

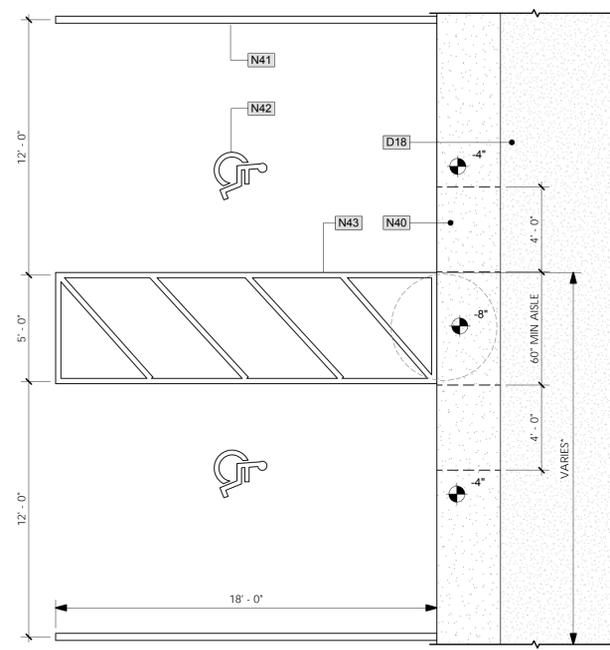




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**NEW RENOVATION**  
**SAWGRASS CABANA CLUB**  
 619 PONTE VEDRA BLVD  
 PONTE VEDRA BEACH, FL 32082



\*SIDEWALK TERMINATES AT FURTHEST AISLE MARK WHERE LOCATED  
 ④ TYPICAL ADA PARKING  
 1/4" = 1'-0"

KEYNOTE LEGEND - DEMO

- D1 REMOVE AND RELOCATE CABBAGE PALMS.
- D2 DEMO STAIRS AND ASSOCIATED STRUCTURE. PREP FOR NEW STAIRS.
- D3 DEMO AWNING AND PREP FOR SIMILAR IN SAME LOCATION.
- D4 EXISTING CONCRETE BLOCK WALL w/ VENTED PATTERN TO REMAIN. REFER TO LANDSCAPE DRAWINGS.
- D5 DEMO DOWNSPOUT.
- D6 DEMO CARPET AND PAD, PREP TO RECEIVE NEW FLOOR TILE.
- D7 DEMO SCONCE. IF IN GOOD CONDITION, RETAIN J-BOX. IF IN BAD CONDITION, DEMO.
- D8 REMOVE AND RELOCATE CEILING MOUNTED SURFACE LIGHT.
- D9 REMOVE AND RELOCATE EXISTING CEILING FAN-LIGHT COMBO. SEVER AND CAP WIRE AND REUSE CIRCUIT FOR RELOCATION OF ITEM. PREP FOR NEW SWITCH.
- D10 DEMO FULL HEIGHT WINDOW. OPENING TO REMAIN FOR NEW VERTICAL LIFT ACCESS.
- D11 DEMO WALL BASE.
- D12 EXISTING CEILING SPEAKER TO REMAIN.
- D13 EXISTING THRU-WALL AIR HANDLER UNIT AND TRIM TO REMAIN.
- D14 DEMO FULL HEIGHT WINDOW AND WALL. PREP FOR NEW VERTICAL LIFT ACCESS.
- D15 DEMO FULL HEIGHT WINDOW. OPENING TO REMAIN. PREP FOR NEW EXTERIOR DOOR.
- D17 REMOVE/RELOCATE FURNITURE FOR EGRESS AND ACCESSIBLE REQUIREMENTS, TYPICAL. SEE PLANS.
- D18 EXISTING GRASS AND SOIL TO REMAIN UNLESS NECESSARY FOR WORK TO BE PERFORMED.
- D19 DEMO SPECIFIED GUARDRAIL.
- D20 CAREFULLY REMOVE PAVERS AND SOIL AND PREP FOR NEW COLUMNS AND FOOTINGS. EXISTING PAVERS TO BE REINSTALLED.
- D21 EXCAVATE AND PREP FOR NEW CAST-IN-PLACE CONCRETE ELEVATOR PIT. NOTIFY PROPER AUTHORITIES BEFORE DIGGING.

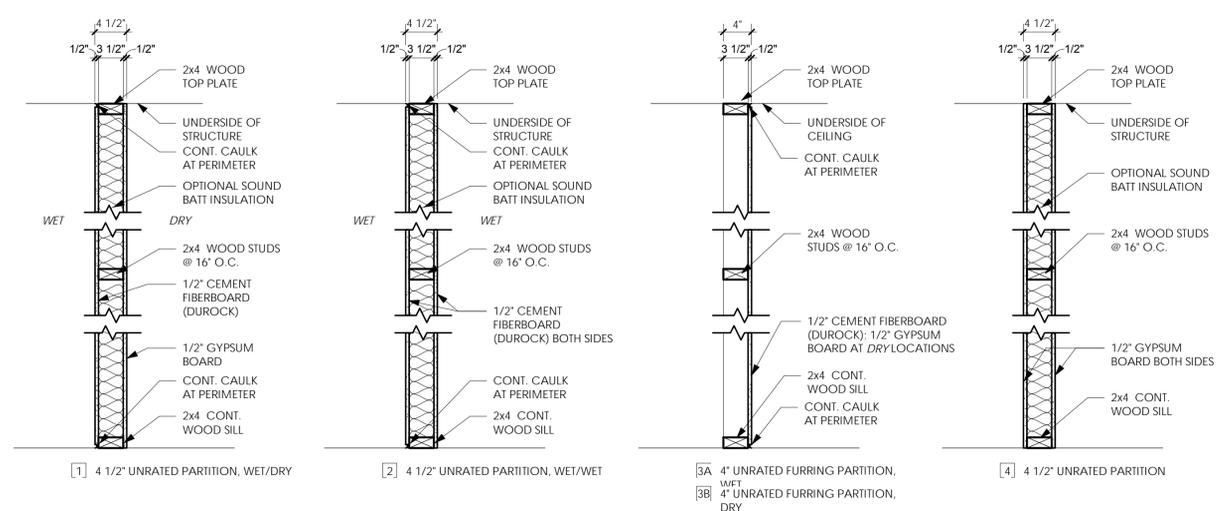
KEYNOTE LEGEND - NEW CONSTRUCTION

- N1 NEW WALL BASE.
- N2 NEW PAVERS BY OTHERS. REFER TO LANDSCAPE DRAWINGS.
- N3 NEW STANDALONE WOOD STAIR, DETACHED FROM BUILDING. LIKE-FOR-LIKE REPLACEMENT.
- N5 NEW EVENT LAWN BY OTHERS. REFER TO LANDSCAPE DRAWINGS.
- N6 NEW ROOF SHINGLES. BY OTHERS. LIKE-FOR-LIKE REPLACEMENT.
- N7 REFER TO LANDSCAPE DRAWINGS REGARDING GRADING, DEMO, PROTECTION, VEGETATION, ETC. TYP.
- N8 NEW TRELLIS. REFER TO LANDSCAPE DRAWINGS FOR LOCATIONS. REFER TO ARCHITECTURAL AND STRUCTURAL FOR DETAILS.
- N9.1 NEW PORCELAIN FLOOR TILE, TYPE 'A'.
- N9.2 NEW PORCELAIN FLOOR TILE, TYPE 'B'.
- N10 NEW WALL TILE AND TRIM.
- N11 NEW ONE-WAY PRIVACY WINDOW FILM APPLIED TO EXTERIOR OF SHEATHING. INSTALLED REFLECTIVE SIDE OUTWARD TO WINDOW. FASTEN INSIDE FACE TO FURRING.
- N12 IF REQUIRED, PROVIDE NEW LEVER HARDWARE AT EXISTING SPECIFIED DOOR, MATCH FINISH OF EXISTING DOORS. NICKEL AS ALTERNATE.
- N13 NEW ADA COMPLIANT VANITY AND COUNTER.
- N14 NEW ADA COMPLIANT LAVATORY.
- N15 NEW ADA COMPLIANT WALL HUNG URINAL.
- N16 NEW THRESHOLD, CARPET TO TILE.
- N18 NEW ADA COMPLIANT FLOOR MOUNTED TOILET.
- N19 NEW 36" ADA GRAB BAR.
- N20 NEW 42" ADA GRAB BAR.
- N21 NEW MIRROR.
- N22 NEW SCONCE. TIE INTO RETAINED/NEW J-BOX AND CIRCUIT.
- N23 NEW PIER FOOTING. SEE STRUCTURAL.
- N24 NEW 8x8 PRESSURE TREATED WD COLUMN WRAPPED WITH PRESSURE TREATED 2x COLUMN ATTACHED TO PIER FOOTING WITH SIMPSON ABU-88ZSS (TYPICAL).
- N25 NEW RECESSED CAN LIGHT. TIE INTO EXISTING AREA CIRCUIT.
- N26 NEW 30x8 SOLID CORE WOOD DOOR. LEVER HARDWARE. MATCH FINISH OF EXISTING DOORS. NICKEL AS ALTERNATE.
- N27 NEW SANITARY DISPOSAL.
- N28 NEW TOILET PAPER DISPENSER.
- N29 NEW ALUMINUM HANDRAIL AND SUPPORTS. WOOD AS ALTERNATE. SUPPORTS TO MATCH HANDRAIL MATERIAL.
- N30 NEW SWITCH(S).
- N31 NEW GFCI DUPLEX OUTLET.
- N32 NEW STANDALONE CONCRETE SLAB WITH TURNDOWN. SLAB NOT ATTACHED TO EXISTING STRUCTURE/SLAB.
- N33 NEW RECESSED EXHAUST FAN @ 50 CFM. WITH VENT-THRU-ROOF.
- N34 NEW 6x6 WD COLUMN ATTACHED TO SLAB WITH SIMPSON ABU-SS (TYPICAL).
- N35 NEW PLATFORM LIFT WITH FRONT AND SIDE ACCESS.
- N36 NEW GUARDRAIL. TO MATCH EXISTING.
- N37 RELOCATED CEILING FAN-LIGHT COMBO. RETRACE CIRCUIT TO NEW SWITCH.
- N38 EXISTING THRU-WALL AIR HANDLER UNIT AND TRIM TO REMAIN.
- N39 WALL OPENING HERE FOR AHU UNIT. BLOCK OUT TO EXISTING UNIT TRIM.
- N40 NEW CONCRETE SIDEWALK AND RAMP. DEMO/REMOVE EXISTING GRASS AND SOIL.
- N41 NEW PARKING STRIPE. COLOR TO MATCH EXISTING.
- N42 NEW PARKING ADA SYMBOL. COLOR TO MATCH EXISTING STRIPING.
- N43 NEW ADA AISLE MARKING. COLOR TO MATCH EXISTING STRIPING.
- N45 NEW 3068 EXTERIOR GLASS DOOR w/ LEVER HARDWARE. MATCH FINISH OF EXISTING DOORS. NICKEL AS ALTERNATE. PROVIDE COMMERCIAL ALUMINUM THRESHOLD AND WEATHERSTRIPPING.
- N46 CAREFULLY REINSTALL SOIL AND PAVERS OVER NEW FOOTER.
- N47 NEW ROOF. TO MATCH EXISTING ROOF.
- N48 NEW JOISTS/OUTRIGGERS, TO MATCH EXISTING ROOF.
- N50 NEW FULL SERVICE PASSENGER MRL TRACTION ELEVATOR.
- N51 NEW NEW/RELOCATED FURNITURE BY OTHERS.
- N52 NEW 2A-APW OR 2A-ABC FIRE EXTINGUISHER.

