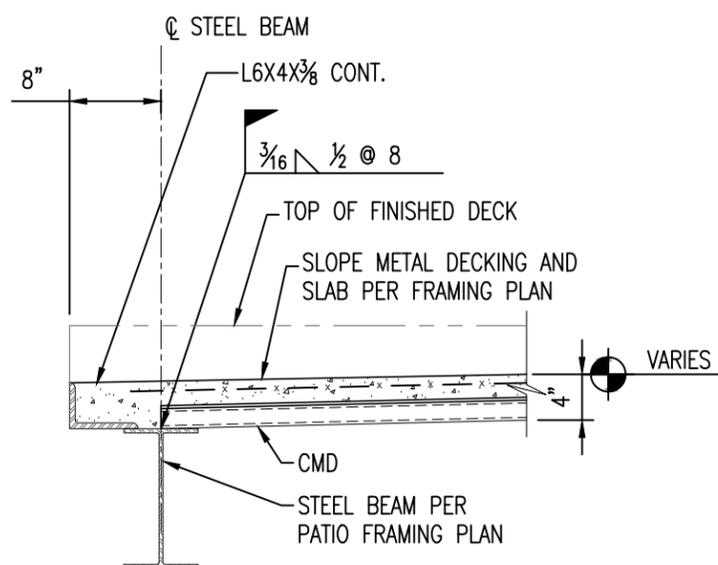
TOP OF STAIR CONN. **A**
SCALE: $\frac{3}{4}'' = 1'-0''$ S202



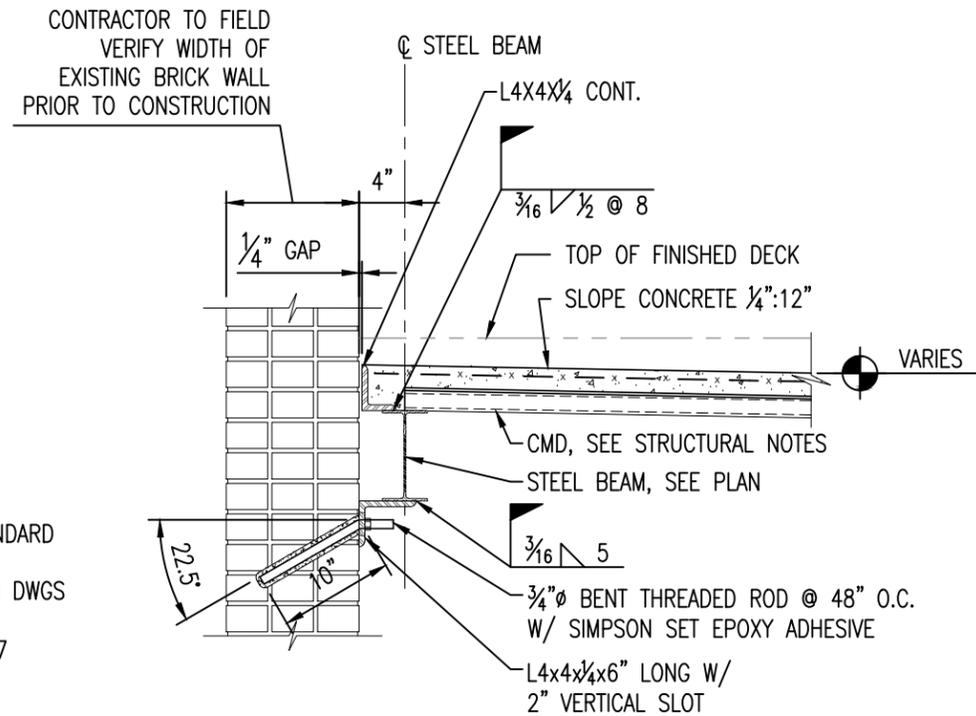
TYP. STAIR TREAD AND RISER **B**
SCALE: $1\frac{1}{2}'' = 1'-0''$ S202



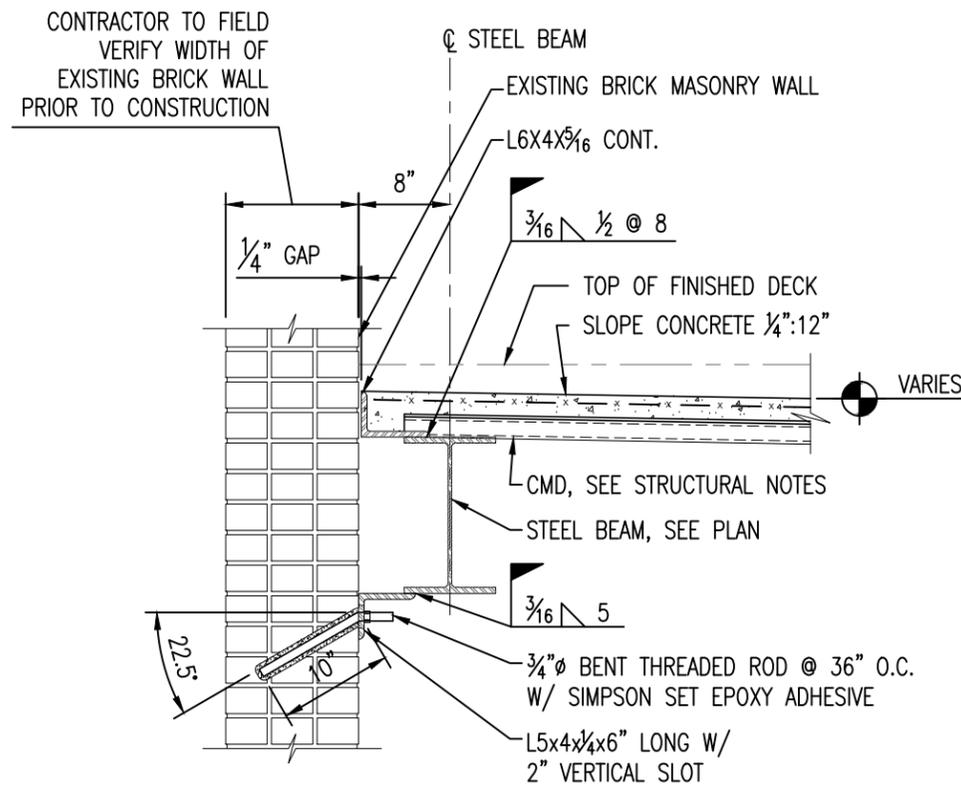
STAIR SECTION **C**
SCALE: $\frac{3}{4}'' = 1'-0''$ S202



DECK EDGE DETAIL **D**
SCALE: $\frac{3}{4}'' = 1'-0''$ S202



PATIO EDGE DETAIL AT W8x10 **E**
SCALE: $\frac{3}{4}'' = 1'-0''$ S202



PATIO EDGE DETAIL AT W14x43 **F**
SCALE: $\frac{3}{4}'' = 1'-0''$ S202

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REVISION DATE	

S202

GENERAL NOTES

1. THE EXISTING OVERALL PORCH PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ALL PROJECTIONS THROUGH ROOFS, AND ALL CONDITIONS.
2. BEFORE SUBMITTING PROPOSAL FOR THE WORK, EACH BIDDER WILL BE HELD TO HAVE EXAMINED THE PREMISES AND SATISFIED HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE AND COMPLETE THE WORK UNDER THIS CONTRACT. NO ALLOWANCE WILL BE MADE SUBSEQUENTLY IN THIS CONNECTION ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.
3. NORMAL OPERATIONS OF THE FACILITY SHALL CONTINUE DURING DEMOLITION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE WORK WITH ALL SUBCONTRACTORS AND SEQUENCE DEMOLITION AND CONSTRUCTION TO MINIMIZE INTERRUPTIONS TO NORMAL OPERATIONS OF THE FACILITY.
4. ALL PROPOSED INTERRUPTIONS TO OPERATIONS, SERVICES AND EQUIPMENT SHALL BE REVIEWED WITH AND APPROVED BY THE OWNER PRIOR TO STARTING SUCH WORK. UNLESS OTHERWISE APPROVED IN WRITING, ONLY WEEKEND OR EVENING INTERRUPTIONS ON UTILITIES SHALL BE APPROVED.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXIT WAYS CLEAR. WHERE AN EXIT MUST BE TEMPORARILY BLOCKED, CONTRACTOR SHALL PROVIDE THE REQUIRED BARRICADES AND DIRECTIONAL SIGNS FOR TEMPORARY EXITING AND SAFETY.
6. CONTRACTOR SHALL ERECT AND MAINTAIN ALL REASONABLE SAFEGUARDS FOR SAFETY AND HEALTH INCLUDING POSTING DANGER SIGNS, AND OTHER WARNING AGAINST HAZARDS, AS WELL AS PROMULGATING SAFETY REGULATIONS.
7. CONTRACTOR SHALL BE RESTRICTED TO AREAS SPECIFIED BY THE OWNER FOR ON SITE STORAGE OF CONSTRUCTION MATERIALS.
8. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING SURFACES AND SHALL BE RESPONSIBLE FOR RETURNING ALL DISTURBED SOD AND REPAIR ALL DAMAGED AREAS (MATERIALS, FINISHES, LANDSCAPING, ETC.) TO THEIR ORIGINAL CONDITION. SURFACES SHALL BE REPAIRED TO MATCH THE EXISTING ADJACENT UNDAMAGED SURFACES.
9. CONTRACTOR SHALL MAINTAIN A CLEAN WORK PREMISE AT ALL TIMES AND SHALL CLEAN CONSTRUCTION SITE OF ALL DEBRIS AT COMPLETION OF THE JOB AND BEFORE FINAL PAYMENT IS MADE.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER INTRUSION AND WATER DAMAGE TO THE BUILDING INTERIOR FOLLOWING EXISTING MEMBRANE TEAR-OFF.
11. ALL NEW ROOFING MEMBRANE, MEMBRANE FLASHING, PEDISTALS AND PAVERS, AND ROOF ACCESSORIES PROVIDED BY ROOFING MANUFACTURER SHALL BE CONSIDERED A "ROOFING SYSTEM" AND SHALL PROVIDE A UL CLASS 'A' FIRE RATING AND F.M. 1-90 WIND UPLIFT CLASSIFICATION
12. ALL FLASHING SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS, AND COMPLY WITH RECOMMENDED DETAILS OF NRCA ROOFING AND WATERPROOFING MANUAL AND ARCHITECTURAL SHEET METAL MANUAL, BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC. (SMACNA).
13. ROOFING MANUFACTURER TO PROVIDE SPECIFIED 20 YEAR WARRANTY, WITH NON PRORATED, NO PENAL SUM, AND NO DOLLAR LIMIT WARRANTY TO INCLUDE THE ROOF SYSTEM. ALL OVERBURDEN (PAVERS/PEDESTALS) SHALL BE INCLUDED IN ROOFERS WARRANTY.

GENERAL NOTES CONTINUED

16. CONTRACTOR SHALL SEPARATE ALL DISSIMILAR METALS WITH ASPHALT COATING.
17. JOINT SEALANT MANUFACTURERS TO PROVIDE 20 YEAR WARRANTY ON SILICONE JOINT SEALANT AND 5 YEAR WARRANTY ON POLYURETHANE JOINT SEALANT. PAINT MANUFACTURER SHALL PROVIDE 2 YEAR WARRANTY ON EXTERIOR PAINT SYSTEMS.
18. CONTRACTOR AND INSTALLER SHALL PROVIDE 2 YEAR UNLIMITED LABOR AND MATERIAL WARRANTY ON MEMBRANE ROOFING SYSTEMS, JOINT SEALANT. PAINTING AND COATING SYSTEMS.
19. ALL WORK SHALL COMPLY WITH APPLICABLE OSHA AND E.P.A. REGULATIONS AND GUIDELINES.
20. ALL WORK SHALL COMPLY WITH THE CURRENT FLORIDA BUILDING CODE.
21. CONTRACTOR SHALL LIST AN EMERGENCY TELEPHONE NUMBER WHERE HE OR SHE MAY BE REACHED 24 HOURS A DAY, SEVEN DAYS A WEEK, DURING THE ENTIRE PERIOD OF CONTRACT TIME. THIS TELEPHONE NUMBER SHALL BE PROVIDED AT THE PRECONSTRUCTION CONFERENCE.

DEMOLITION NOTES

- CAUTION: CONTRACTOR TO PROVIDE WORKER SAFETY BARRICADES AT ROOF EDGES IN ACCORDANCE WITH OSHA REGULATIONS.
1. CONTRACTOR SHALL FIELD VERIFY ALL THE ITEMS TO BE REMOVED AS INDICATED ON THE PLANS WITHIN THE WORK AREA. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND RENOVATION AS REQUIRED FOR NEW WORK.
 2. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH OWNER, ARCHITECT AND SUB-CONTRACTORS.
 3. CAREFULLY REMOVE EXISTING LIGHTING BOXES AND FIXTURES. REMOVE CONDUIT AND CONDUCTORS BACK TO JUNCTION BOX AND TEMPORARILY TERMINATE PROPERLY. REMOVE ALL NON-FUNCTIONING WIRES AND CONDUIT.
 4. PROTECT/REMOVE EXISTING BRICK PAVERS TO PREVENT DAMAGE. DAMAGED PAVERS WILL BE THE CONTRACTORS RESPONSIBILITY TO REPLACE, TO MATCH.
 5. REMOVE EXISTING PLANTS THAT MAY INTERFERE WITH CONSTRUCTION. SALVAGE FOR POSSIBLE TRANSPLANT.
 6. REMOVE EXISTING WOOD BALCONY AND STAIRS TAKING CARE NOT TO DAMAGE ANY EXISTING FINISHES TO REMAIN. ALL DAMAGED FINISHES TO REMAIN WILL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR/REPLACE IF DAMAGED.
 7. REMOVE EXISTING BRICK PAVERS NECESSARY TO EXCAVATE FOR FOUNDATIONS OF COLUMNS. SALVAGE FOR REINSTALLATION.

RENOVATION NOTES

1. EXCAVATED FOR FOUNDATIONS AS NECESSARY. INSTALL NEW CAST IN PLACE CONCRETE FOOTINGS AS DETAILED. REINSTALL BRICK PAVERS TO MATCH.
2. INSTALL COLUMN SUPPORT AS DETAILED. CONSTRUCT REMAINDER OF BALCONY AS INDICATED AND DETAILED. INSTALL BACKER ROD AND BOND BREAKER TAPE AT PERIMETER JOINT AT HOUSE. APPLY PREMIUM SILICONE SEALANT (DOW CORNING 90) IN JOINT.
3. INSTALL STAIR AS NOTED AND DETAILED. CLEAN AND PREPARE STEEL STAIR PROPERLY. PRIME AND PAINT ALL STEEL AND CONCRETE ON STAIR TO PROVIDE TREADABLE SURFACE. PROVIDE PAINT MANUFACTURER APPROVAL OF SUBSTRATE TO ARCHITECT PRIOR TO APPLYING COATINGS. PROVIDE MANUFACTURER APPROVAL OF APPLICATION AFTER COATINGS ARE APPLIED.
4. INSTALL ELECTRICAL DEVICES AS INDICATED, NOTED, DETAILED AND SCHEDULED. CONTRACTOR IS RESPONSIBLE FOR CALCULATING LOADS AND ADDING CIRCUITS IF NECESSARY. ALL FIXTURES TO BE SEALED/WATERPROOF AND RATED TO BE USED OUTDOORS. ALL CONDUCTORS SHALL BE ENCLOSED IN CONDUIT OF FLEXIBLE CONDUIT RATED FOR OUTDOOR USE.

ELECTRICAL NOTES

1. PRIOR TO BIDDING, FIELD VERIFY ALL ELECTRICAL MODIFICATIONS.
2. CONTRACTOR SHALL INITIALLY TEST ALL APPLICABLE ELECTRICAL SYSTEMS WITHIN 14 DAYS OF NTP. CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF NON-OPERATIONAL SYSTEMS.
3. DISCONNECT, REROUTE, EXTEND AND RECONNECT CONDUITS TO ALLOW FOR ELECTRICAL, TELECOMMUNICATION/DATA CONNECTION. PROVIDE NEW CONDUIT AND WIRE FROM THE EXISTING JUNCTION BOX TO THE CONNECTION POINT. ALL RECEPTACLES SHALL BE GFCI PROTECTED.
4. CONTRACTOR SHALL, UPON COMPLETION OF WORK, ENSURE ALL CIRCUITS ADJACENT TO THE WORK AREAS ARE IN PROPER WORKING CONDITIONS.
5. CONTRACTOR SHALL COORDINATE WORK WITH ELECTRICAL CONTRACTOR. CONTRACTOR SHALL REROUTE ALL CONDUIT ELECTRICAL, CONTROL, TELEPHONE, AND COMMUNICATION CABLE SERVICE AS REQUIRED. VERIFY AND CONFIRM WITH OWNER TO REMOVE ALL ABANDONED ELECTRICAL, TELEPHONE, AND COMMUNICATION CONDUIT AND CONDUCTORS. ALL NEW CONDUIT SHALL BE CONSEALED IN WALL FRAMING.

LEGEND

-  LOW PARAPET WALL
-  GUTTER WITH DOWNSPOUT
-  RAILING
-  SLOPE
-  PHOTO MARKER
1/A700 PHOTO # / SHEET #
-  SECTION #
SHEET #
LOW/HIGH
-  EXISTING DOOR TO REMAIN
-  EXISTING WINDOW TO REMAIN

01

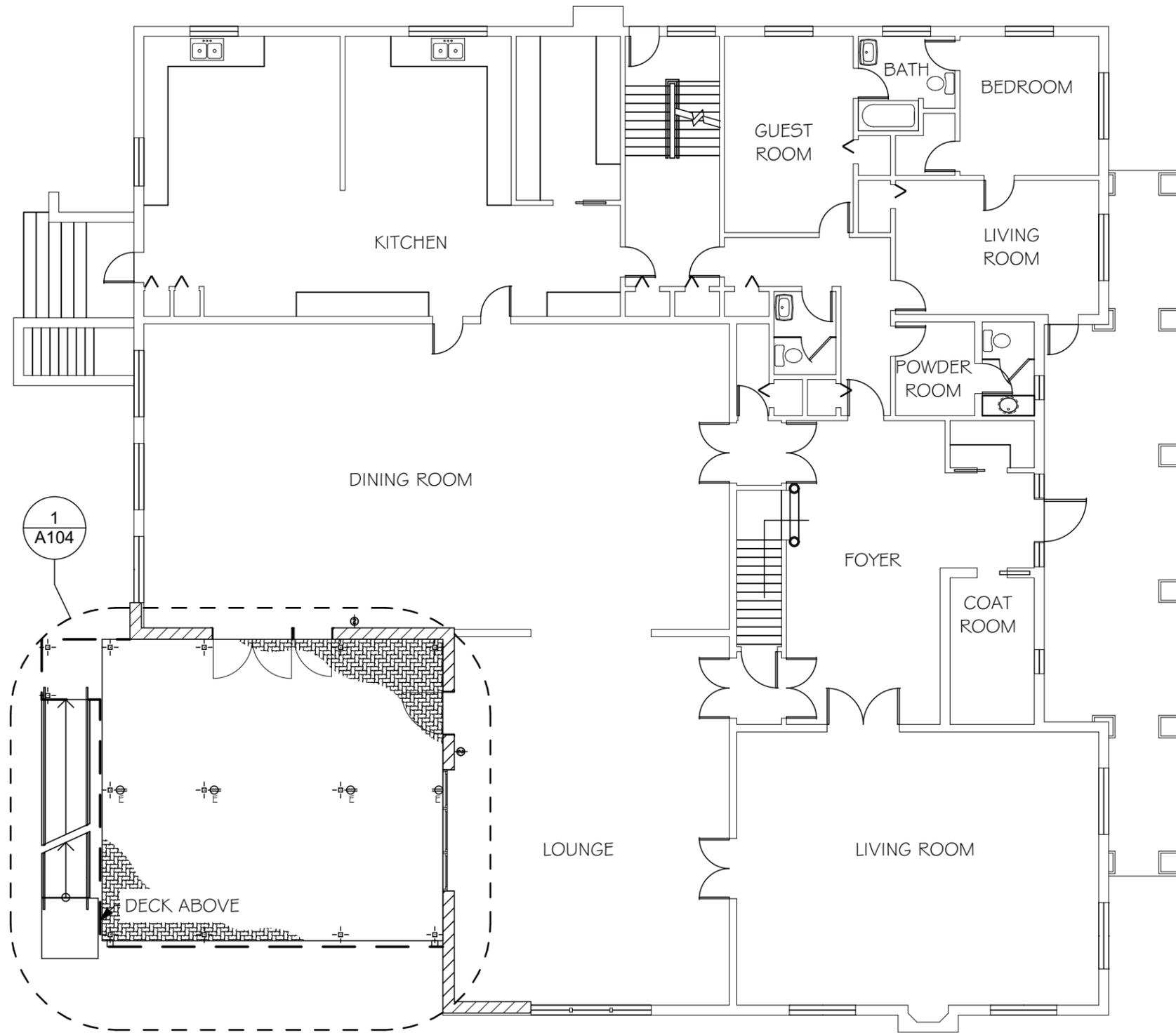
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A000



1
A100

REDUCED FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"



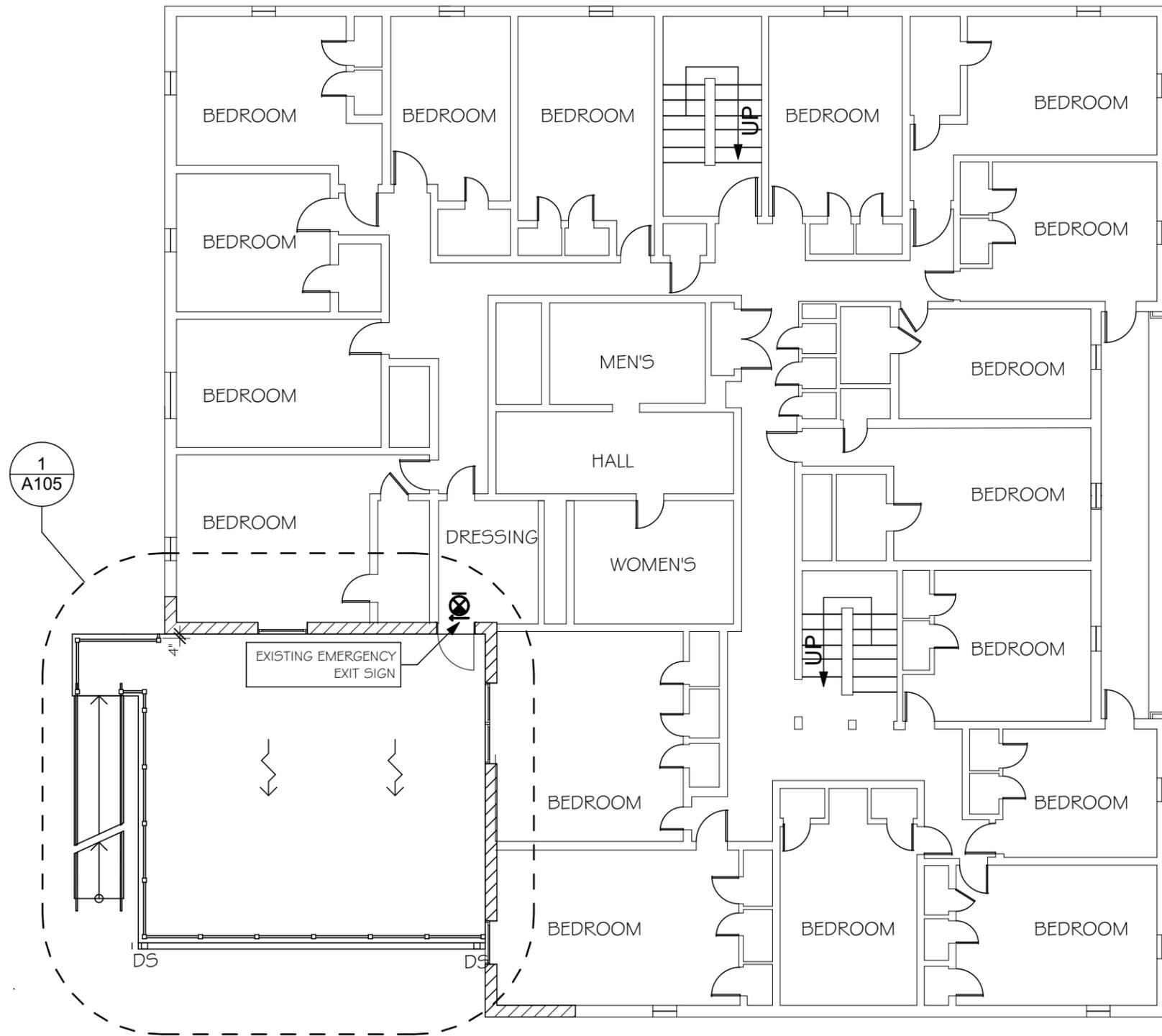
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A100



1
A101

REDUCED SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"



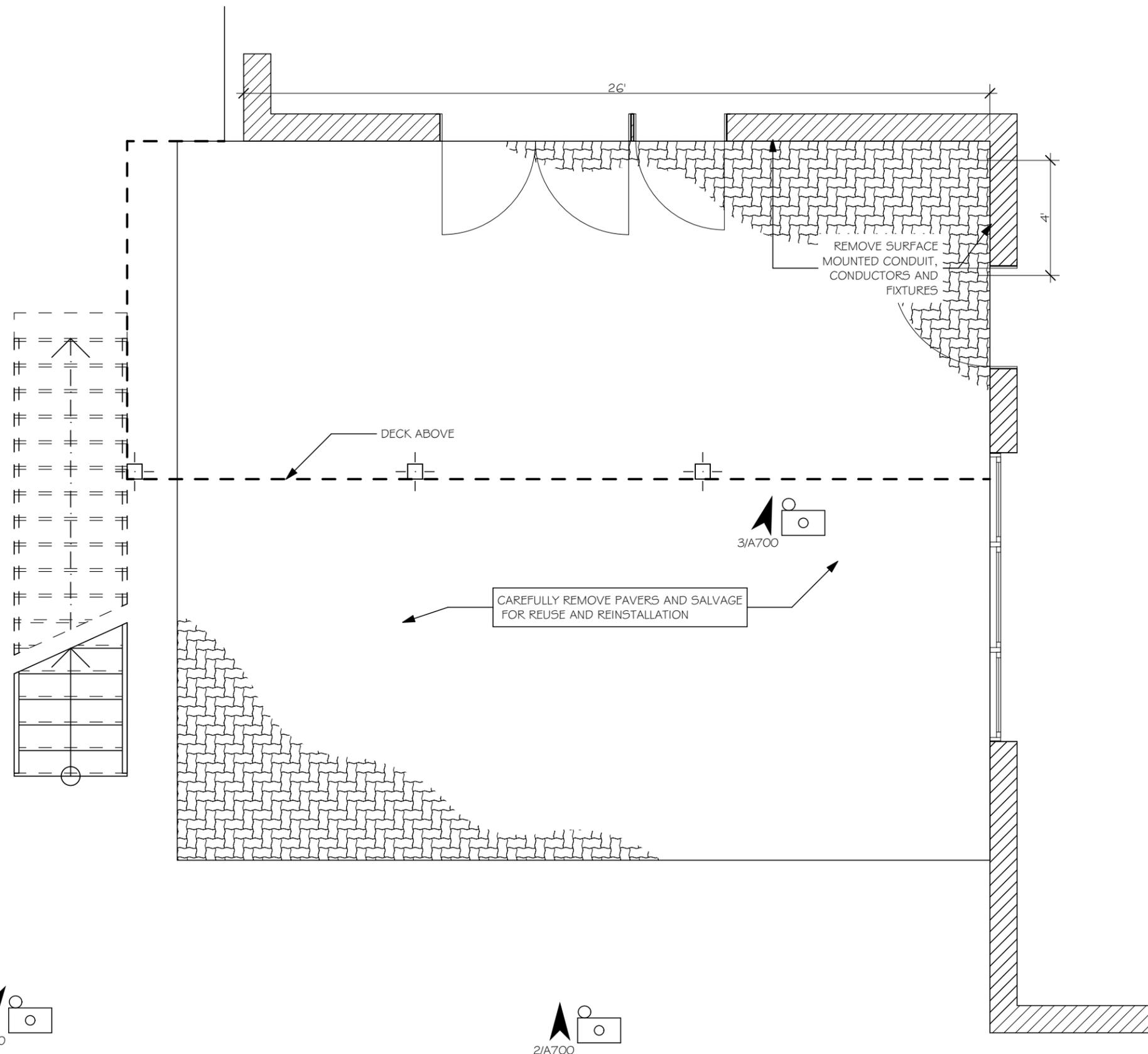
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A101