MATERIALS LEGEND

MARK	MATERIAL	MANUFACTURER	MODEL	COLOR	REMARKS	CONTACT INFORMATION
GT-1	GROUT	MAPEI	SANDED	38 AVALANCHE	RESTROOM FLOORS, 1/8" JOINT, SEALED	BOB COLGAN 904.363.2525
GT-1	GROUT	MAPEI	UNSANDED	38 AVALANCHE	RESTROOM WALLS, 1/8" JOINT, SEALED	BOB COLGAN 904.363.2525
PL-1	PLASTIC LAMINATE	WILSONART		5TH AVENUE ELM SOFTGRAIN FINISH		
PT-1	PAINT	BENJAMIN-MOORE	SEMI-GLOSS	PM-19 WHITE DOVE	GENERAL	
PT-2	PAINT	BENJAMIN-MOORE	SEMI-GLOSS	WHITE	ACCENT	
S-1	SOLID SURFACE	WILSONART	9100GS, SATIN FINISH	COCONUT OIL	BATHROOM VANITIES	SUSAN ZONA 1.800.432.6057
T-1	PORCELAIN FLOOR TILE	FLORIDA TILE	RENAISSANCE	GRIGIO (MOSAIC) - 24811/M12	RESTROOM FLOORS	BOB COLGAN 904.363.2525
T-2	CERAMIC WALL TILE	FLORIDA TILE	RENAISSANCE	GRIGIO - 24811 CR2x10	RESTROOM WALLS WAINSCOT	BOB COLGAN 904.363.2525
T-3	PROCELAIN FLOOR TILE	FLORIDA TILE	RENAISSANCE	GRIGIO - 24811 12x12	STAIR ENTRY	BOB COLGAN 904.363.2525
TR-1	TRANSITION STRIP	SCHLUTER	DESIGNLINE	DL625EB		
WB-1	WOOD BASE	GRADE HARDWOOD	4" HARDWOOD	PT - ?		
<b>ALTERNATES</b>						
S-1_A1	SOLID SURFACE	DALTILE	M701, 3CM, POLISHED	CARRARA WHITE	BATHROOM VANITIES	JOANNA MULHALL 904-307-8597
S-1_A2	SOLID SURFACE	WILSONART	9214CM, SATIN FINISH	ASTERIOD	BATHROOM VANITIES	SUSAN ZONA 1.800.432.6057
T-1A	PORCELAIN FLOOR TILE	FLORIDA TILE	RENAISSANCE	GRIGIO (MOSAIC) - 24811/M12	RESTROOM FLOORS	BOB COLGAN 904.363.2525
T-2A	CERAMIC WALL TILE	FLORIDA TILE	RENAISSANCE	GRIGIO - 24811 CR2x10	RESTROOM WALLS WAINSCOT	BOB COLGAN 904.363.2525

PARTITION TYPES



WALL TYPE NOTES

- ALL NEW WALLS TO MATCH EXISTING WALL TYPE. VERIFY ARCHITECT IF DIFFERENT THAN NOTED.
- PROVIDE THREE (3) BEADS OF SEALANT AT TOP AND BOTTOM OF TRACKS. TYPICAL ALL WALLS. USE SOUND OR FIRE RATED SEALANTS IN RESPECTIVE WALL TYPES.
- PROVIDE BLOCKING AS REQUIRED FOR MOUNTING FIXTURES, MILLWORK, SIGNAGE, ETC. AND TO MAINTAIN CONSTRUCTION TYPE.
- PROVIDE 'END CAPS' WHERE WALLS INTERSECT. MULLIONS/GLAZING COLOR TO BE SELECTED BY ARCHITECT.
- AT ALL FIRE RATED/SMOKE BARRIER ASSEMBLIES: PROVIDE SAFING, SEALANTS, ETC. AT ALL PENETRATIONS TO MAINTAIN RATINGS AND MEET ALL STATE/LOCAL CODES.
- PROVIDE FIRE/SMOKE DAMPERS WHERE NEEDED IN WALL TO MAINTAIN RATING AND TO MEET ALL STATE/LOCAL CODES.
- PROVIDE 'CAPS' IN FIRE WALLS TO MEET ALL STATE AN LOCAL CODES. TYP. ALL FIRE RATED WALLS.
- WHERE ANY DISCREPENCY OCCURS AT INTERSECTING WALLS, NOTIFY ARCHITECT PRIOR TO CONSTRUCTION. PROVIDE ADDITIONAL MATERIAL, CAPS, ETC. NEEDED TO COMPLETE DETERMINED CONDITION.
- SEE INTERIOR/EXTERIOR ELEVATIONS FOR REVEAL LOCATIONS ON ONE OR BOTH SIDES INDICATED.
- EXTEND TILE MINIMUM OF 6" ABOVE ACT CEILING SYSTEMS AT WET WALLS OR FULL HEIGHT TILE WALLS.
- PROVIDE CEMENTIOUS BACKER BOARD AT WET/TILE WALLS. TYP.

REVISIONS

#	DATE	DESCRIPTION
1	10.18.2016	OWNER COMMENTS



DATE: 5.3.2017

SHEET: NOTES

**A001**



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NEW RENOVATION  
**SAWGRASS CABANA CLUB**  
 619 PONTE VEDRA BLVD  
 PONTE VEDRA BEACH, FL 32082

REVISIONS

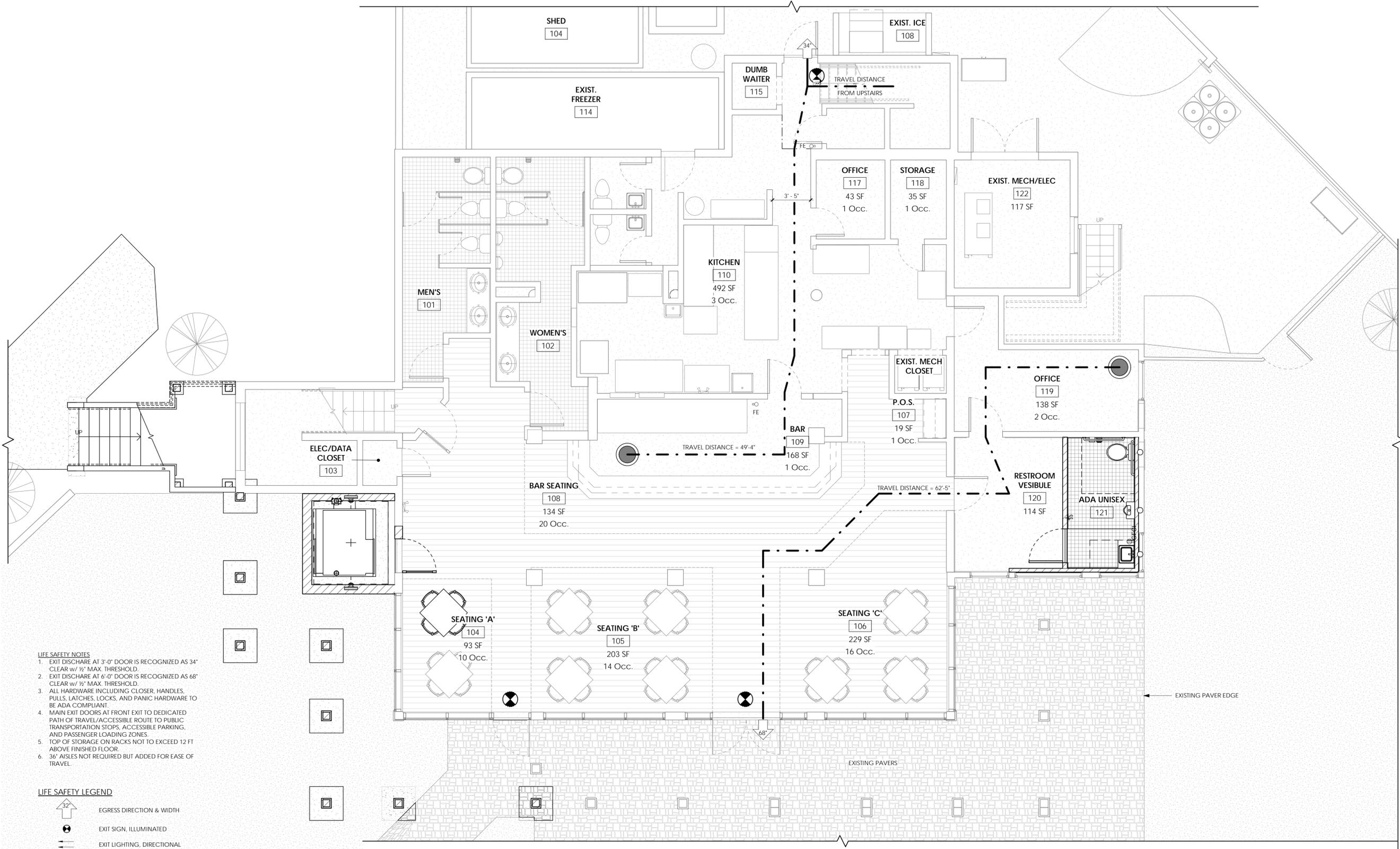
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DATE: 5.3.2017

SHEET: LIFE SAFETY PLAN - FIRST FLOOR

**A100.1**



- LIFE SAFETY NOTES**
- EXIT DISCHARGE AT 3'-0" DOOR IS RECOGNIZED AS 34" CLEAR w/ 1/2" MAX. THRESHOLD.
  - EXIT DISCHARGE AT 6'-0" DOOR IS RECOGNIZED AS 68" CLEAR w/ 1/2" MAX. THRESHOLD.
  - ALL HARDWARE INCLUDING CLOSER, HANDLES, PULLS, LATCHES, LOCKS, AND PANIC HARDWARE TO BE ADA COMPLIANT.
  - MAIN EXIT DOORS AT FRONT EXIT TO DEDICATED PATH OF TRAVEL/ACCESSIBLE ROUTE TO PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING, AND PASSENGER LOADING ZONES.
  - TOP OF STORAGE ON RACKS NOT TO EXCEED 12 FT ABOVE FINISHED FLOOR.
  - 36" AISLES NOT REQUIRED BUT ADDED FOR EASE OF TRAVEL.

- LIFE SAFETY LEGEND**
- ↑ 32" EGRESS DIRECTION & WIDTH
  - ⊙ EXIT SIGN, ILLUMINATED
  - EXIT LIGHTING, DIRECTIONAL
  - ⊕ EXIST. EMERGENCY LIGHTING
  - FE WALL BRACKET MOUNTED MP-10 FIRE EXTINGUISHER
  - MAX. TRAVEL DISTANCE
  - - - FIRE EXTINGUISHER TRAVEL DISTANCE
  - - - COMMON TRAVEL DISTANCE
  - STARTING LOCATION
  - ▭ SALES AREA, CIRCULATION CLEARANCE

① LIFE SAFETY PLAN - FIRST FLOOR  
 1/4" = 1'-0"

- WALL LEGEND**
- ▭ EXISTING WALL
  - - - DEMO WALL
  - ▭ NEW LOW WALL
  - ▭ NEW FULL HEIGHT PARTITION





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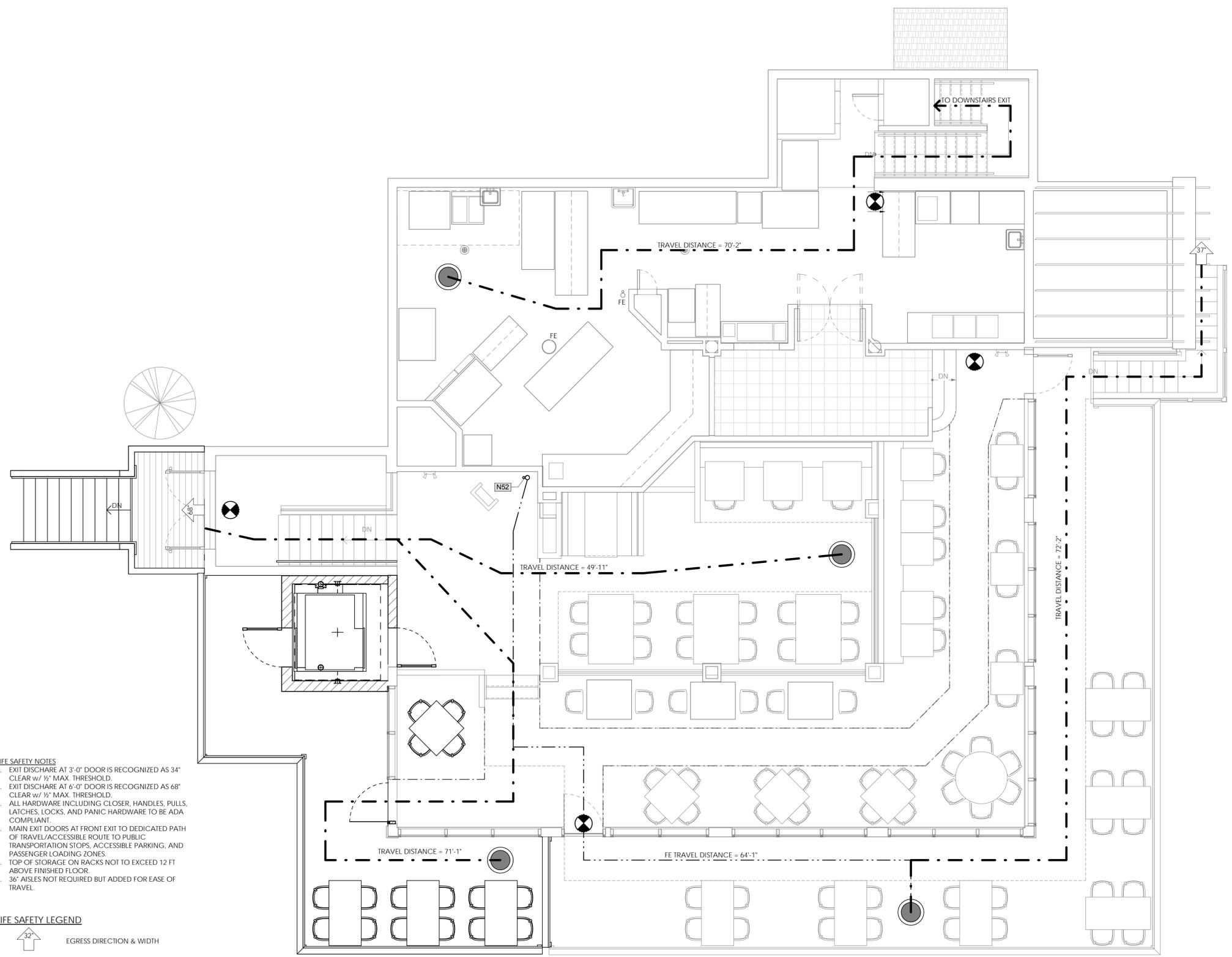
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DATE: 5.3.2017