LEGEND

-  LOW PARAPET WALL
-  GUTTER WITH DOWNSPOUT
-  RAILING
-  SLOPE
-  PHOTO MARKER
PHOTO # / SHEET #
-  SECTION #
SHEET #
LOW/HIGH
-  EXISTING DOOR TO REMAIN
-  EXISTING WINDOW TO REMAIN

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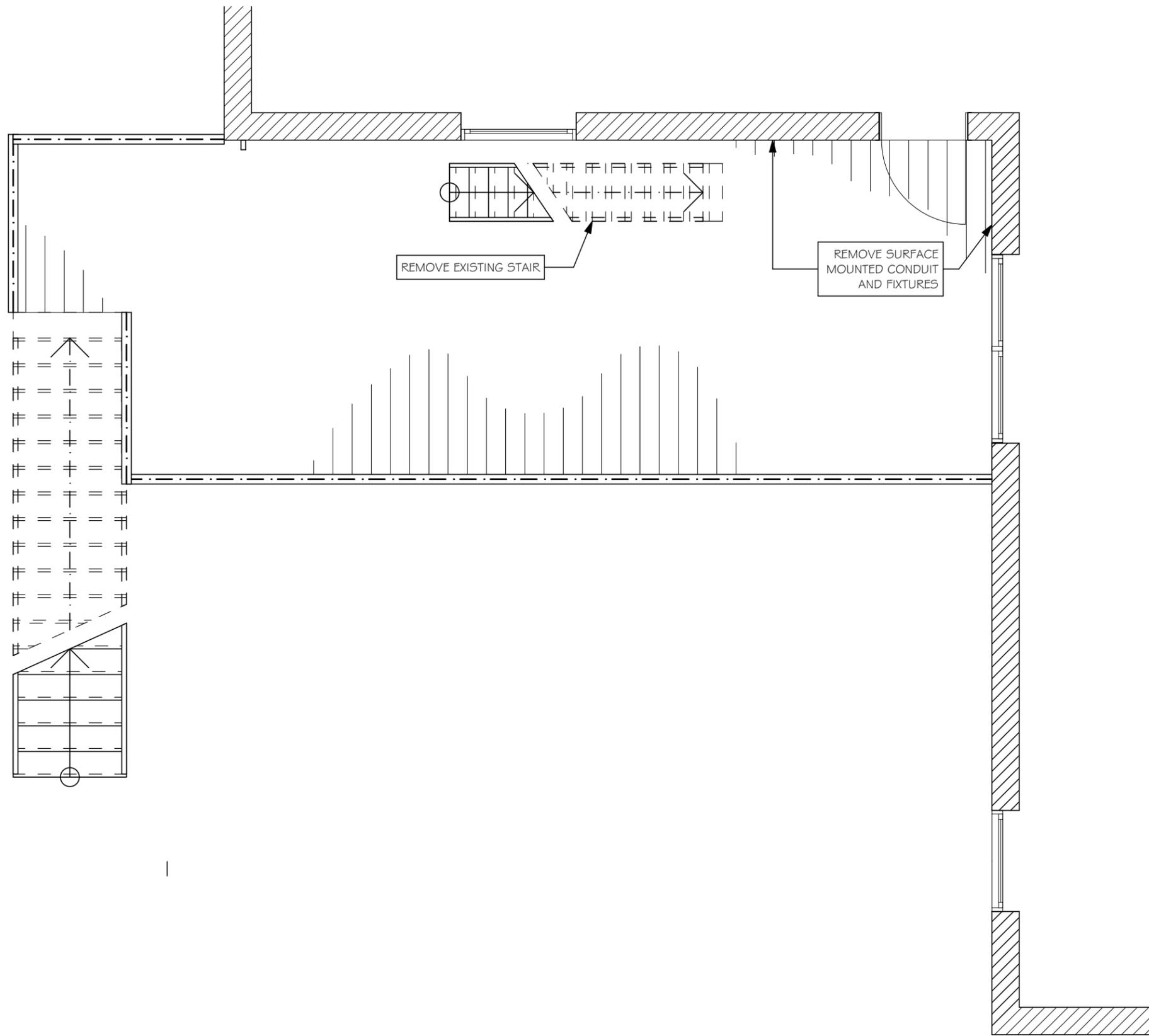
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1
A102
DEMOLITION FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



A102



LEGEND

- LOW PARAPET WALL
- GUTTER WITH DOWNSPOUT
- RAILING
- SLOPE
- PHOTO MARKER
1/A700 ← PHOTO # / SHEET #
- SECTION #
SHEET #
LOW/HIGH
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN

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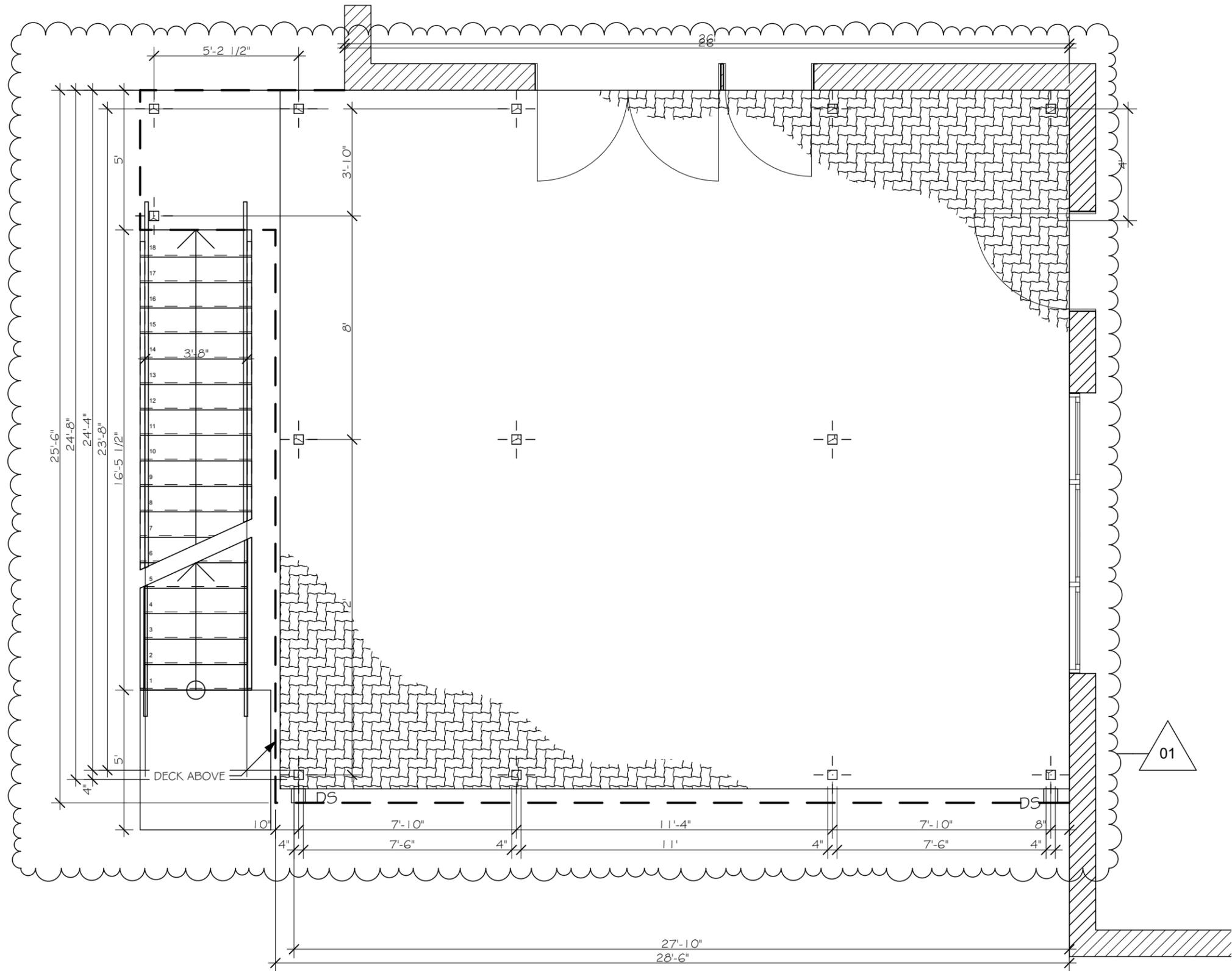
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A103

DEMOLITION SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



A103



LEGEND

-  LOW PARAPET WALL
-  GUTTER WITH DOWNSPOUT
-  RAILING
-  SLOPE
-  PHOTO MARKER
1/A700 PHOTO # / SHEET #
-  SECTION #
A500 SHEET #
L LOW/HIGH
-  EXISTING DOOR TO REMAIN
-  EXISTING WINDOW TO REMAIN

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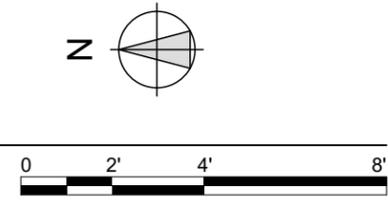
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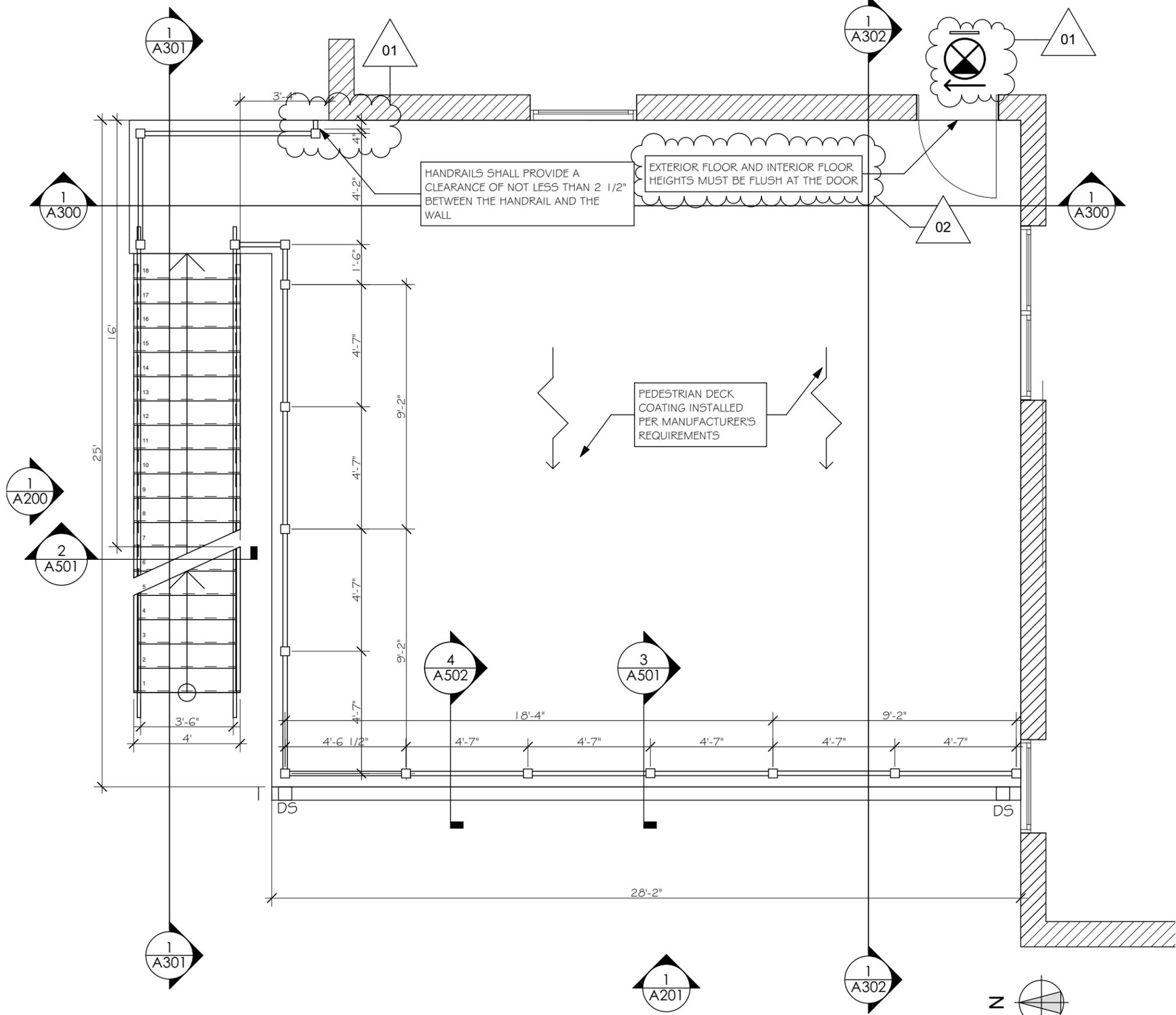
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1
A104 **RENOVATION FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"



A104



LEGEND

- LOW PARAPET WALL
- GUTTER WITH DOWNSPOUT
- RAILING
- SLOPE
- PHOTO MARKER
1/A700 ← PHOTO # / SHEET #
- SECTION #
SHEET #
LOW/HIGH
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN

1
A105

RENOVATION SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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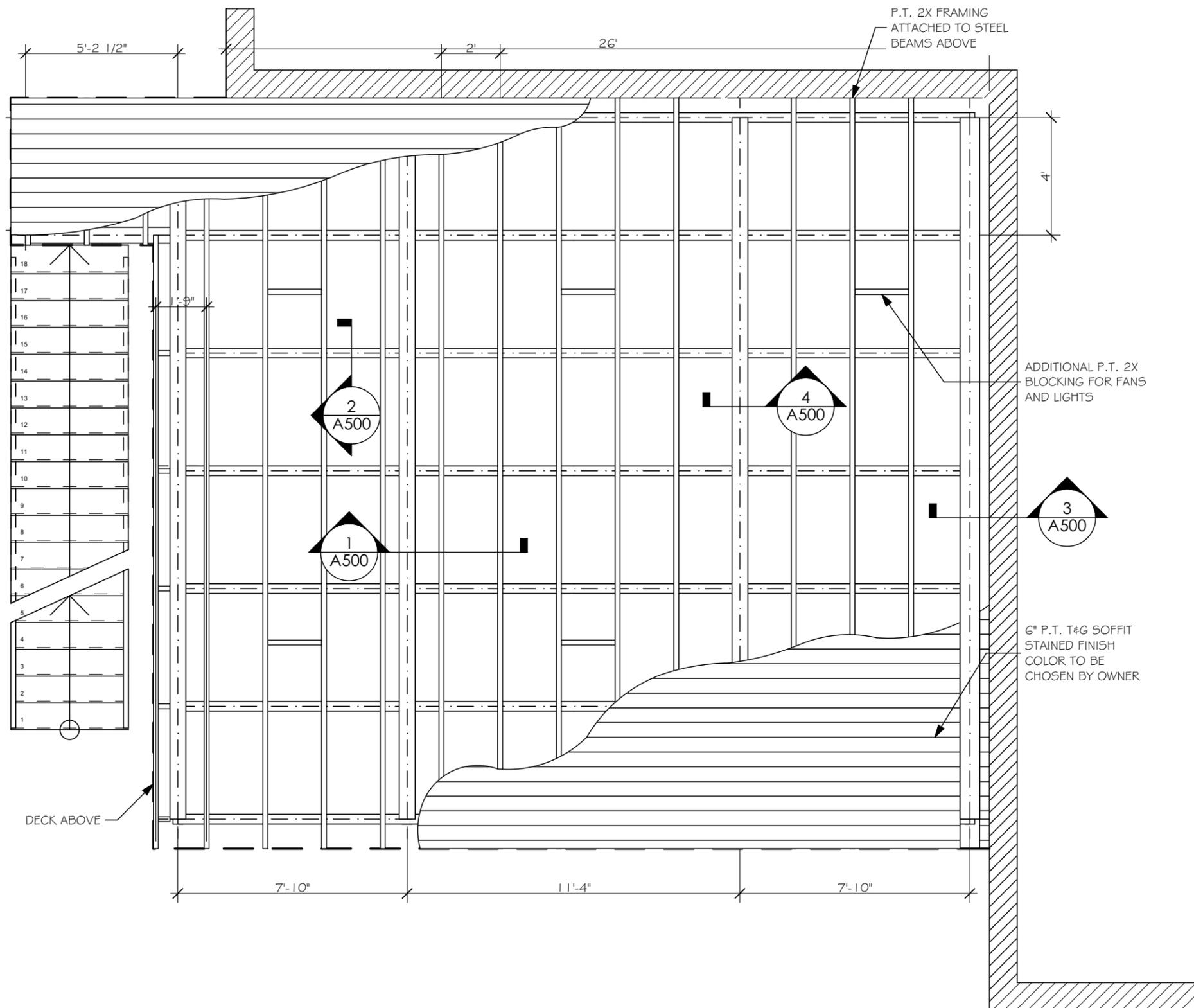
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A105



LEGEND

- LOW PARAPET WALL
- GUTTER WITH DOWNSPOUT
- RAILING
- SLOPE
- PHOTO MARKER
1/A700 PHOTO # / SHEET #
- SECTION #
A500 SHEET #
L LOW/HIGH
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN

02

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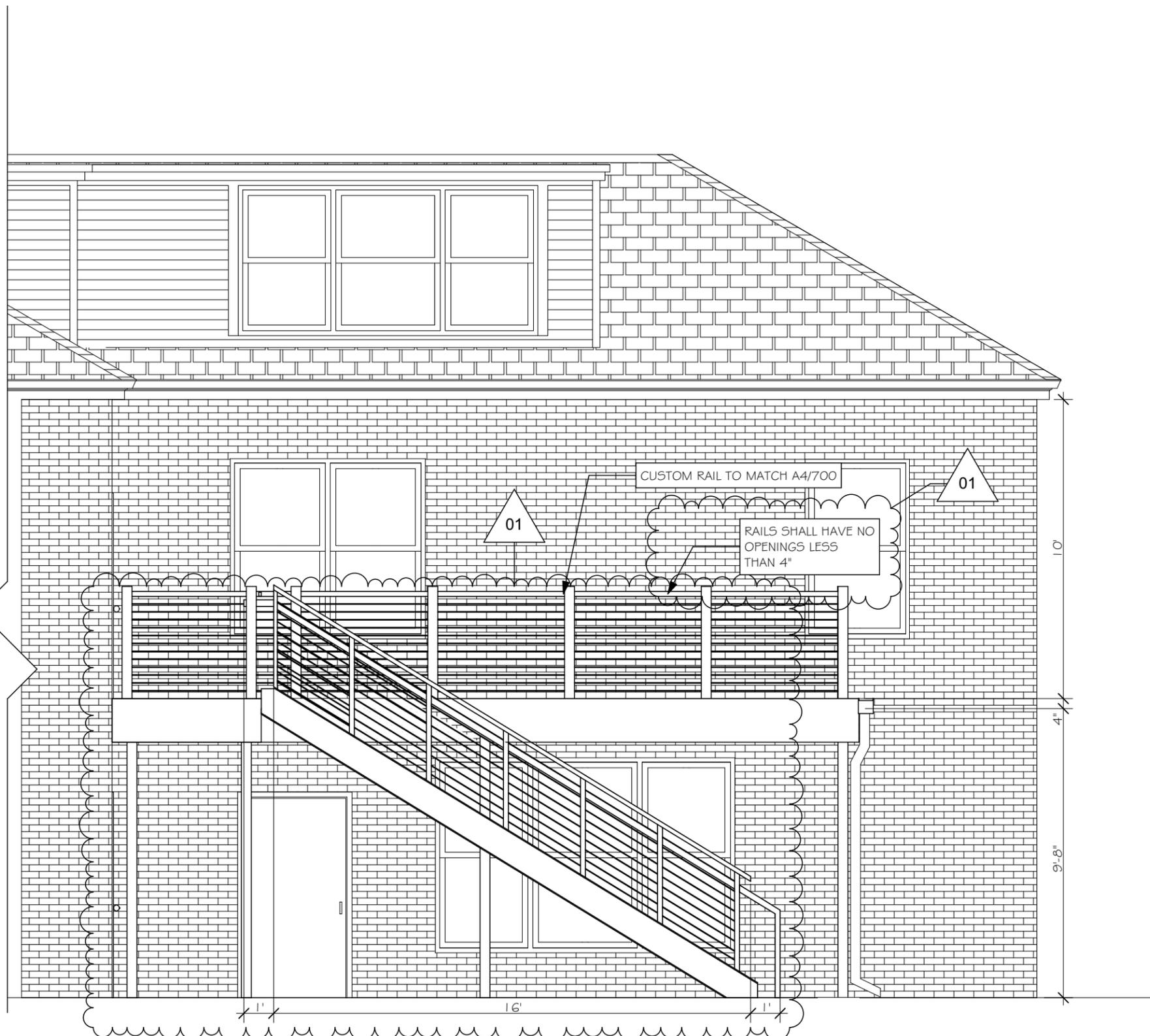
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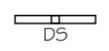
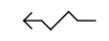
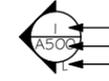
1
A106
CEILING FRAMING PLAN
SCALE: 1/4" = 1'-0"



A106



LEGEND

-  LOW PARAPET WALL
-  GUTTER WITH DOWNSPOUT
-  RAILING
-  SLOPE
-  PHOTO MARKER
PHOTO # / SHEET #
-  SECTION #
SHEET #
LOW/HIGH
-  EXISTING DOOR TO REMAIN
-  EXISTING WINDOW TO REMAIN

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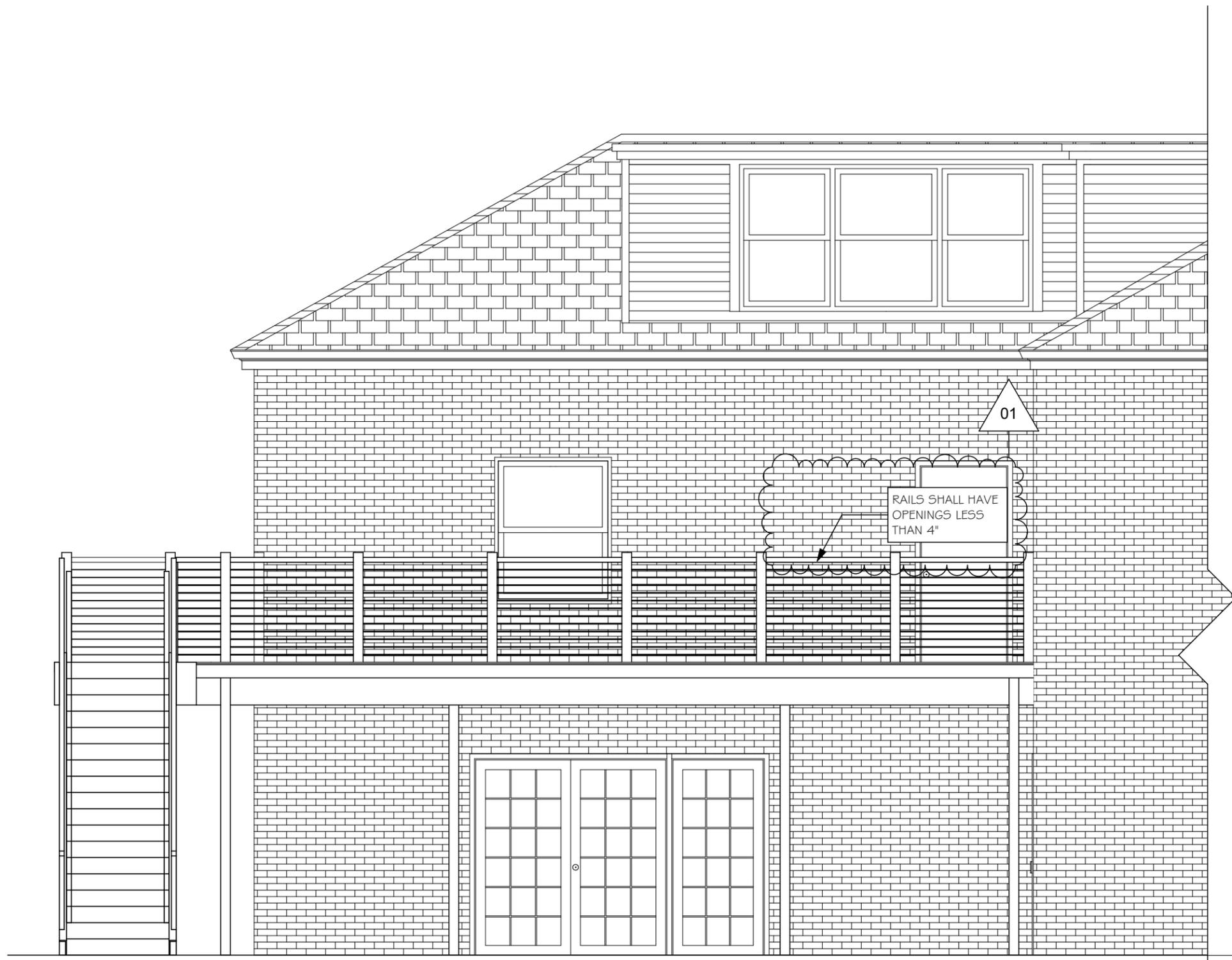
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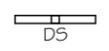
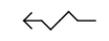
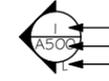
1
A200
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



A200



LEGEND

-  LOW PARAPET WALL
-  GUTTER WITH DOWNSPOUT
-  RAILING
-  SLOPE
-  PHOTO MARKER
PHOTO # / SHEET #
-  SECTION #
SHEET #
LOW/HIGH
-  EXISTING DOOR TO REMAIN
-  EXISTING WINDOW TO REMAIN

1 WEST ELEVATION
A201 SCALE: 1/4" = 1'-0"



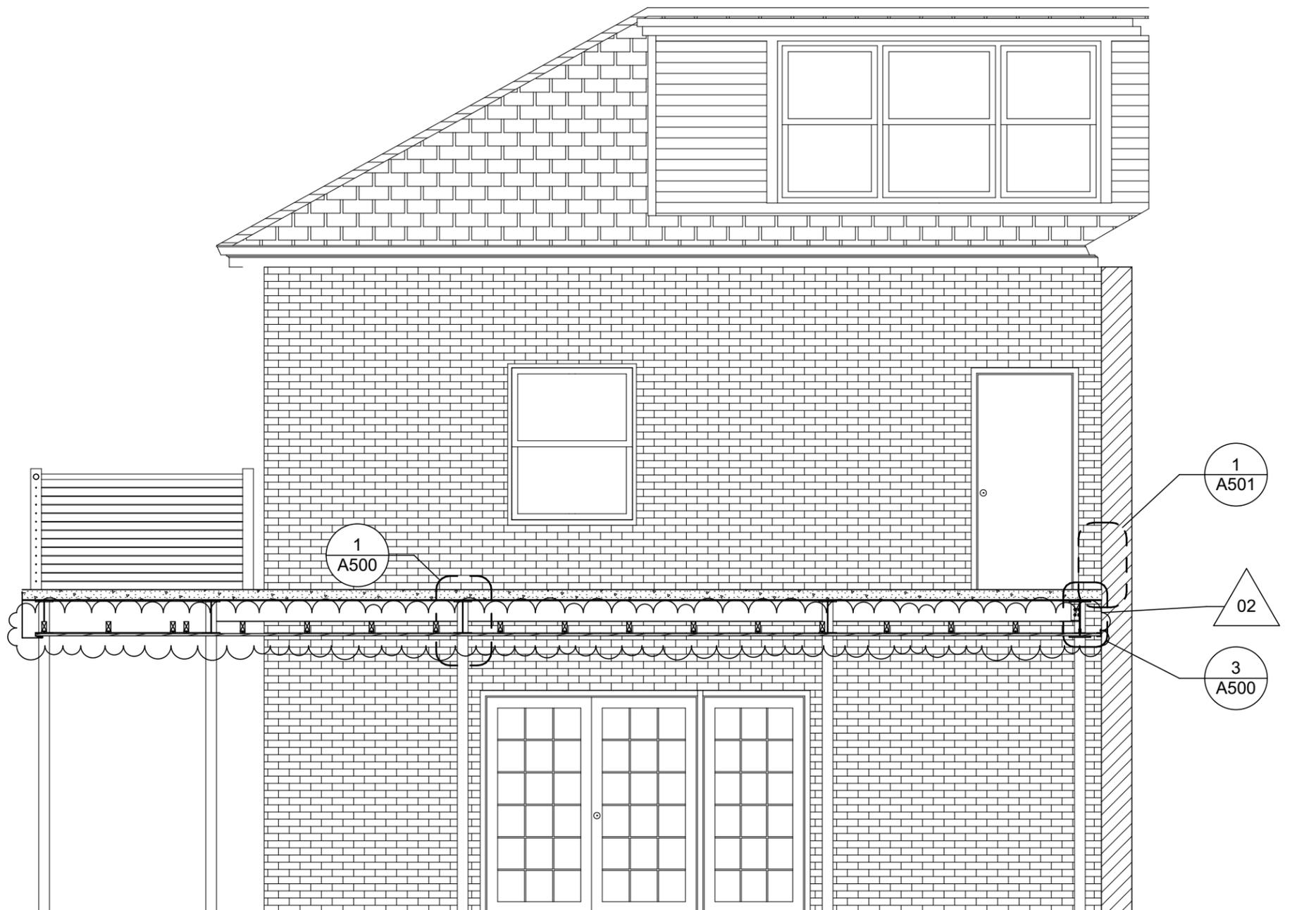
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A201