SHEET: LIFE SAFETY PLAN - SECOND FLOOR

**A100.2**



- LIFE SAFETY NOTES**
- EXIT DISCHARGE AT 3'-0" DOOR IS RECOGNIZED AS 34" CLEAR w/ 1/2" MAX. THRESHOLD.
  - EXIT DISCHARGE AT 6'-0" DOOR IS RECOGNIZED AS 68" CLEAR w/ 1/2" MAX. THRESHOLD.
  - ALL HARDWARE INCLUDING CLOSER, HANDLES, PULLS, LATCHES, LOCKS, AND PANIC HARDWARE TO BE ADA COMPLIANT.
  - MAIN EXIT DOORS AT FRONT EXIT TO DEDICATED PATH OF TRAVEL/ACCESSIBLE ROUTE TO PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING, AND PASSENGER LOADING ZONES.
  - TOP OF STORAGE ON RACKS NOT TO EXCEED 12 FT ABOVE FINISHED FLOOR.
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- LIFE SAFETY LEGEND**
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  - FE WALL BRACKET MOUNTED MP-10 FIRE EXTINGUISHER
  - - - - MAX. TRAVEL DISTANCE
  - - - - FIRE EXTINGUISHER TRAVEL DISTANCE
  - - - - COMMON TRAVEL DISTANCE
  - STARTING LOCATION
  - SALES AREA, CIRCULATION CLEARANCE

① LIFE SAFETY PLAN - SECOND FLOOR  
 1/4" = 1'-0"

- WALL LEGEND**
- EXISTING WALL
  - - - DEMO WALL
  - ▬ NEW LOW WALL
  - ▨ NEW FULL HEIGHT PARTITION

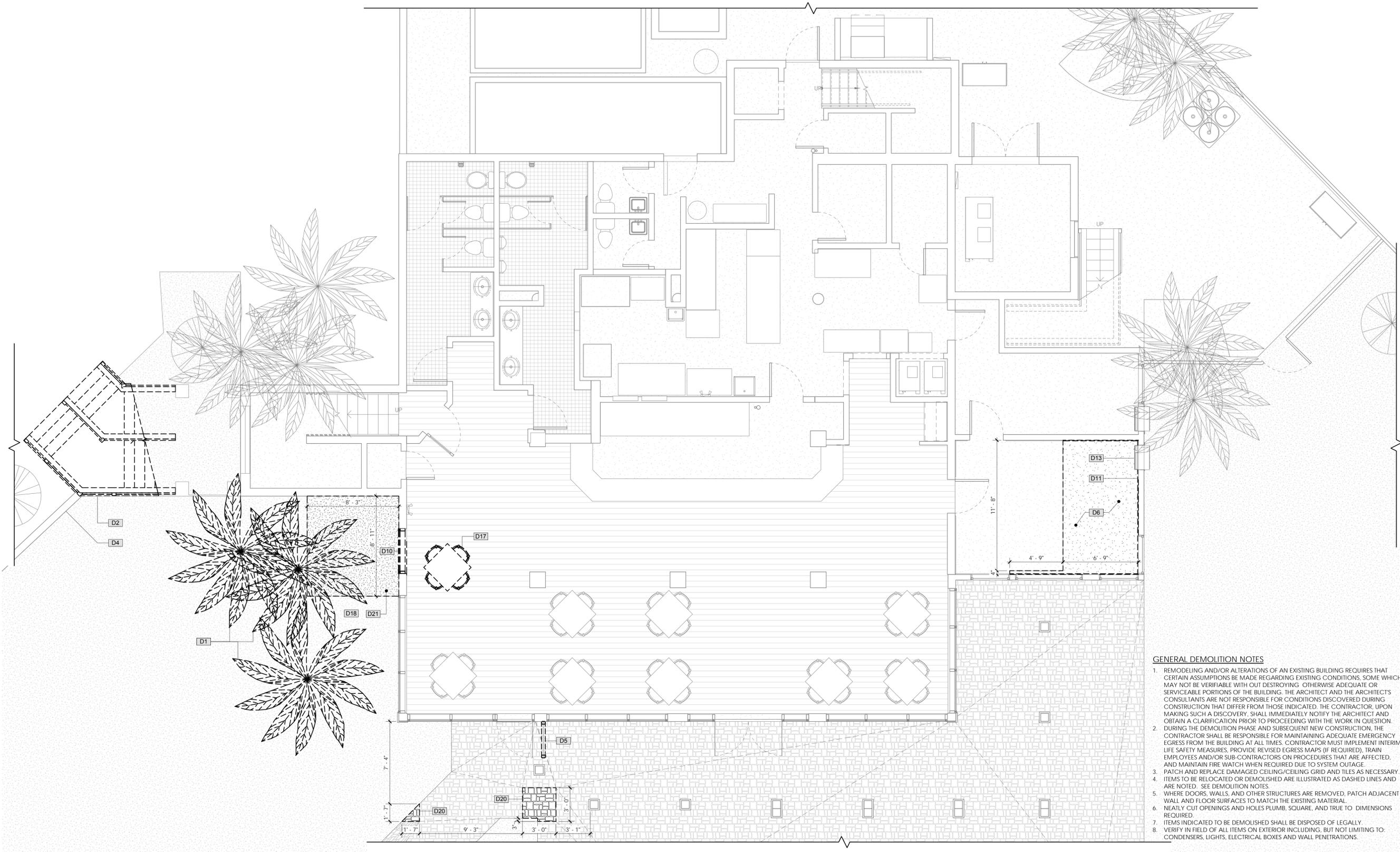




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① FIRST FLOOR PLAN - DEMO  
 1/4" = 1'-0"

**WALL LEGEND**

	EXISTING WALL
	DEMO WALL
	NEW LOW WALL
	NEW FULL HEIGHT PARTITION



**GENERAL DEMOLITION NOTES**

1. REMODELING AND/OR ALTERATIONS OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, SOME WHICH MAY NOT BE VERIFIABLE WITH OUT DESTROYING. OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING, THE ARCHITECT AND THE ARCHITECTS CONSULTANTS ARE NOT RESPONSIBLE FOR CONDITIONS DISCOVERED DURING CONSTRUCTION THAT DIFFER FROM THOSE INDICATED. THE CONTRACTOR, UPON MAKING SUCH A DISCOVERY, SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND OBTAIN A CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK IN QUESTION. DURING THE DEMOLITION PHASE AND SUBSEQUENT NEW CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE EMERGENCY EGRESS FROM THE BUILDING AT ALL TIMES. CONTRACTOR MUST IMPLEMENT INTERIM LIFE SAFETY MEASURES, PROVIDE REVISED EGRESS MAPS (IF REQUIRED), TRAIN EMPLOYEES AND/OR SUB-CONTRACTORS ON PROCEDURES THAT ARE AFFECTED, AND MAINTAIN FIRE WATCH WHEN REQUIRED DUE TO SYSTEM OUTAGE.
2. PATCH AND REPLACE DAMAGED CEILING/CEILING GRID AND TILES AS NECESSARY.
3. PATCH AND REPLACE DAMAGED CEILING/CEILING GRID AND TILES AS NECESSARY.
4. ITEMS TO BE RELOCATED OR DEMOLISHED ARE ILLUSTRATED AS DASHED LINES AND ARE NOTED. SEE DEMOLITION NOTES.
5. WHERE DOORS, WALLS, AND OTHER STRUCTURES ARE REMOVED, PATCH ADJACENT WALL AND FLOOR SURFACES TO MATCH THE EXISTING MATERIAL.
6. NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED.
7. ITEMS INDICATED TO BE DEMOLISHED SHALL BE DISPOSED OF LEGALLY.
8. VERIFY IN FIELD OF ALL ITEMS ON EXTERIOR INCLUDING, BUT NOT LIMITING TO: CONDENSERS, LIGHTS, ELECTRICAL BOXES AND WALL PENETRATIONS.

REVISIONS

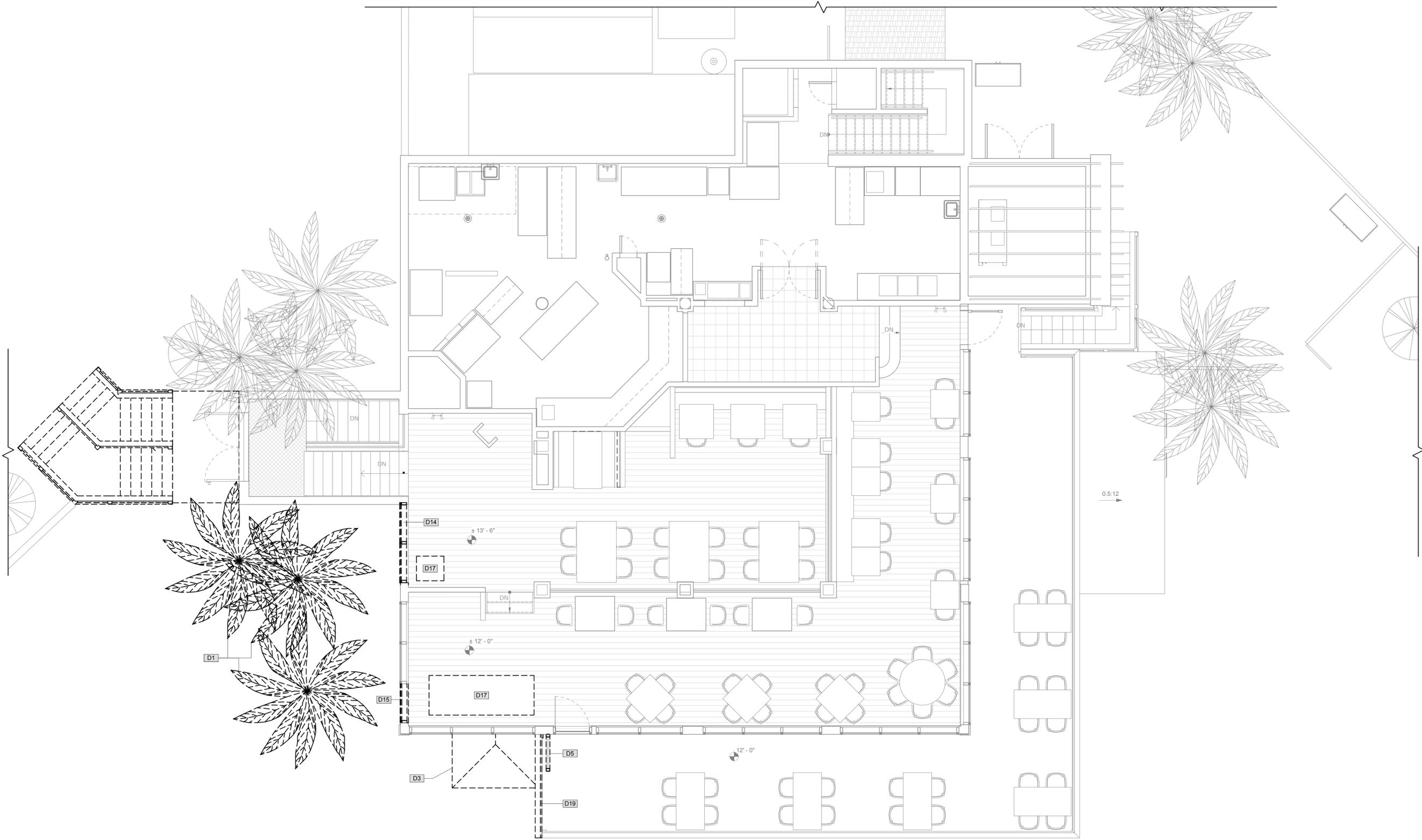
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SHEET: DEMO PLAN - FIRST FLOOR

**A101**



1 SECOND FLOOR PLAN - DEMO  
1/4" = 1'-0"

- WALL LEGEND**
-  EXISTING WALL
  -  DEMO WALL
  -  NEW LOW WALL
  -  NEW FULL HEIGHT PARTITION



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SHEET: DEMO PLAN - SECOND FLOOR

**A102**



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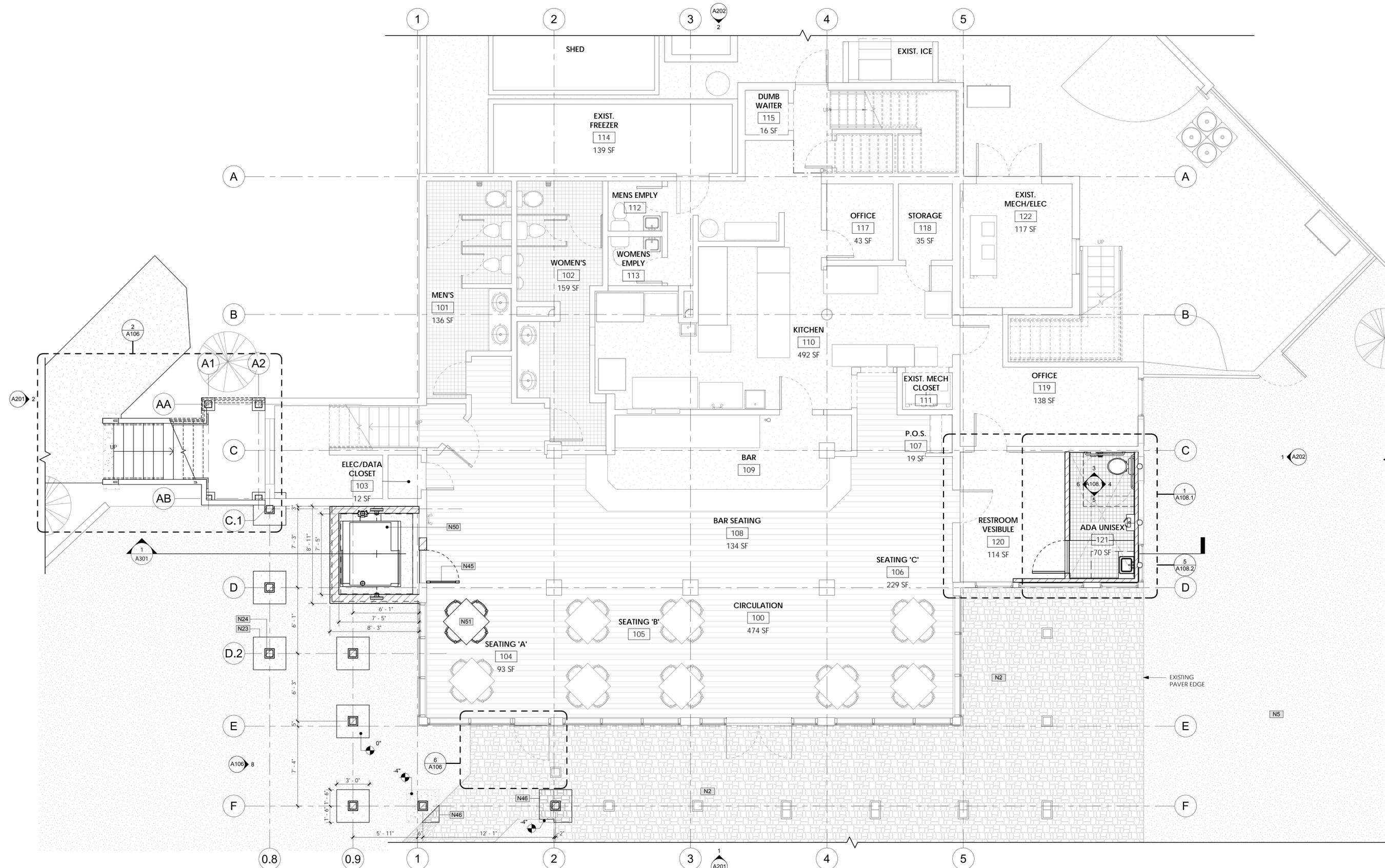
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SHEET: NEW PLAN - FIRST FLOOR

**A103**



1 FIRST FLOOR PLAN - NEW  
1/4" = 1'-0"

**WALL LEGEND**

	EXISTING WALL
	DEMO WALL
	NEW LOW WALL
	NEW FULL HEIGHT PARTITION





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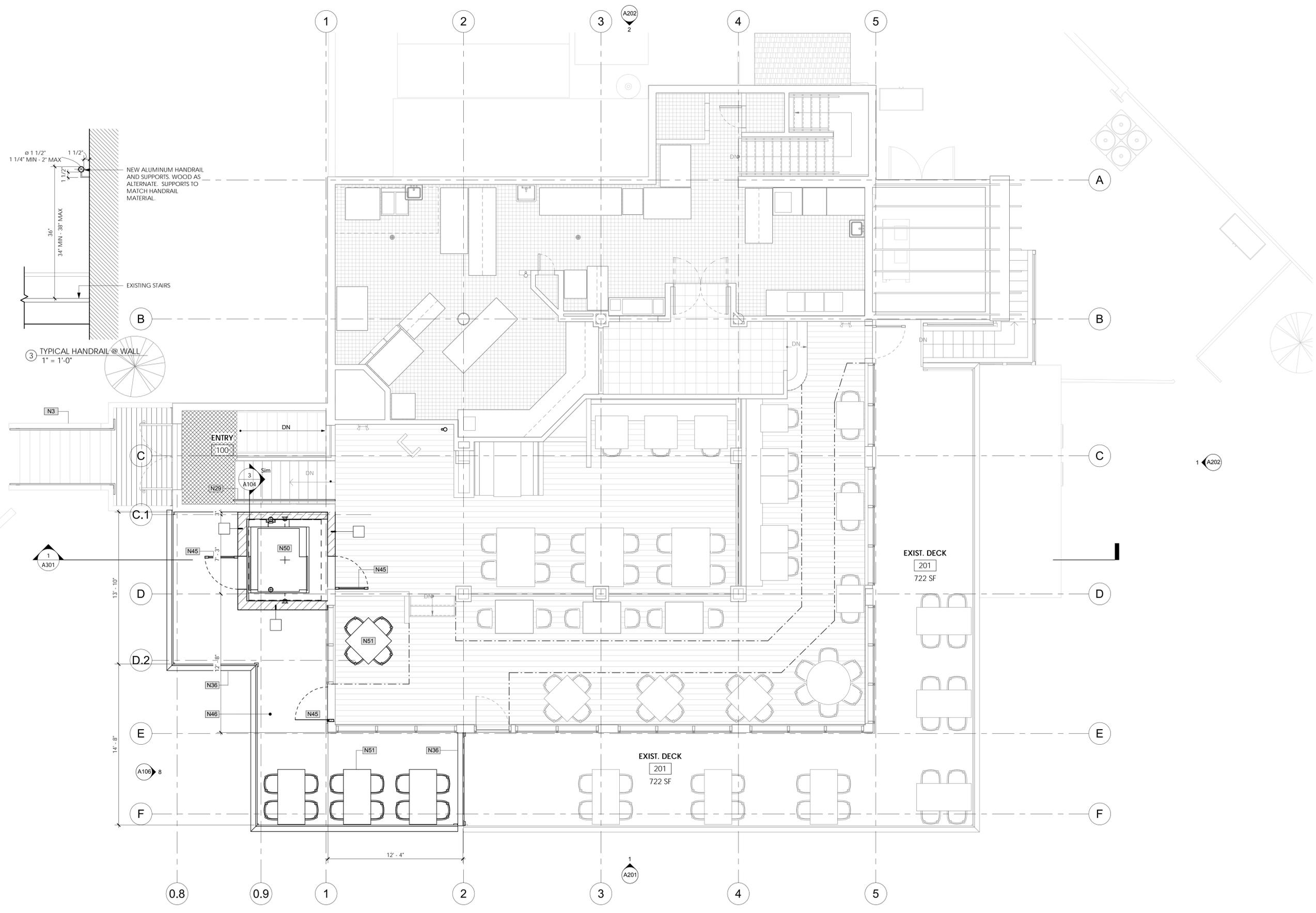
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SHEET: NEW PLAN - SECOND FLOOR

**A104**



1 SECOND FLOOR PLAN - NEW  
 1/4" = 1'-0"

**WALL LEGEND**

	EXISTING WALL
	DEMO WALL
	NEW LOW WALL
	NEW FULL HEIGHT PARTITION



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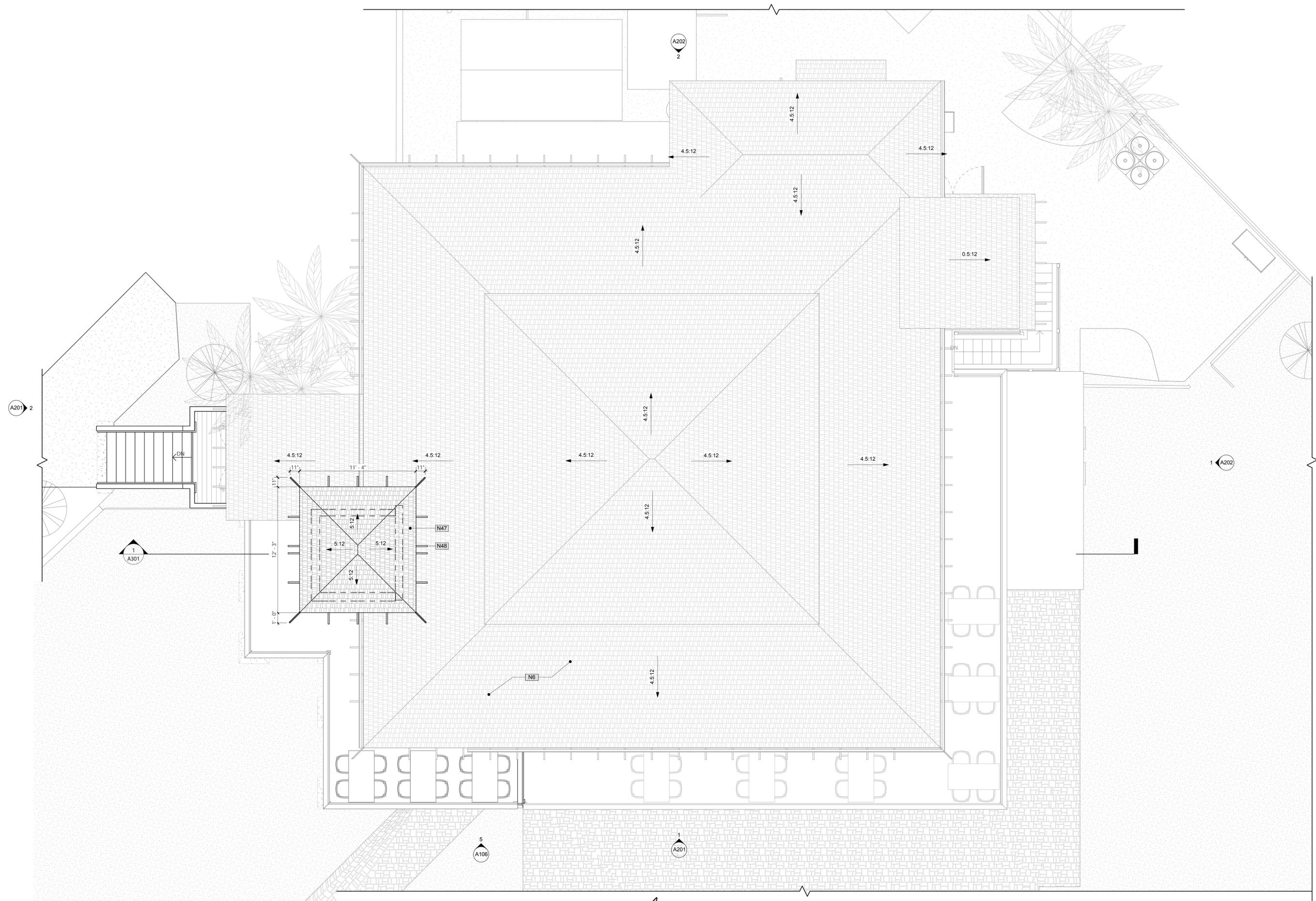
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SHEET: ROOF PLAN