1 SECTION
A300 SCALE: 1/4" = 1'-0"



LEGEND

-  LOW PARAPET WALL
-  GUTTER WITH DOWNSPOUT
-  RAILING
-  SLOPE
-  PHOTO MARKER
1/A700 PHOTO # / SHEET #
-  SECTION #
A500 SHEET #
L LOW/HIGH
-  EXISTING DOOR TO REMAIN
-  EXISTING WINDOW TO REMAIN

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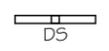
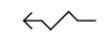
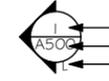
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A300



LEGEND

-  LOW PARAPET WALL
-  GUTTER WITH DOWNSPOUT
-  RAILING
-  SLOPE
-  PHOTO MARKER
1/A700 PHOTO # / SHEET #
-  SECTION #
A500 SHEET #
L LOW/HIGH
-  EXISTING DOOR TO REMAIN
-  EXISTING WINDOW TO REMAIN

1 STAIR SECTION
A301 SCALE: 1/4" = 1'-0"



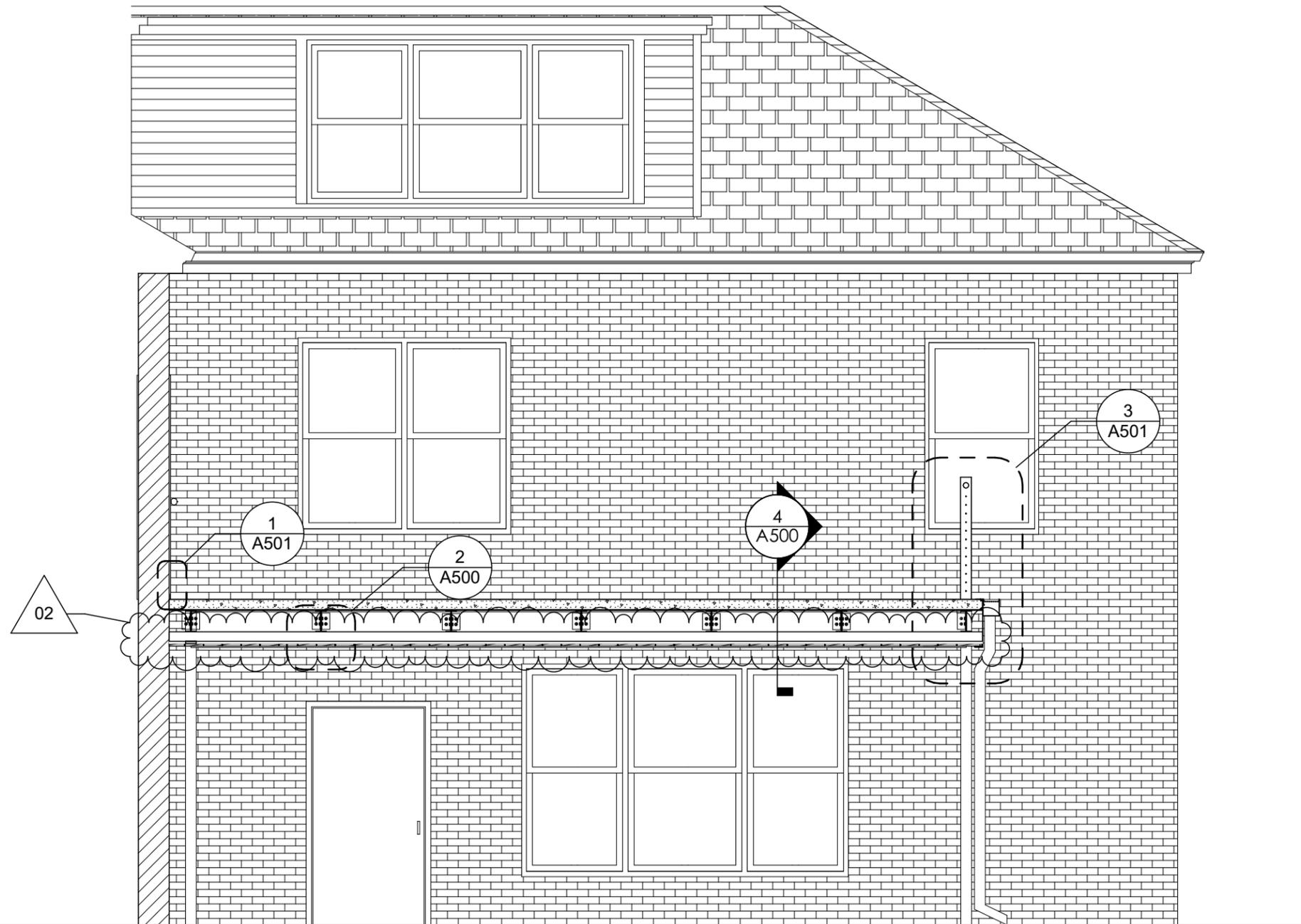
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A301



LEGEND

- LOW PARAPET WALL
- GUTTER WITH DOWNSPOUT
- RAILING
- SLOPE
- PHOTO MARKER
1/A700 ← PHOTO # / SHEET #
- SECTION #
A500 ← SHEET #
L ← LOW/HIGH
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN

1
SECTION
A302
SCALE: 1/4" = 1'-0"



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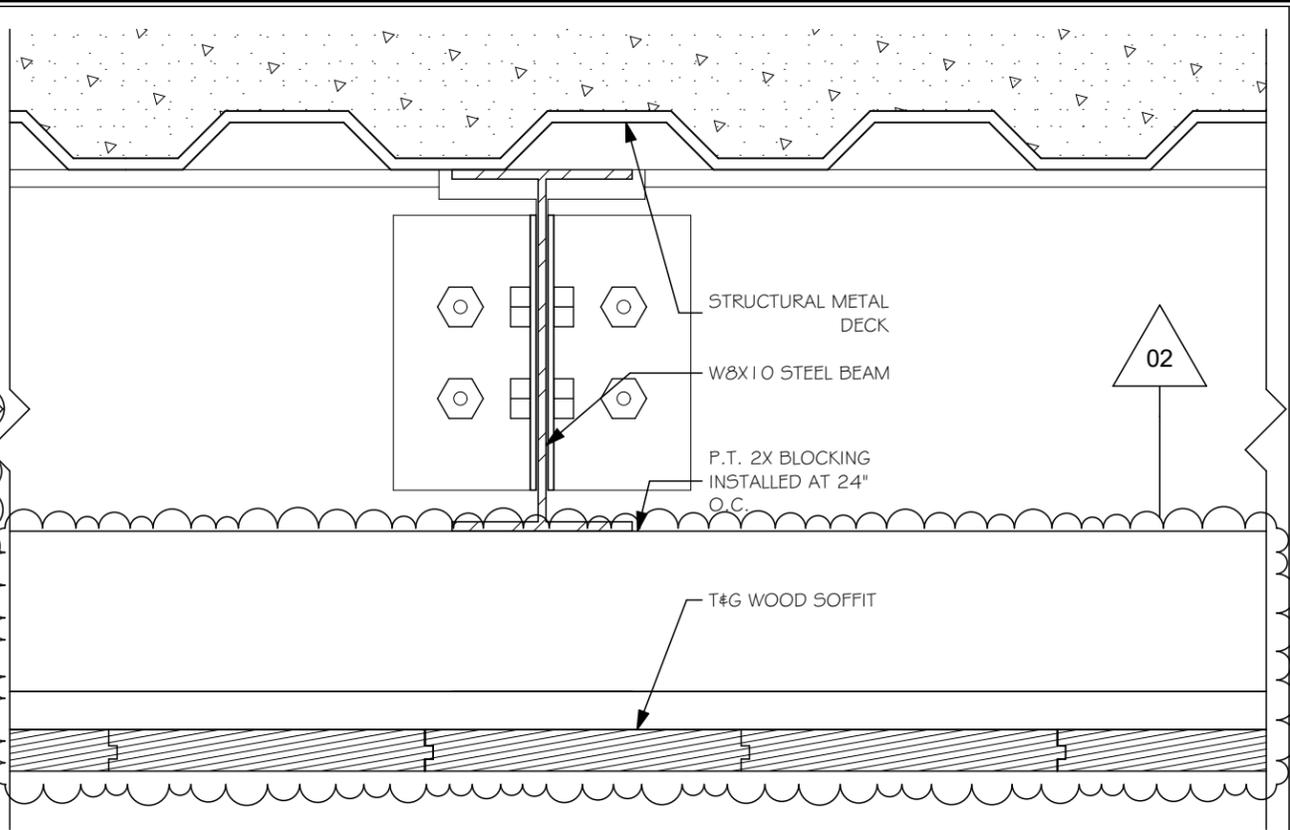
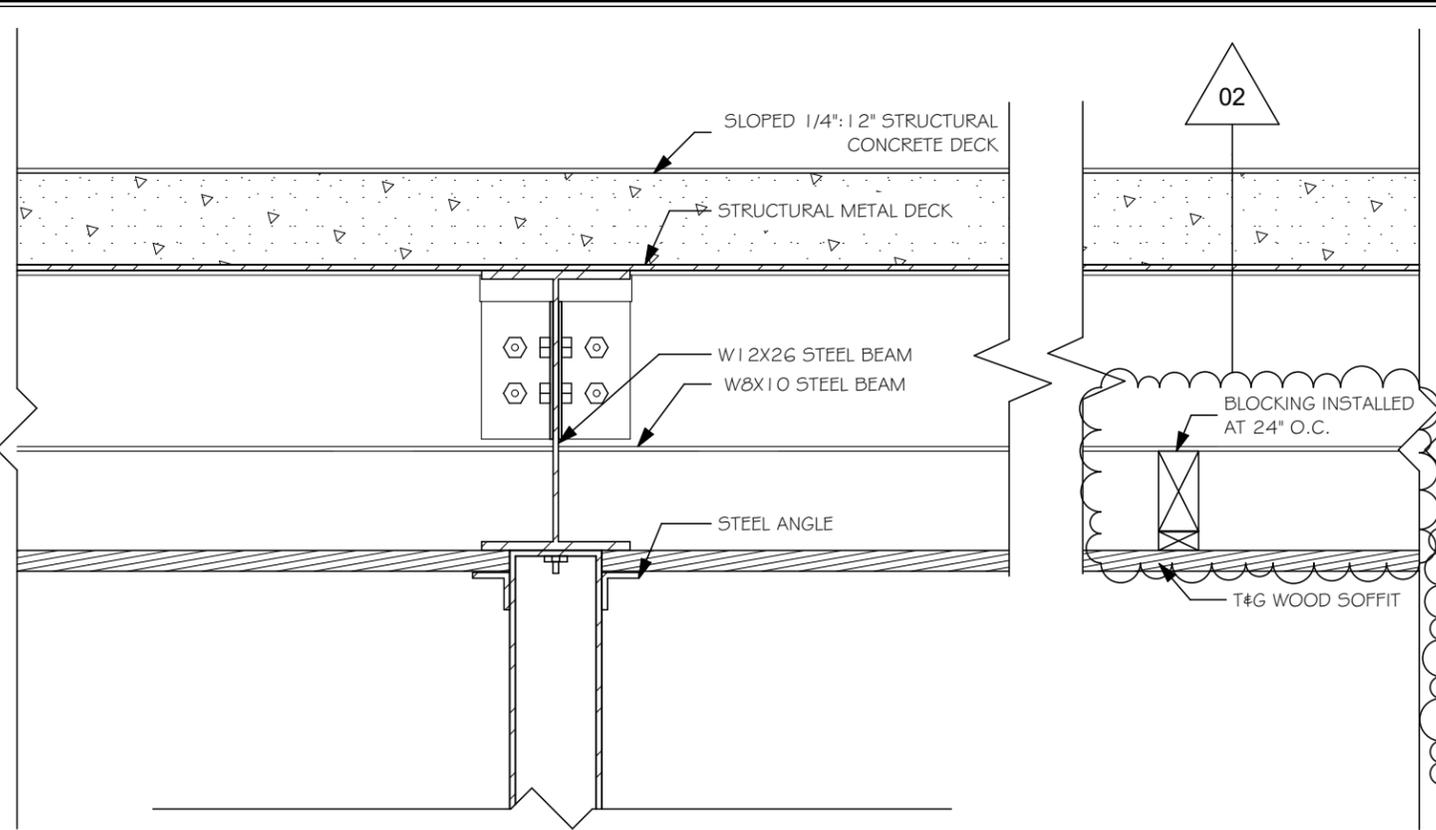
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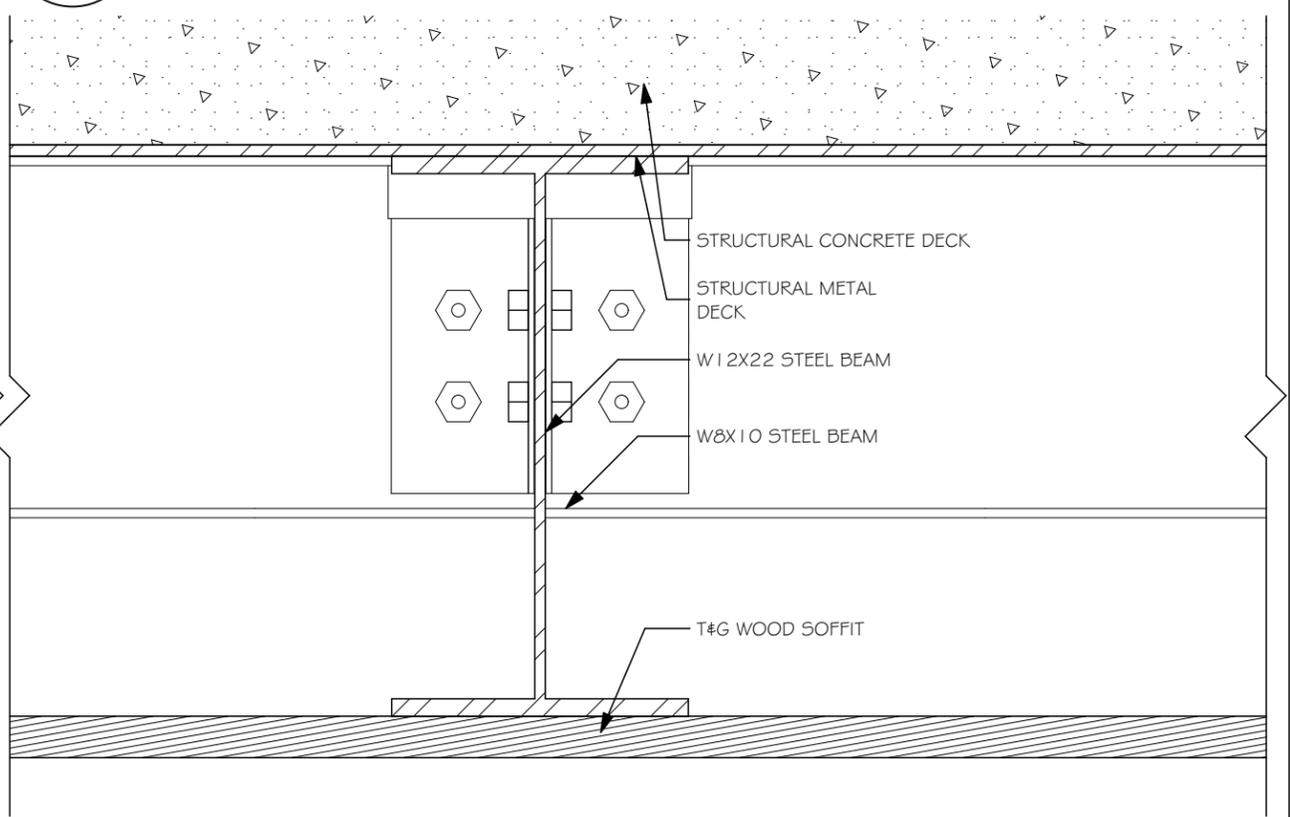
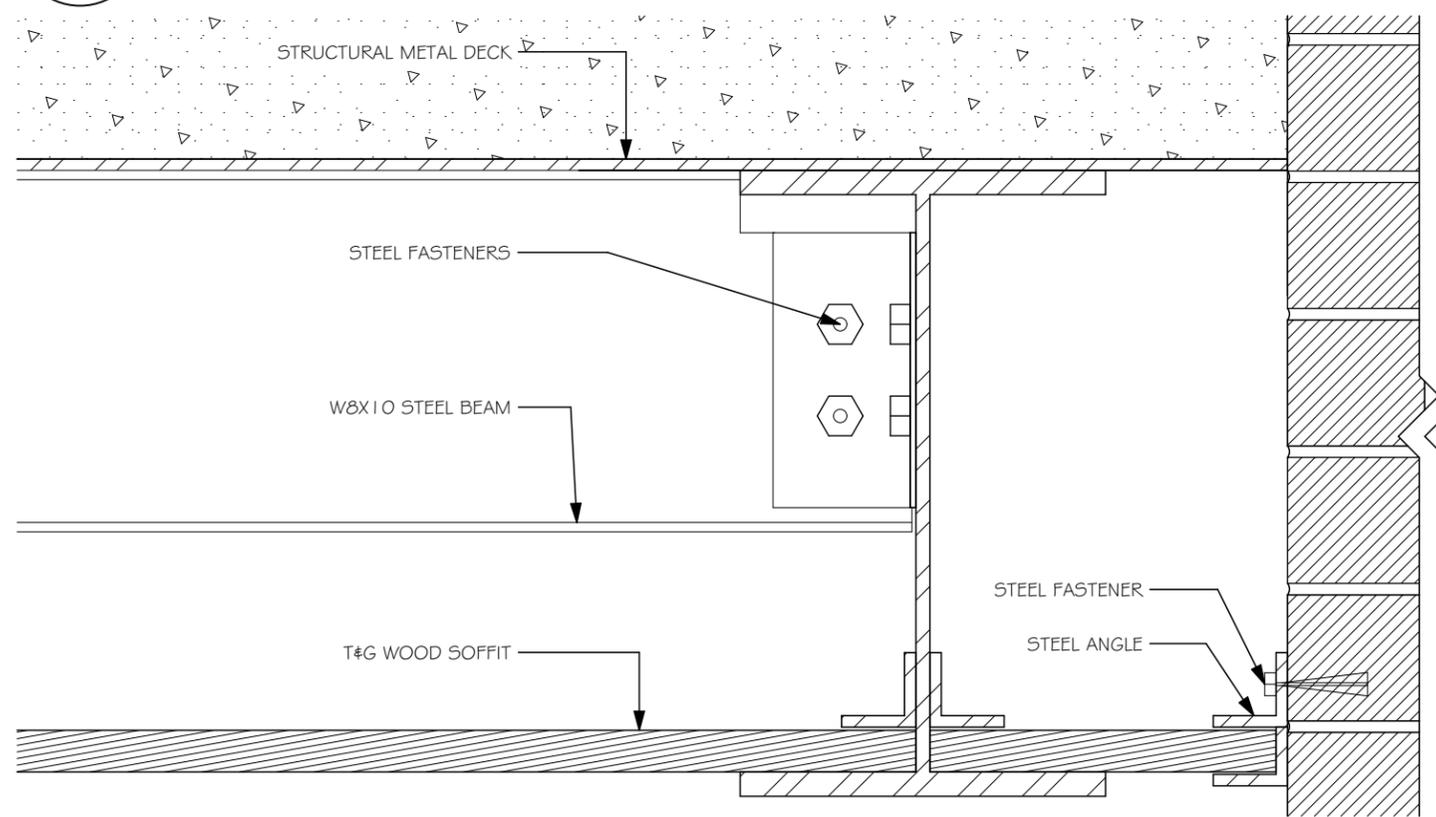
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A302



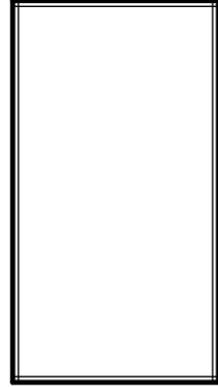
1 SOFFIT DETAIL
A500 SCALE: 1 1/2" = 1'-0"

2 SOFFIT DETAIL AT W8X10
A500 SCALE: 3" = 1'-0"



3 SOFFIT DETAIL AT W14X43 DETAIL
A500 SCALE: 3" = 1'-0"

4 SOFFIT DETAIL AT W12X26 DETAIL
A500 SCALE: 3" = 1'-0"



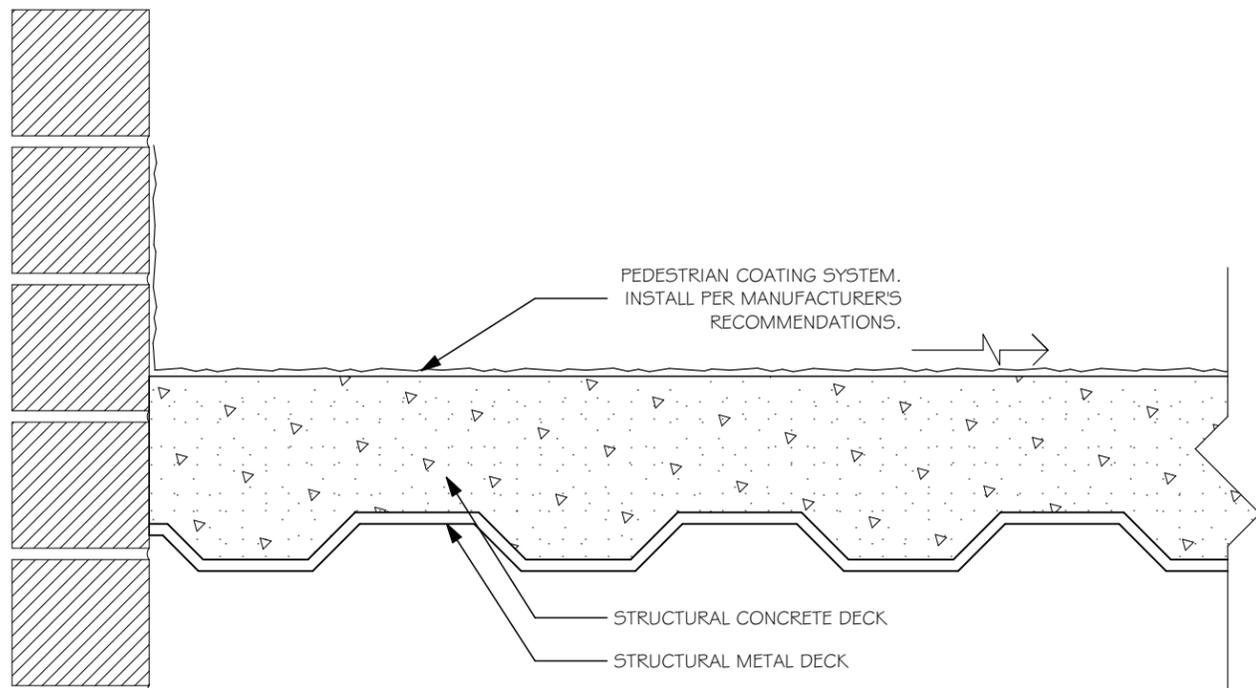
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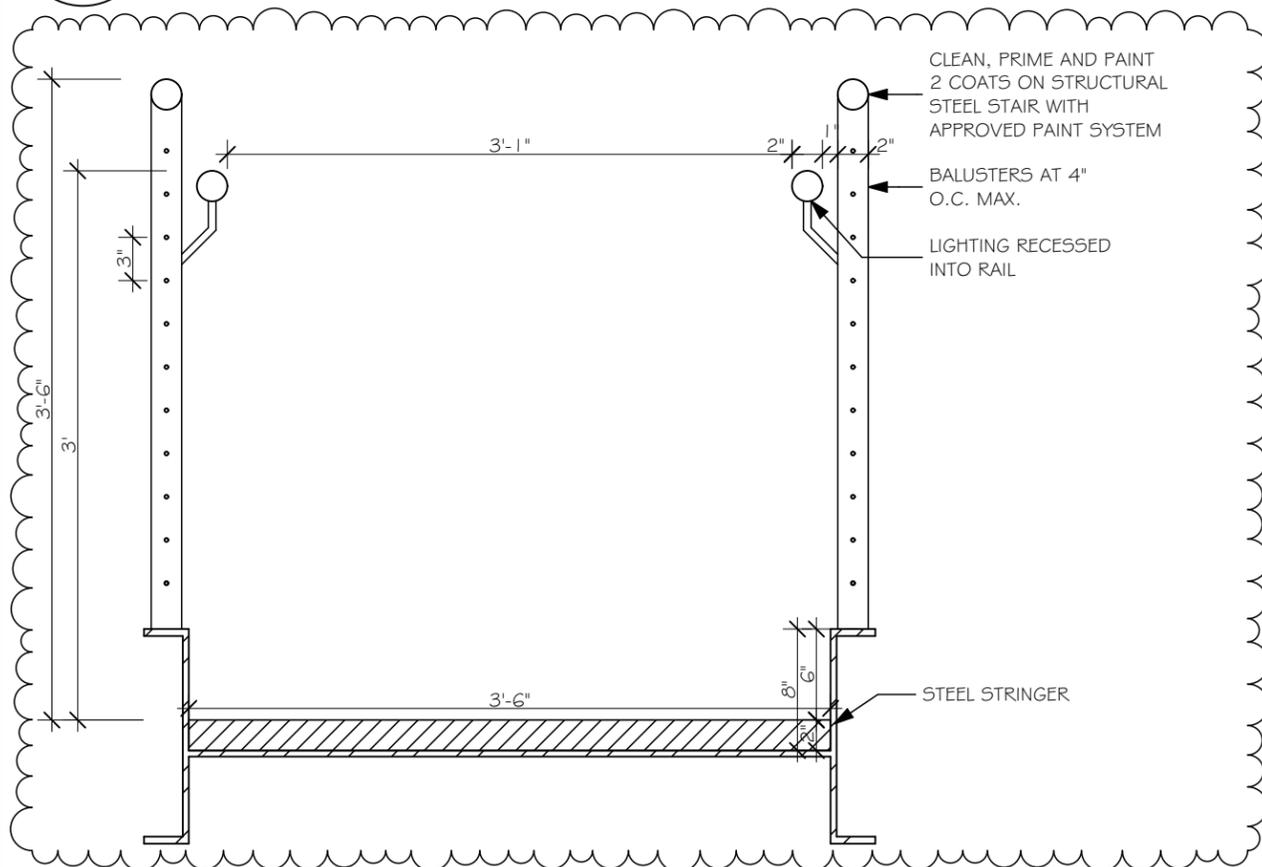
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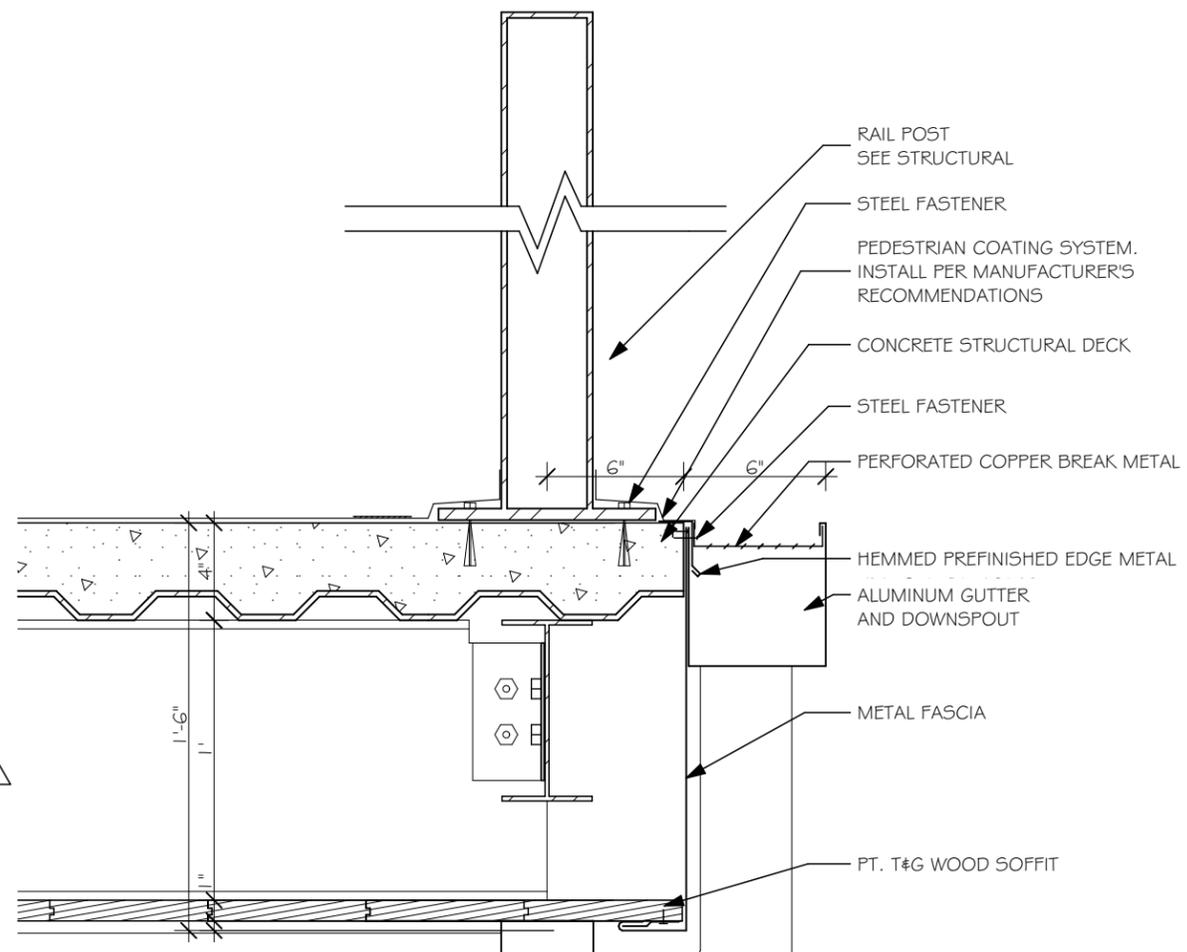
A500