**A105**



① T.O. ROOF - NEW  
 1/4" = 1'-0"



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**SAWGRASS CABANA CLUB**  
619 PONTE VEDRA BLVD  
PONTE VEDRA BEACH, FL 32082

REVISIONS		
#	DATE	DESCRIPTION
1	10.18.2016	REVIEW COMMENTS

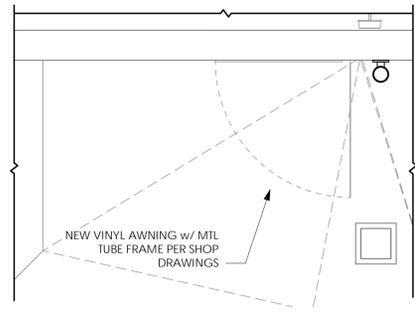


DATE: 5.3.2017  
SHEET: FRONT ENTRY STAIR, NEW AWNING

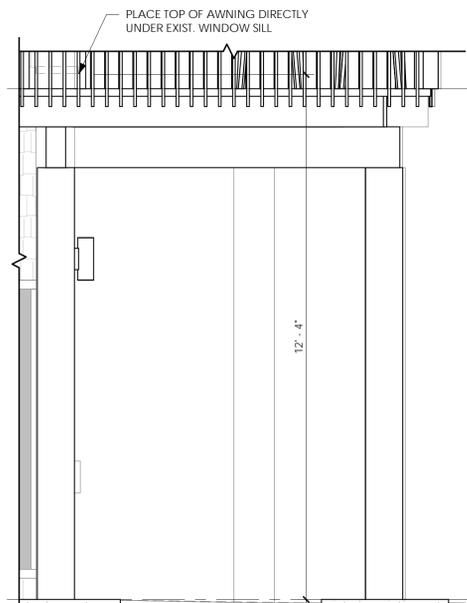
**A106**

**GENERAL AWNING NOTES**

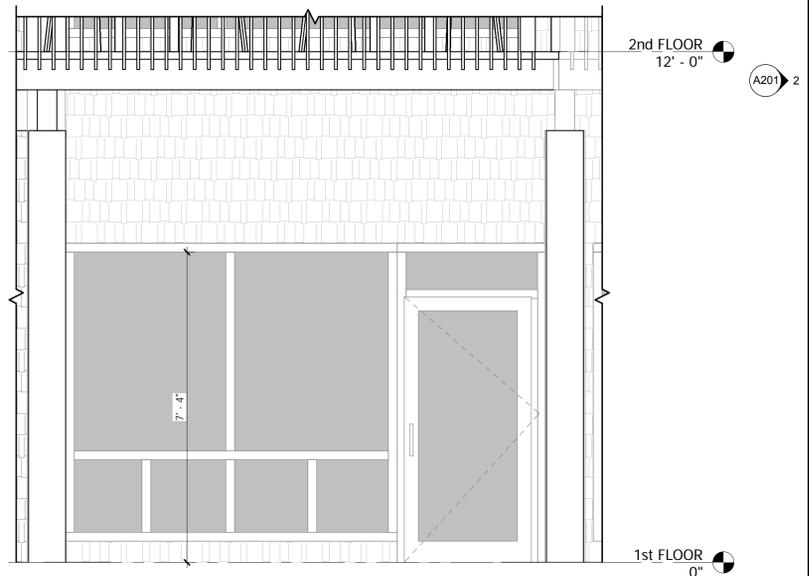
- AWNING CONTRACTOR/FABRICATOR SPECIFIED AS FOLLOWS:  
*BOREE CANVAS UNLIMITED*  
4635 HIGHWAY AVENUE  
JACKSONVILLE, FLORIDA 32254  
CONTACT: DONNIE BOREE  
PHONE: (904) 388 8770  
FAX: (904) 387.0174
- ARCHITECT TO REVIEW AND APPROVE SHOP DRAWINGS BEFORE FABRICATION.
- AWNING DETERMINED AS FRANGIBLE.
- AWNING SPECIFIED AS: WEBLON COAST LINE PLUS  
857217  
CP2717 GULL GRAY



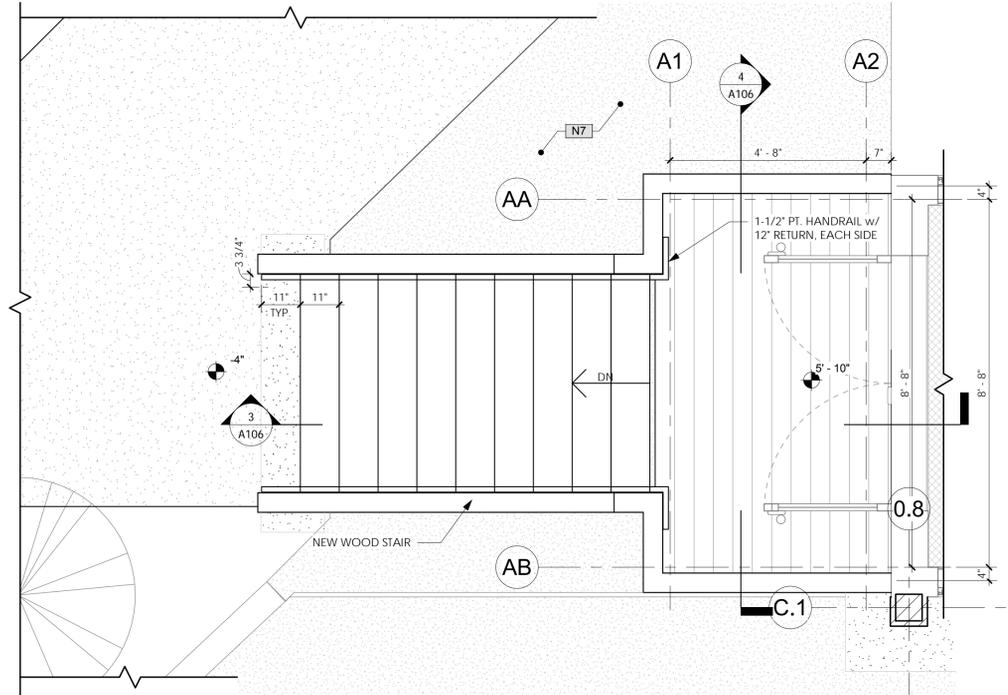
6 ENLARGED NEW AWNING PLAN  
1/2" = 1'-0"



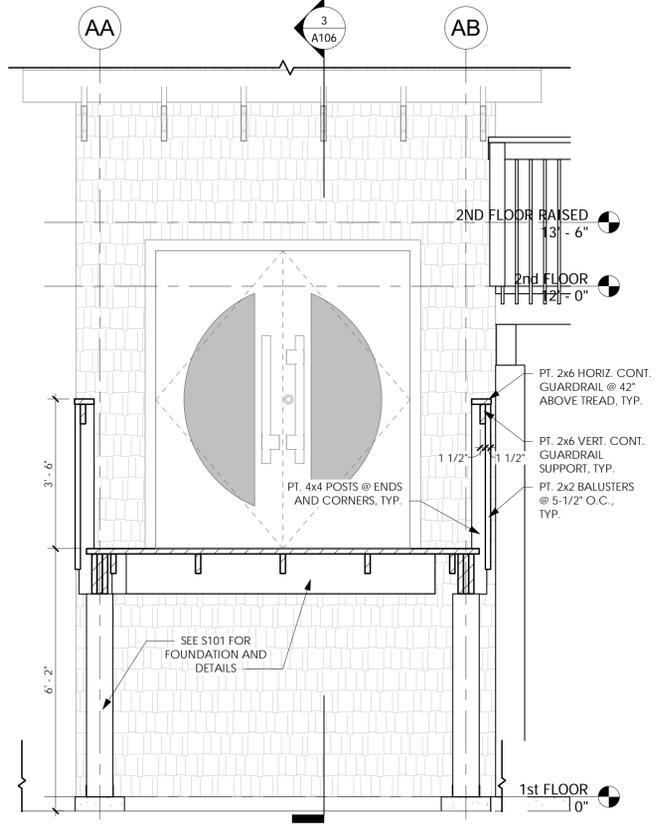
8 ELEVATION - AWNING SIDE  
1/2" = 1'-0"



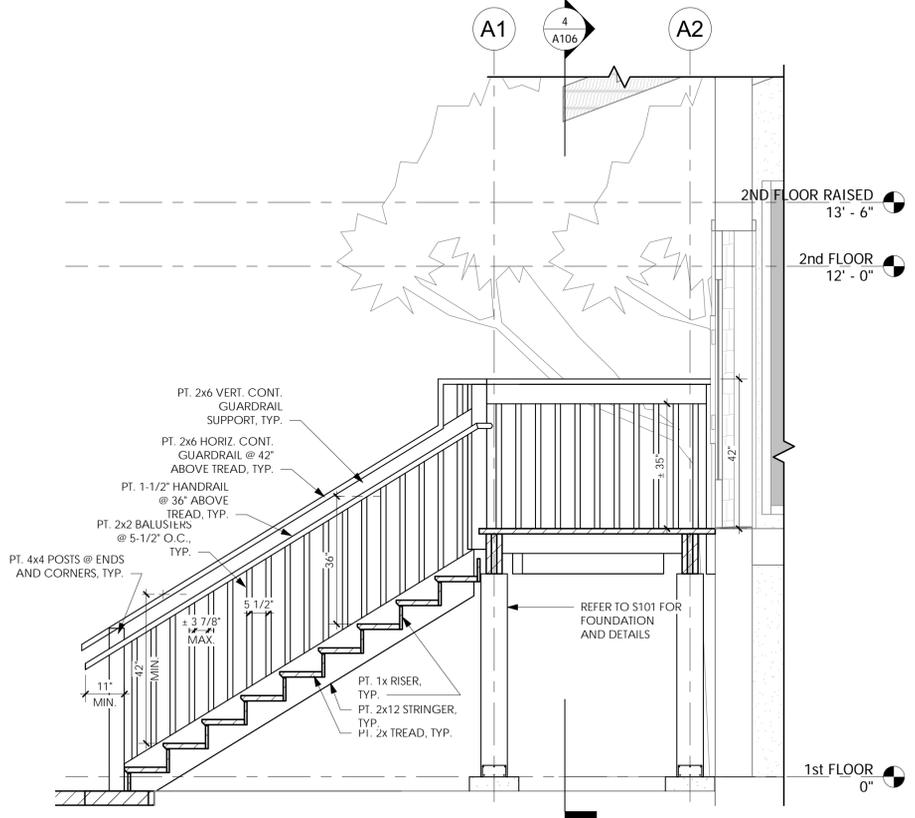
5 ELEVATION - AWNING FRONT  
1/2" = 1'-0"