1 WALL DETAIL
A501 SCALE: 3" = 1'-0"



2 STAIR DETAIL
A501 SCALE: 1" = 1'-0"



3 POST DETAIL
A501 SCALE: 1 1/2" = 1'-0"



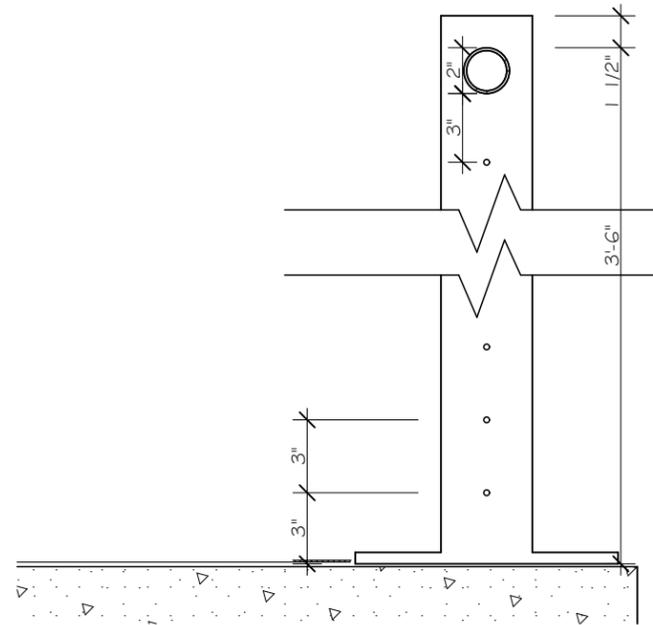
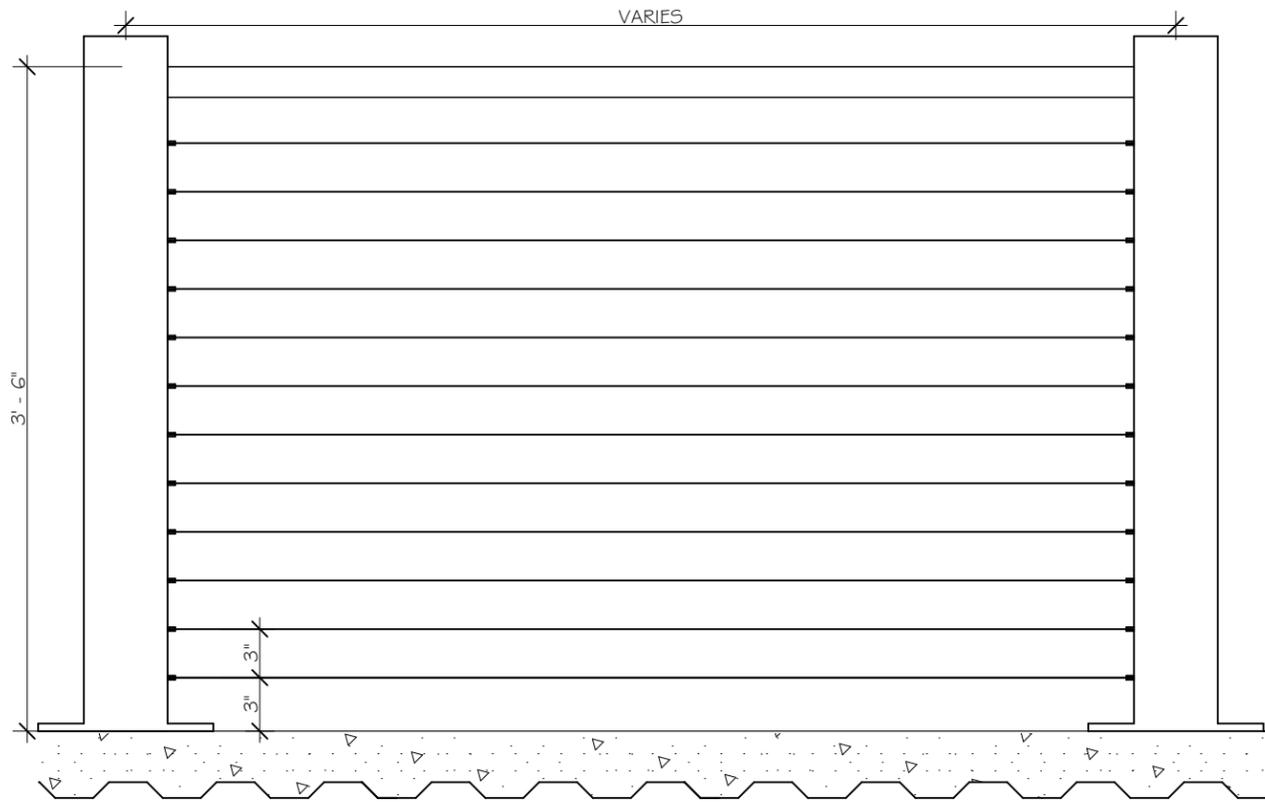
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CHECKED	JS
APPROVED	JS
REVISION	02
REVISION DATE	03/16/2018