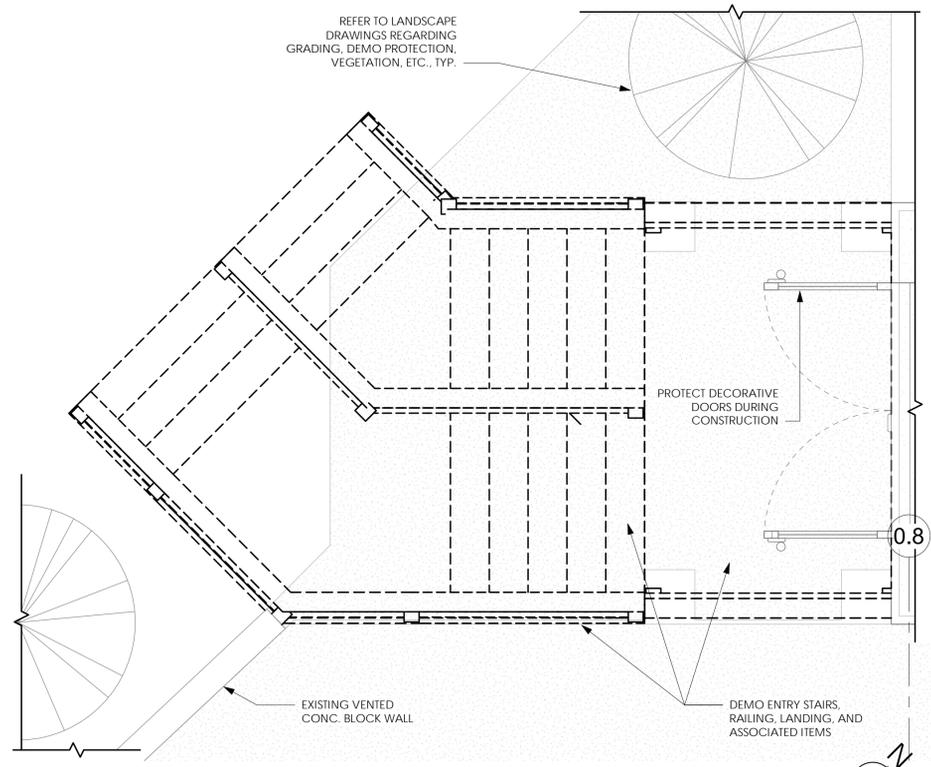
2 ENLARGED NEW ENTRY STAIR  
1/2" = 1'-0"



4 SECTION - ENTRY STAIR - LANDING  
1/2" = 1'-0"



3 SECTION - ENTRY STAIR - STAIR AND LANDING  
1/2" = 1'-0"



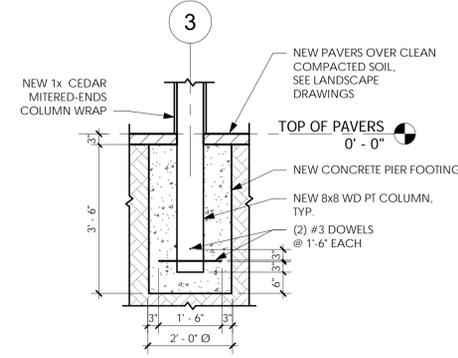
1 MAIN ENTRY LANDING - DEMO  
1/2" = 1'-0"



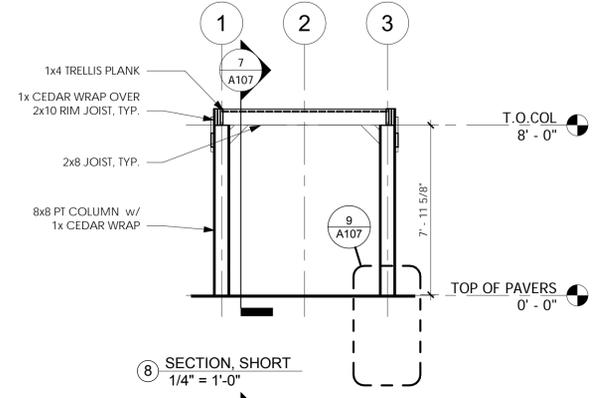
JAA ARCHITECTURE INC.  
 2716 ST. JOHN'S AVE  
 JACKSONVILLE FL 32205  
 P. (904) 379-5108  
 E. JOHN@JAAARCHITECTURE.COM  
 LIC. AR92748

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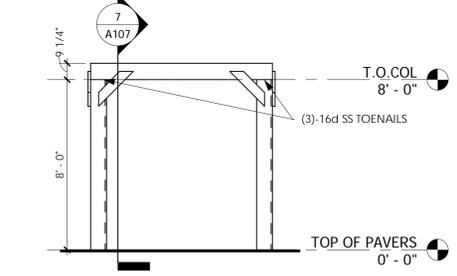
**NEW RENOVATION**  
**CABANA CLUB**  
 619 PONTE VEDRA BLVD  
 PONTE VEDRA BEACH, FL 32082



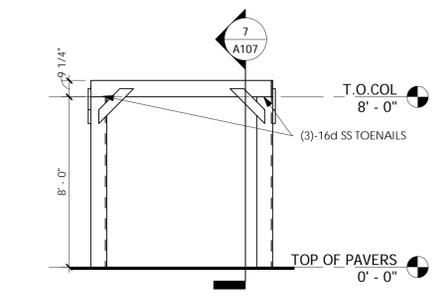
9 TYPICAL COLUMN FOOTING  
 1/2" = 1'-0"



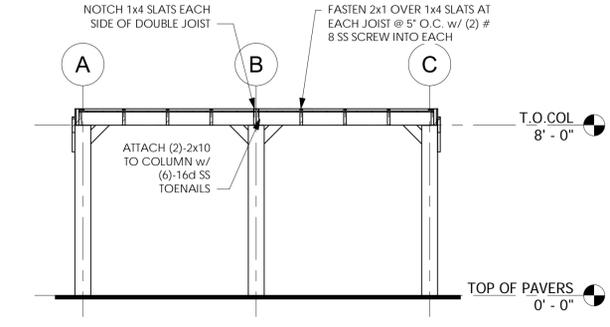
8 SECTION, SHORT  
 1/4" = 1'-0"



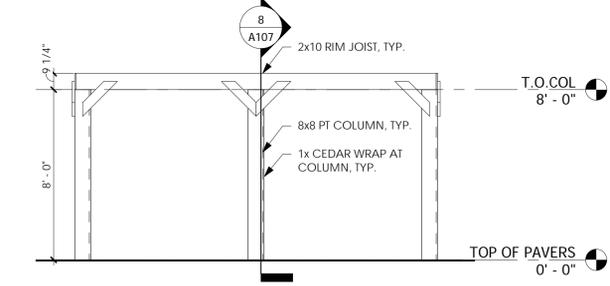
6 ELEVATION D  
 1/4" = 1'-0"



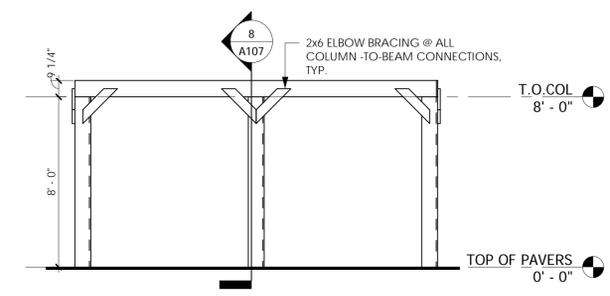
4 ELEVATION B  
 1/4" = 1'-0"



7 SECTION, LONG  
 1/4" = 1'-0"

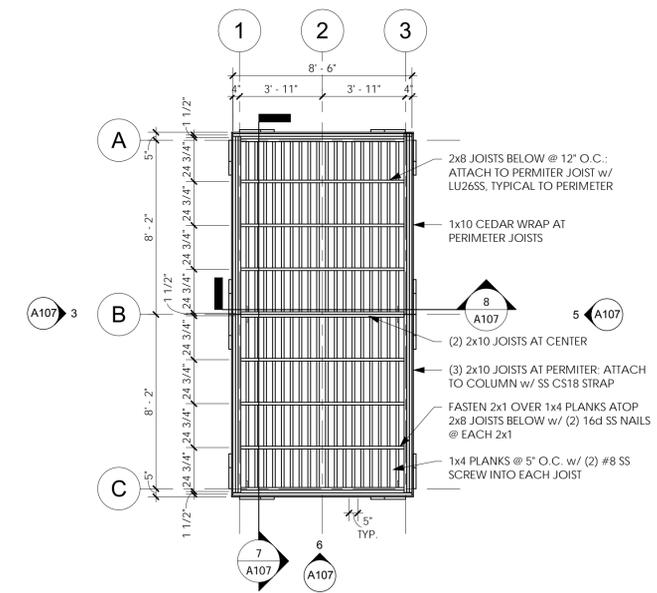


5 ELEVATION C  
 1/4" = 1'-0"

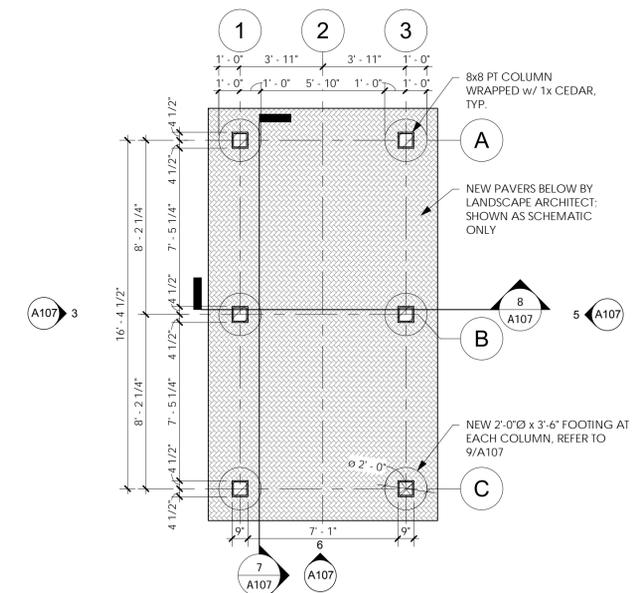


3 ELEVATION A  
 1/4" = 1'-0"

NOTE: REFER TO LANDSCAPE DRAWINGS FOR LOCATION OF NEW TRELLIS



2 ROOF PLAN  
 1/4" = 1'-0"



1 LEVEL 1 - NEW  
 1/4" = 1'-0"

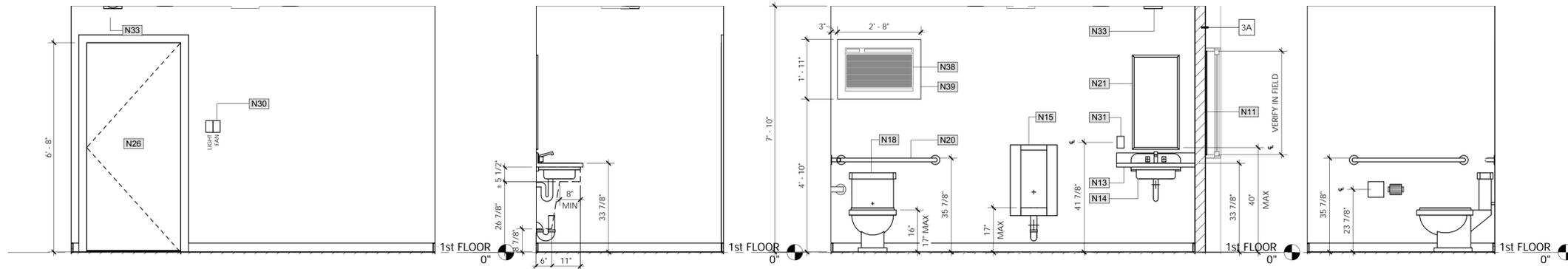
REVISIONS		
#	DATE	DESCRIPTION
1	10.19.2016	REVIEW COMMENTS



DATE: 5.3.2017

SHEET: PLANS, ELEVATIONS, SECTIONS

**A107**

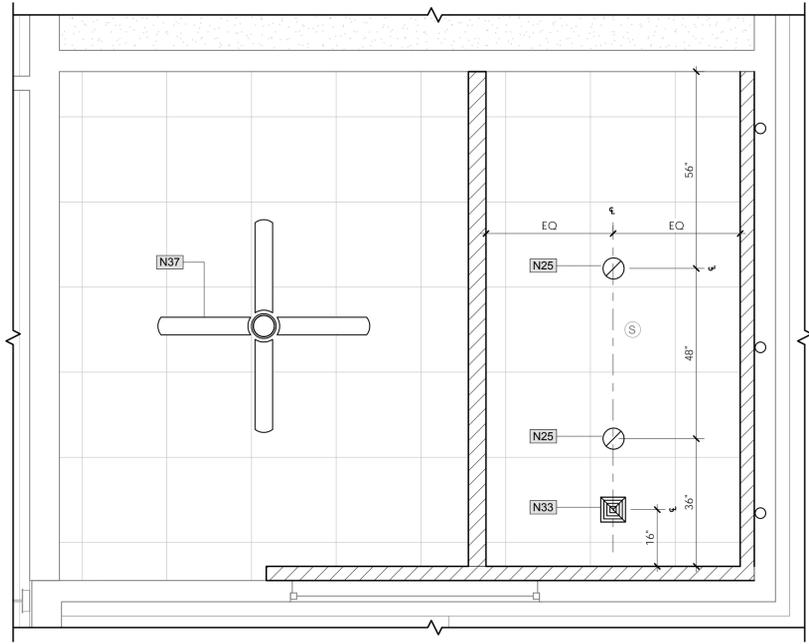


⑥ WEST ELEVATION - UNISEX RESTROOM  
1/2" = 1'-0"

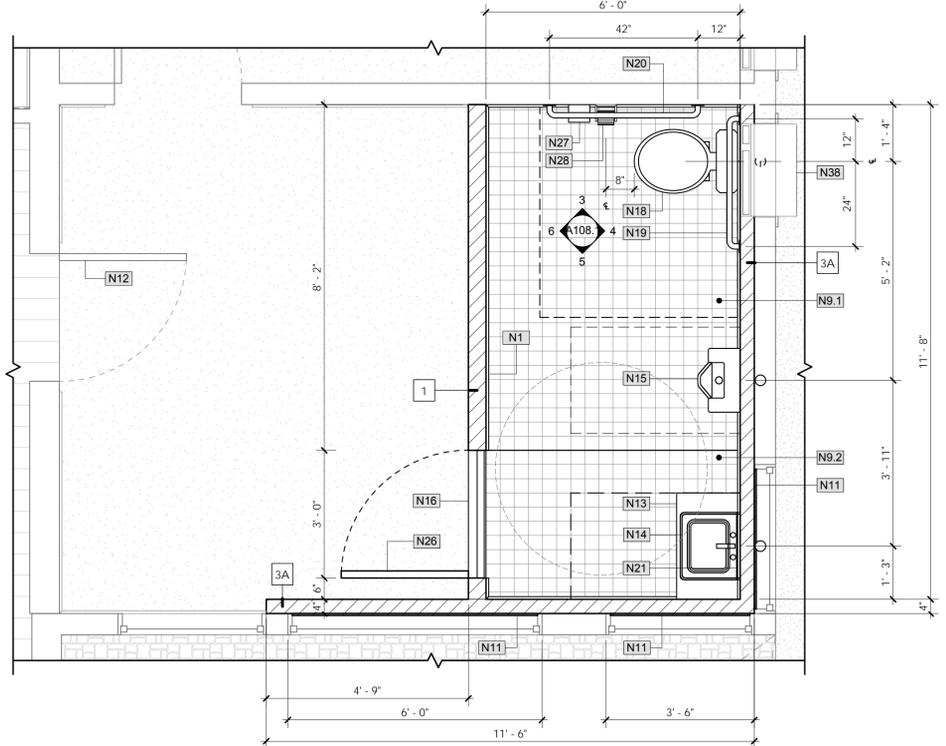
⑤ SOUTH ELEVATION - UNISEX RESTROOM  
1/2" = 1'-0"

④ EAST ELEVATION - UNISEX RESTROOM  
1/2" = 1'-0"

③ NORTH ELEVATION - UNISEX RESTROOM  
1/2" = 1'-0"



② ENLARGED ADA UNISEX REFLECTED CEILING PLAN  
1/2" = 1'-0"



① ENLARGED UNISEX RESTROOM  
1/2" = 1'-0"



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NEW RENOVATION  
**SAWGRASS CABANA CLUB**  
619 PONTE VEDRA BLVD  
PONTE VEDRA BEACH, FL 32082

REVISIONS

#	DATE	DESCRIPTION
1	10.18.2016	OWNER COMMENTS
2	11.22.2016	REVIEW COMMENTS



DATE: 5.3.2017  
SHEET: ADA UNISEX RESTROOM

**A108.1**

**ELECTRICAL NOTES**

GENERAL NOTES:

- G1: ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL AND STATE CODES.
- G2: ALL MATERIAL, EQUIPMENT AND APPLIANCES SHALL BE NEW AND SHALL CONFORM TO THE STANDARDS OF THE UNDERWRITER'S LABORATORIES, INC., AND THE NATIONAL MANUFACTURERS ASSOCIATION.
- G3: ALL ELECTRICAL PERMITS AND INSPECTION FEES SHALL BE OBTAINED AND PAID FOR BY THE ELECTRICAL CONTRACTOR.
- G4: ELECTRICAL CONTRACT DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF ELECTRICAL EQUIPMENT. DO NOT SCALE ELECTRICAL PLANS. OBTAIN ALL DIMENSIONS FROM THE ARCHITECT'S DIMENSIONED DRAWINGS AND FIELD MEASUREMENTS. THE CONTRACTOR SHALL REVIEW ARCHITECTURAL PLANS FOR DOOR SWINGS AND BUILT-IN EQUIPMENT; CONDITIONS INDICATED ON THOSE PLANS SHALL GOVERN FOR THIS WORK.
- G5: VERIFY ALL REQUIREMENTS AND COORDINATE EXACT LOCATION OF INCOMING ELECTRICAL SERVICE WITH LOCAL POWER COMPANY PRIOR TO PROJECT START. NOTIFY ENGINEER OF ANY CHANGES.
- G6: ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR ONE YEAR EFFECTIVE FROM THE DATE OF SUBSTANTIAL COMPLETION.
- G7: A COMPLETE GROUNDING SYSTEM SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF THE NEC, AND AS SHOWN ON THE DRAWINGS.
- G8: ALL CUTTING AND PATCHING REQUIRED FOR INSTALLATION OF ELECTRICAL EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. DO NOT CUT ANY MATERIAL THAT WILL WEAKEN THE STRUCTURE WITHOUT WRITTEN PERMISSION OF THE ARCHITECT. PATCHING SHALL BE ACCOMPLISHED TO MATCH ADJACENT SURFACES IN EVERY RESPECT. ENGAGE ORIGINAL INSTALLER FOR CUTTING/PATCHING OF ROOFS.
- G9: PROVIDE A TYPED DIRECTORY IN ALL PANELBOARDS CLEARLY DESCRIBING THE LOCATION AND TYPE OF LOAD SERVED FOR ALL CIRCUITS.
- G10: PROVIDE ENGRAVED PHENOLIC NAMEPLATES FOR ALL PANELBOARDS AND DISCONNECT SWITCHES, WHITE LETTERS ON BLACK BACKGROUND. NAMEPLATE SHALL CONTAIN EQUIPMENT DESIGNATION, VOLTAGE, FEEDER SOURCE & DATE INSTALLED.
- G11: PROVIDE "FLASH HAZARD" LABELS FOR ALL PANELBOARDS IN ACCORDANCE WITH NEC REQUIREMENTS.
- G12: ALL TERMINALS/LUGS SHALL BE 60 DEGREE/75 DEGREE RATED.
- G13: FUSES 0-600 AMPS SHALL BE UL CLASS "RK-5" LOW PEAK DUAL ELEMENT TIME DELAY WITH 200,000 AMPERE INTERRUPTING RATING AS MANUFACTURED BY BUSSMAN UNLESS NOTED OTHERWISE.
- G14: ALL WATER HEATERS SHALL HAVE DISCONNECT SIZED PER 422.11(E)(3).
- G15: ELECTRICAL CONTRACTOR SHALL MAKE ALL FINAL ELECTRICAL CONNECTIONS TO EQUIPMENT REGARDLESS OF WHO SUPPLIES THE EQUIPMENT. THIS INCLUDES ALL HVAC, PLUMBING AND OWNER FURNISHED EQUIPMENT CONNECTIONS OF 120V OR HIGHER.
- G16: RACEWAYS SHALL BE INSTALLED CONCEALED IN NEW WALL CONSTRUCTION, ABOVE CEILINGS, BELOW FLOOR, AND IN OTHER CAVITIES TO THE GREATEST EXTENT POSSIBLE. WHERE EXPOSED RACEWAYS MUST BE USED, LAYOUT RACEWAYS TO MINIMIZE THE NUMBER OF VERTICAL RUNS.
- G17: ALL EXPOSED RACEWAY SHALL BE RUN PARALLEL OR PERPENDICULAR TO THE BUILDING SURFACES AND SHALL BE PAINTED AS DIRECTED BY THE ARCHITECT. NO EXPOSED CONDUIT SHALL BE ALLOWED IN FINISHED SPACES EXCEPT AS PERMITTED BY OWNER OR ARCHITECT. EXPOSED RACEWAY IN FINISHED SPACES SHALL BE WIREMOLD TYPE.
- G18: BEFORE COMMENCING WITH ANY ROUGH-IN, COORDINATE THE EXACT LOCATION AND MOUNTING HEIGHT OF ALL WALL MOUNTED DEVICES WITH THE ARCHITECTURAL INTERIOR ELEVATIONS, CASEWORK SHOP DRAWINGS, AND EXISTING CONDITIONS. IF ANY DISCREPANCIES ARE DISCOVERED, NOTIFY THE ARCHITECT FOR FURTHER DIRECTION. MINOR ADJUSTMENTS IN DEVICE LOCATION, I.E. 5/8" IN ANY DIRECTION SHALL BE DONE AT NO ADDITIONAL COST TO THE CONTRACTOR.
- G19: ALL WIRING SHALL BE INSTALLED IN IMC, RMC, EMT, OR TYPE AC FLEXIBLE CABLE. RNC CONDUIT (PVC) SHALL ONLY BE USED UNDERGROUND AND OUTDOORS, WHERE NOT SUBJECT TO PHYSICAL DAMAGE. MINIMUM SIZE CONDUIT SHALL BE 3/4". AC FLEXIBLE CABLE SHALL BE USED ONLY IN AREAS PERMITTED BY CODE.
- G20: ALL FLEX SHALL BE LIQUID TIGHT FLEXIBLE METAL.
- G21: PROVIDE A PULL WIRE OR FISH TAPE IN ALL EMPTY CONDUITS. PROVIDE A BLANK COVER PLATE OVER ALL UNUSED BOXES INCLUDING DATA/COMM BOXES.
- G22: WHERE A HOMERUN IS SHOWN THE CIRCUIT SHALL BE INSTALLED IN A DEDICATED CONDUIT, DO NOT COMBINE WITH OTHER CIRCUITS, WHERE A CIRCUIT HOMERUN IS NOT SHOWN THE CONTRACTOR SHALL COMBINE CIRCUITS AS FOLLOWS AND IN ACCORDANCE WITH THE NEC:  
A MAXIMUM OF THREE 20A, 1 POLE BRANCH CIRCUITS MAY BE COMBINED IN A COMMON HOMERUN SHARING A COMMON NEUTRAL OR WITH SEPARATE NEUTRALS FOR A TOTAL OF SIX CURRENT CARRYING CONDUCTORS. ALL BRANCH CIRCUITS LARGER THAN 20A SHALL BE SEPARATELY HOMERUN TO PANEL.
- G23: ALL OUTLETS ARE 18" ABOVE FINISHED FLOOR (AFF) UNLESS NOTED OTHERWISE.