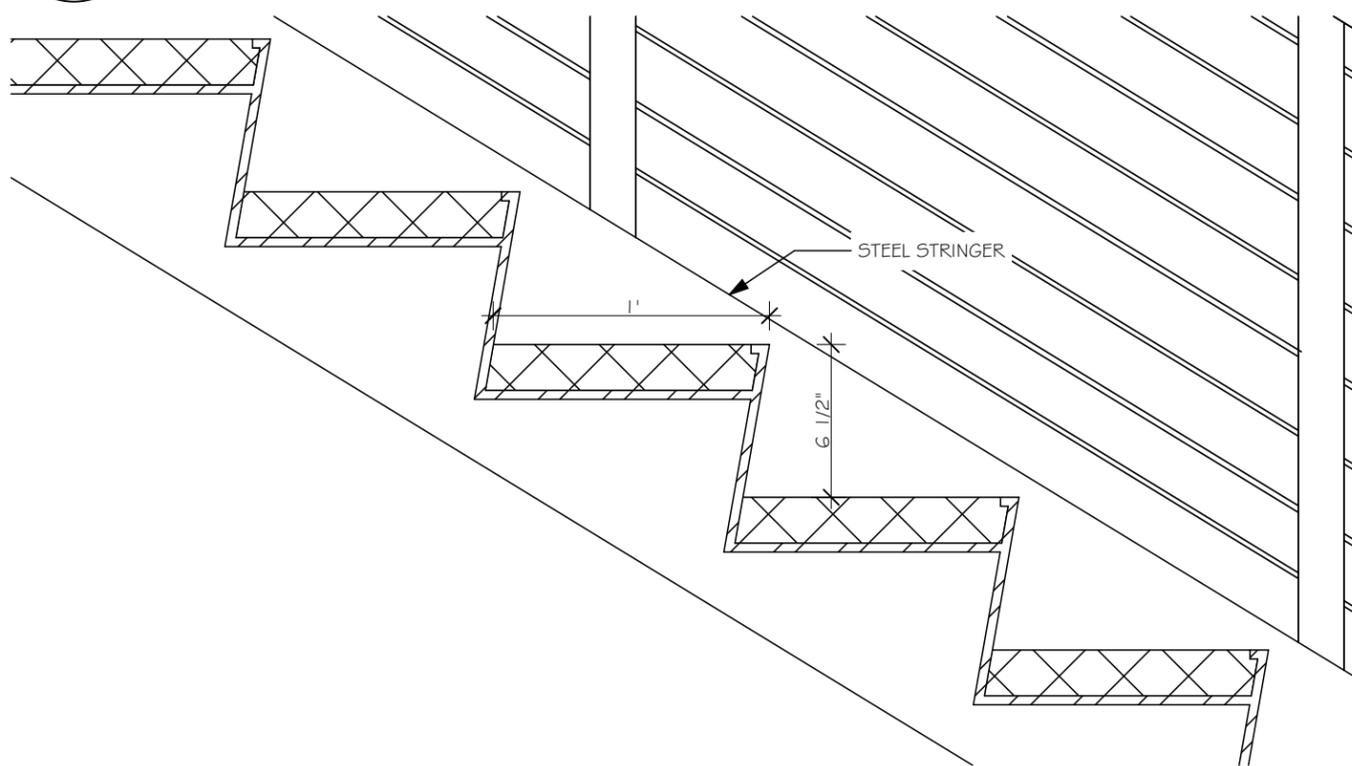
A501



1 RAIL ELEVATION
A502 SCALE: 1" = 1'-0"



2 RAIL DETAIL
A502 SCALE: 1 1/2" = 1'-0"



3 STAIR TREAD DETAIL
A502 SCALE: 1 1/2" = 1'-0"



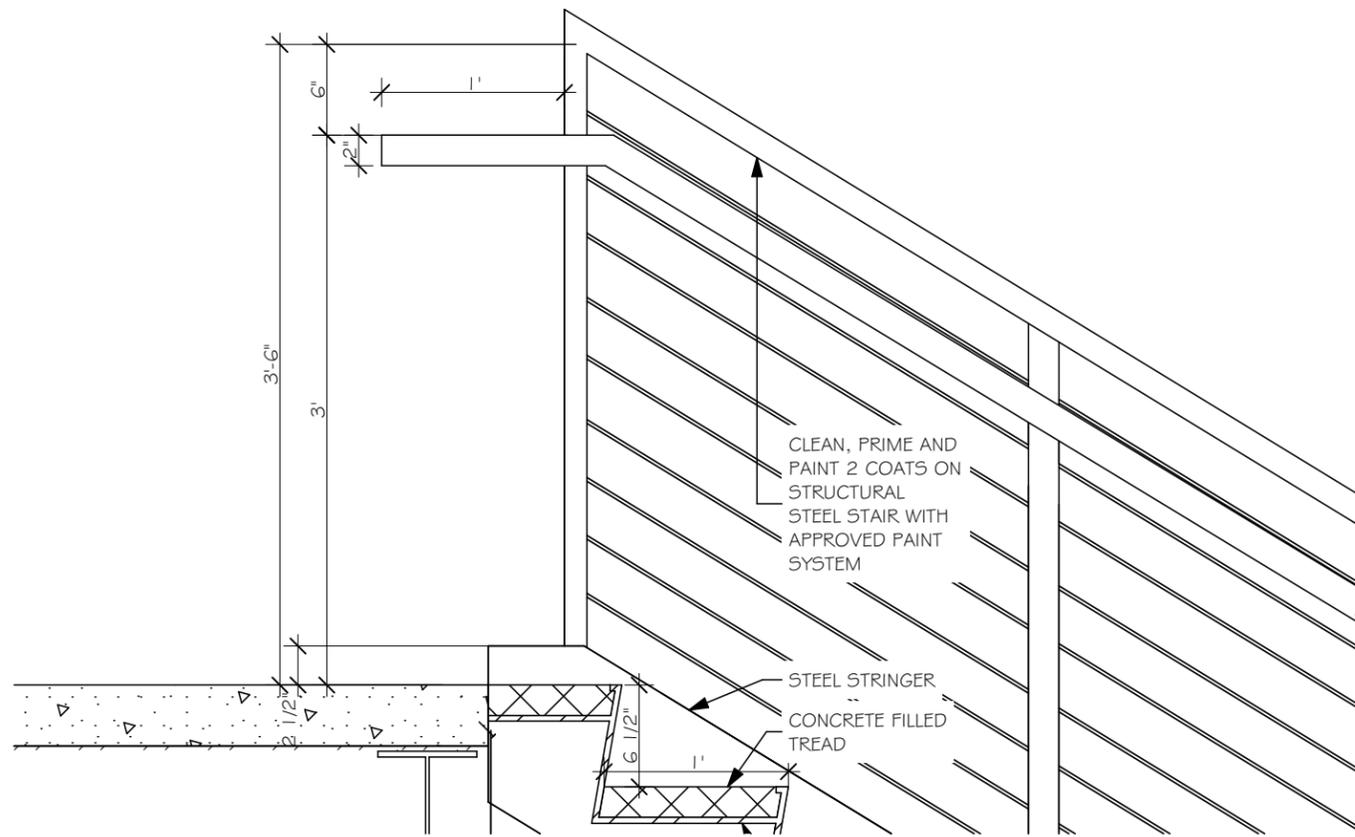
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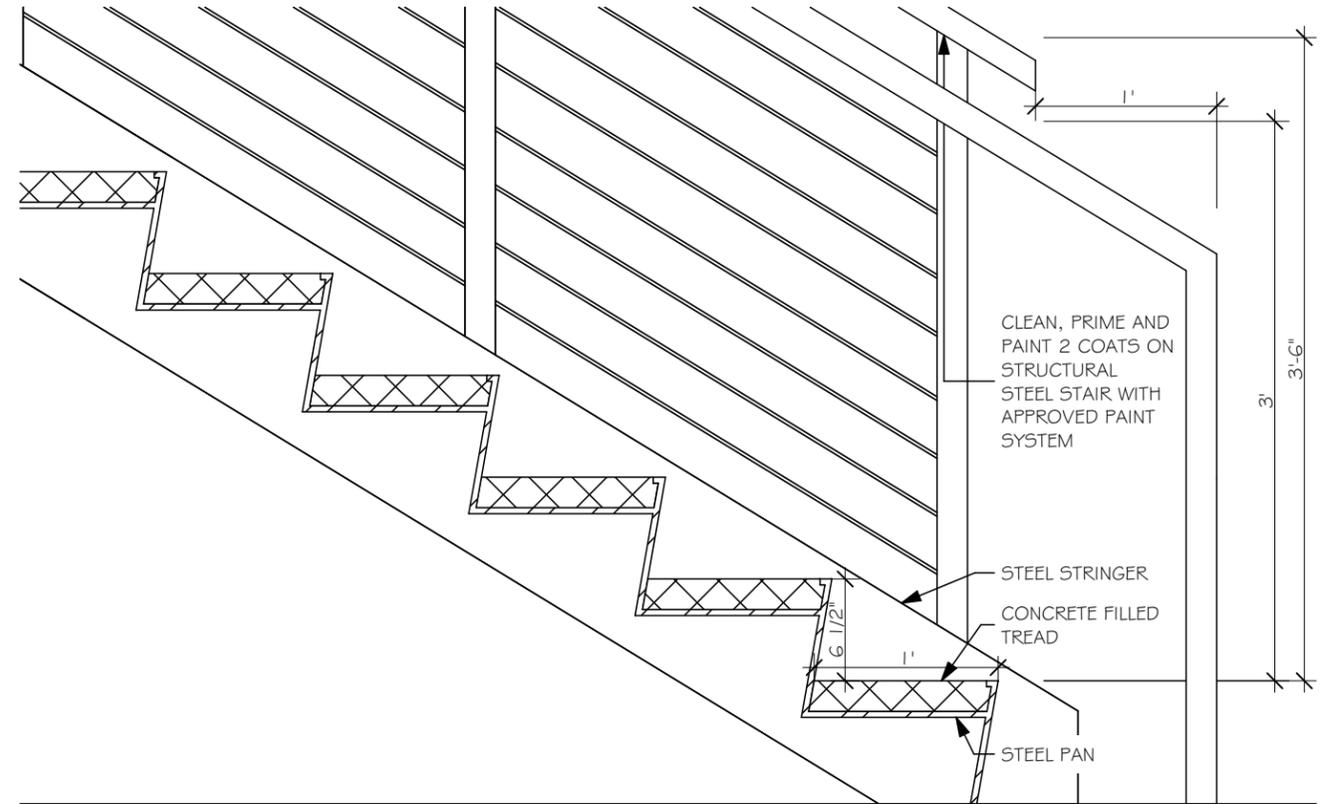
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A502



1 TOP OF STAIR DETAIL
A503 SCALE: 1" = 1'-0"



2 BOTTOM OF STAIR DETAIL
A503 SCALE: 1" = 1'-0"

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A503



1 PHOTO #1
A700



2 PHOTO #2
A700



3 PHOTO #3
A700

LEGEND

-  LOW PARAPET WALL
-  GUTTER WITH DOWNSPOUT
-  RAILING
-  SLOPE
-  PHOTO MARKER
PHOTO # / SHEET #
-  SECTION #
SHEET #
LOW/HIGH
-  EXISTING DOOR TO REMAIN
-  EXISTING WINDOW TO REMAIN

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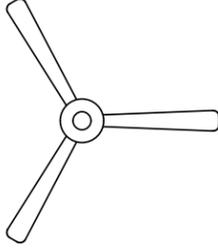
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A700

ELECTRICAL/LIGHTING SCHEDULE

SYMBOL	NAME	MODEL #	AMOUNT	NOTES
	AC WALL OUTLET WITH USB PLUGS		4	PROVIDE PROTECTIVE COVER IF NECESSARY. MOUNT AT 20" A.F.F
	BIG ASS FANS, HAIKU LIGHT	SKU:10R01-01A0-A-01-1.2-01-B471HKL	2	WITH WALL CONTROL. OIL RUBBED BRONZE, CONTROLLED VIA WIRELESS REMOTE
	HAIKU WET-RATED CEILING FAN	SKU:S3150-A2-A0-04-02-C-01-F471	4	WITH LED KIT AND WALL CONTROL. OIL RUBBED BRONZE FULL APPEARANCE, CONTROLLED VIA WIRELESS REMOTE
	MICRO STAR LED LIGHTS		22	STAINLESS STEEL DRIVER/TRANSFORMER RECESSED INTO HANDRAIL

LEGEND

-  LOW PARAPET WALL
-  GUTTER WITH DOWNSPOUT
-  RAILING
-  SLOPE
-  PHOTO MARKER
1/A700 PHOTO # / SHEET #
-  SECTION #
SHEET #
LOW/HIGH
-  EXISTING DOOR TO REMAIN
-  EXISTING WINDOW TO REMAIN

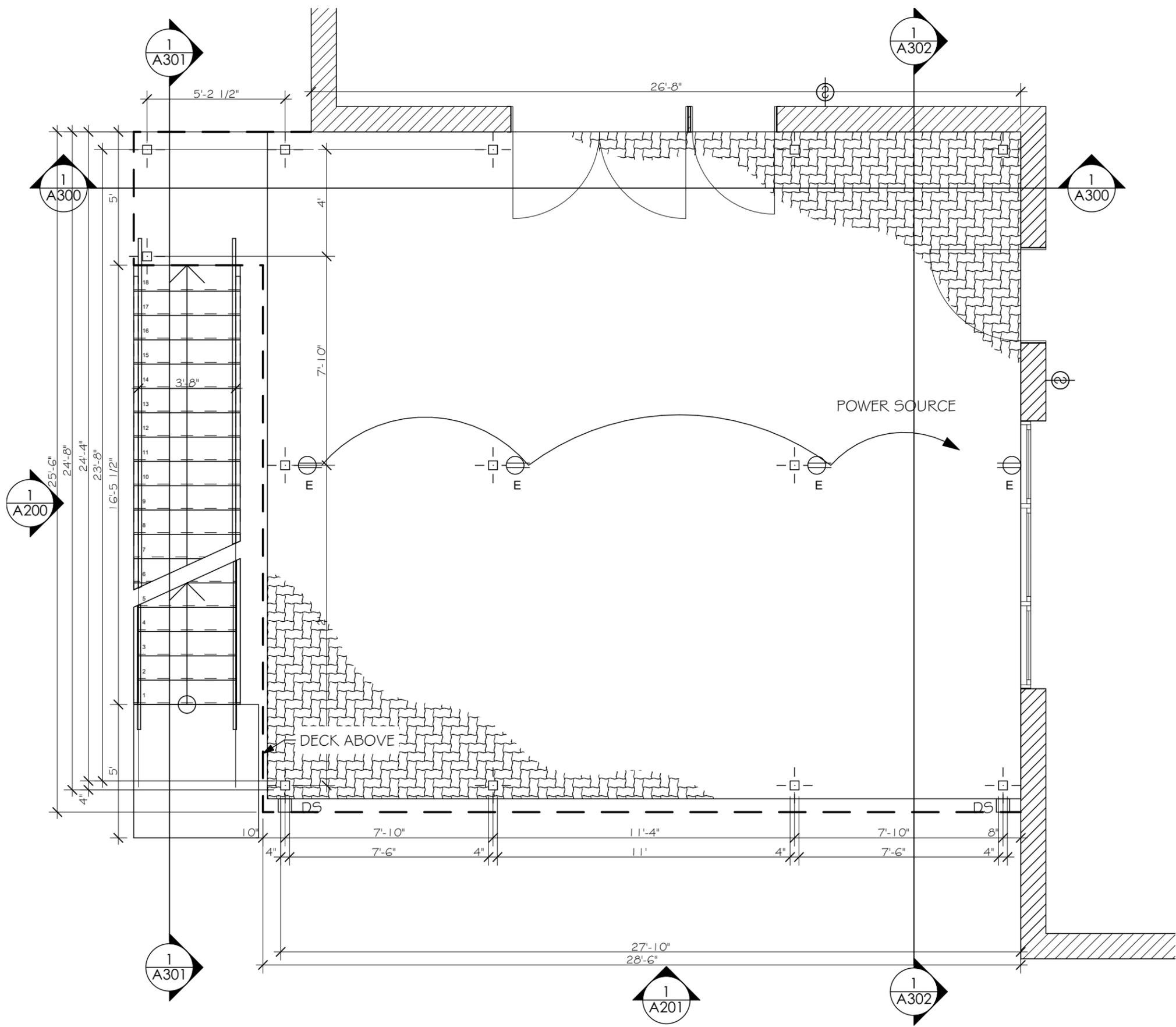
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E000



LEGEND

- LOW PARAPET WALL
- DS GUTTER WITH DOWNSPOUT
- RAILING
- SLOPE
- PHOTO MARKER
1/A700 PHOTO # / SHEET #
- SECTION #
1/A300 SHEET #
L LOW/HIGH
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN

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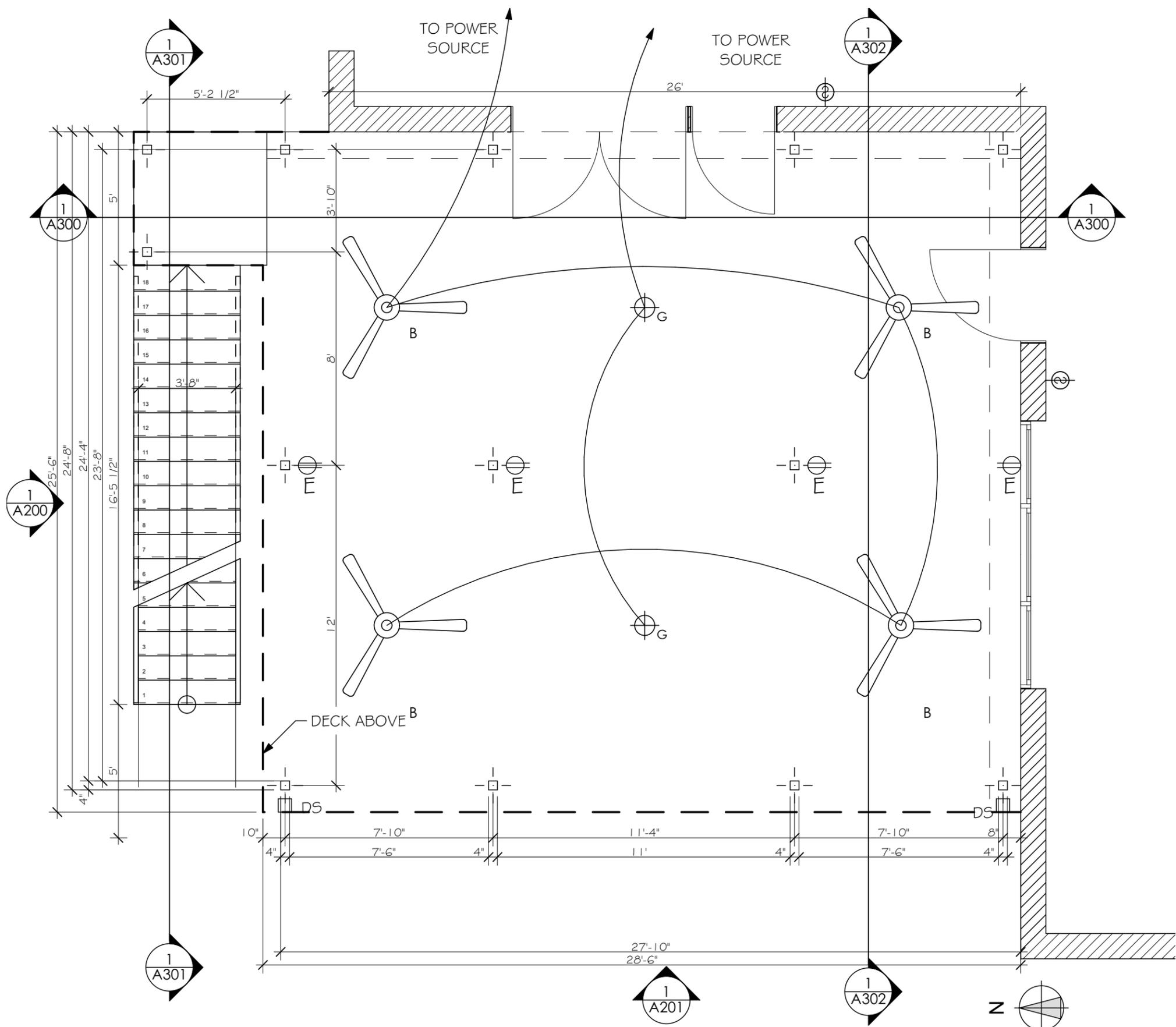
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1
E100

FIRST FLOOR ELECTRICAL/LIGHTING PLAN

SCALE: 1/4" = 1'-0"

0 2' 4' 8'



LEGEND

- LOW PARAPET WALL
- GUTTER WITH DOWNSPOUT
- RAILING
- SLOPE
- PHOTO MARKER
1/A700 ← PHOTO # / SHEET #
- SECTION #
SHEET #
LOW/HIGH
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN

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1 E102 FIRST FLOOR RENOVATION REFLECTED CEILING PLAN ELEC./LIGHTING
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

E102