**PLUMBING NOTES**

GENERAL REQUIREMENTS:

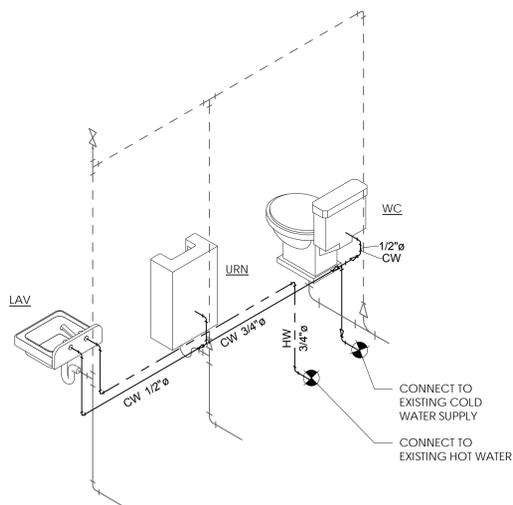
- 1. GENERAL AND SPECIAL CONDITIONS: GENERAL AND SPECIAL CONDITIONS ARE HEREBY MADE AN INTERGAL PART OF THIS DIVISION OF THE SPECIFICATIONS INSOFAR AS SAME ARE APPLICABLE TO THE WORK UNDER THIS DIVISION AND UNLESS OTHERWISE SPECIFIED.
- 2. SCOPE: PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH ALL APPLICABLE CODES.
- 3. PERMITS: APPLY FOR AND PAY FOR ALL NECESSARY PERMITS, FEES, AND INSPECTIONS REQUIRED BY ANY PUBLIC AUTHORITY HAVING JURISDICTION.
- 4. WARRANTY: PROVIDE ALL MATERIALS AND EQUIPMENT UNDER THIS SECTION OF THE SPECIFICATIONS WITH A ONE YEAR WARRANTY FROM THE DATE OF ACCEPTANCE OF WORK BY THE OWNER.
- 5. COORDINATION: VERIFY ALL ROUGH IN LOCATIONS AND COORDINATE PIPING AND EQUIPMENT LOCATIONS WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID CONFLICTS. CONTRACTOR MUST COORDINATE WITH OTHER TRADES FOR ALL STRUCTURES, CONDUIT, PIPING, DUCTWORK, LIGHTING, ETC. TO PROPERLY BE INSTALLED. ANY CONFLICTS SHALL BE RESOLVED AT NO CHARGE TO THE OWNER. COORDINATE INSTALLATION OF ALL PLUMBING LINES AT CMU WALLS SO THAT PLUMBING LINES ARE PLACED IN WALL DURING CMU WALL CONSTRUCTION.
- 6. FIELD VERIFICATION: FIELD VERIFY EXISTING CONDITION BEFORE STARTING CONSTRUCTION AND NOTIFY THE ARCHITECT/ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS AND/OR POTENTIAL PROBLEMS OBSERVED BEFORE CONTINUING WORK IN THE EFFECTED AREAS.
- 7. PLUMBING SYSTEMS INCLUDE BUT ARE NOT LIMITED TO:
  - PLUMBING FIXTURES AND EQUIPMENT
  - FIRE STOPPING
  - DOMESTIC WATER SYSTEM
  - SANITARY WASTE AND VENT SYSTEM
- 8. WHERE APPLIED, PIPE TO PENETRATE CONCRETE FLOOR.

**FIXTURES:**

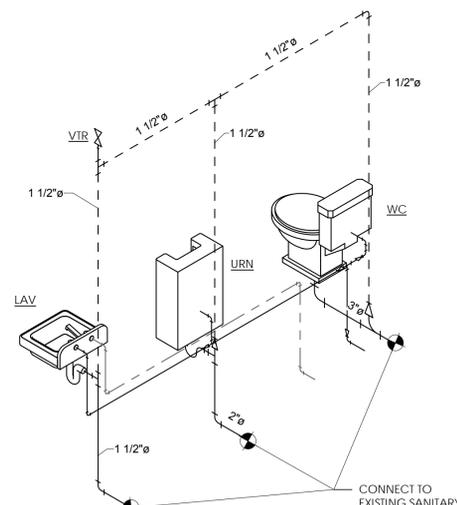
- 1. PROVIDE COMPLETE FIXTURES AND INCLUDE SUPPLIES, STOPS, VALVES, FAUCETS, DRAINS, TRAPS, TAIL PIECES, ESCUTCHEONS, ETC.

**DOMESTIC WATER PIPING:**

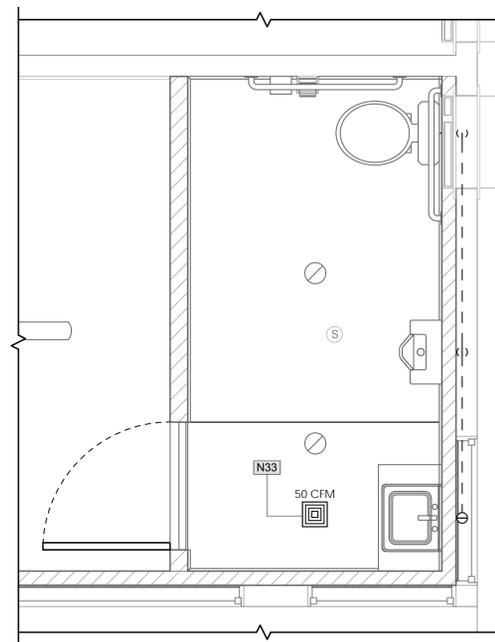
- 1. FURNISH AND INSTALL A COMPLETE SYSTEM OF COLD WATER AND WASTE PIPING FROM EXISTING SUPPLIES TO ALL FIXTURES AND/OR EQUIPMENT REQUIRING THIS SERVICE. VERIFY LOCATION OF BEGINNING POINTS.
- 2. DOMESTIC WATER PIPING BELOW GRADE: SOFT ANNEALED SEAMLESS COPPER TUBING, TYPE 'K' WITH NO JOINTS (ASTM B 88). (PVC ACCEPTABLE ALTERNATIVE)
- 3. DOMESTIC WATER PIPING AND JOINTS ABOVE GRADE: HARD DRAWN SEAMLESS COPPER TUBING TYPE 'L' WITH 95-5 SILVER SOLDERED JOINTS (ASTM B 88). (PVC ACCEPTABLE ALTERNATIVE)
- 4. STERILIZE THE DOMESTIC WATER PIPING IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION'S SPECIFICATIONS AND LOCAL HEALTH DEPARTMENT REGULATIONS.
- 5. INSULATE DOMESTIC WATER PIPING ABOVE GRADE (EXCEPT EXPOSED CONNECTIONS TO PLUMBING FIXTURES) WITH ENGINEERED POLYMER FOAM INSULATION OR FIBERGLASS WITH FITTING INSRTS AND PVC COVERS. FOLLOW THIS SCHEDULE:
- 6. SERVICE PIPE SIZE INS. THICKNESS  
DOMESTIC COLD WATER ALL 1/2"
- 7. DOMESTIC WATER PIPING INSTALLATION, JACKETS COVERING SEALERS, MASTICS AND ADHESIVES ARE REQUIRED TO MEET A FLAM-SPREADING RATING OF 25 OR LESS AND A SMOKE-DEVELOPED RATING OF 50 OR LESS, AS TESTED BY ASTM 884 (NFPA 255) METHOD
- 8. DO NOT INSTALL DOMESTIC WATER PIPING IN AREAS SUBJECT TO FREEZING TEMPERATURES. INSTALL WATER PIPING IN EXTERIOR WALLS ON THE OUTSIDE SIDE OF THE WALL.



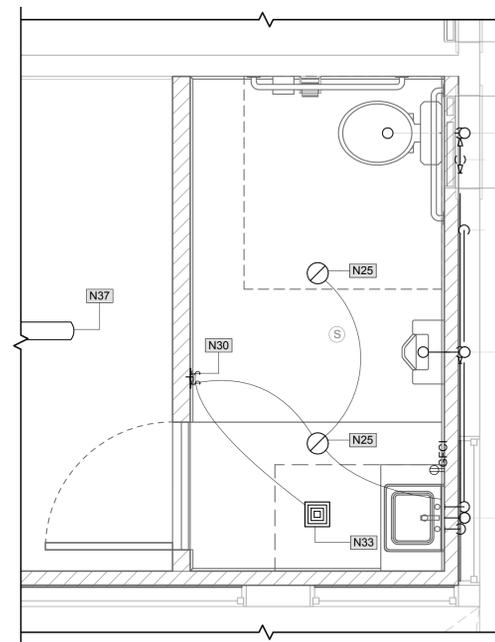
③ HOT/COLD WATER RISER



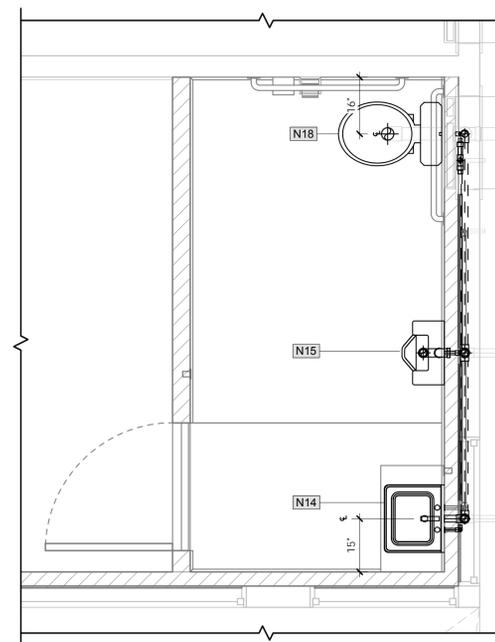
② SANITARY RISER



⑤ ENLARGED UNISEX RESTROOM - MECHANICAL  
1/2" = 1'-0"



④ ENLARGED UNISEX RESTROOM - ELECTRICAL  
1/2" = 1'-0"



① ENLARGED RESTROOM - SANITARY PLAN  
1/2" = 1'-0"



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**NEW RENOVATION**  
**SAWGRASS CABANA CLUB**  
 619 PONTE VEDRA BLVD  
 PONTE VEDRA BEACH, FL 32082

REVISIONS

#	DATE	DESCRIPTION
1	10.18.2016	OWNER COMMENTS
2	11.22.2016	REVIEW COMMENTS
3	11.22.2016	OWNER COMMENTS



DATE: 5.3.2017

SHEET: ADA UNISEX RESTROOM  
MEP

**A108.2**



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NEW RENOVATION  
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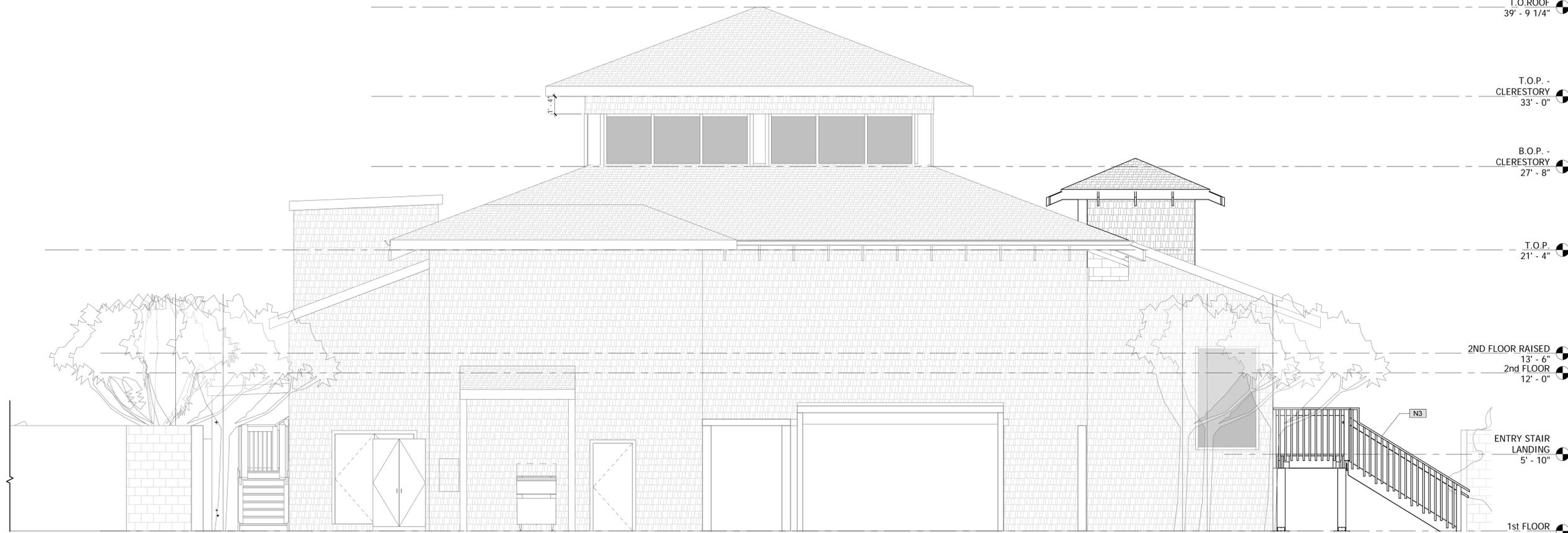


DATE: 5.3.2017

SHEET: ELEVATIONS

**A201**





② Existing Elevation - Northwest  
1/4" = 1'-0"



① Existing Elevation - Northeast  
1/4" = 1'-0"

T.O. ROOF  
39' - 9 1/4"

T.O.P. -  
CLERESTORY  
33' - 0"

B.O.P. -  
CLERESTORY  
27' - 8"

T.O.P.  
21' - 4"

2ND FLOOR RAISED  
13' - 6"  
2nd FLOOR  
12' - 0"

ENTRY STAIR  
LANDING  
5' - 10"

1st FLOOR  
0"

T.O. ROOF  
39' - 9 1/4"

T.O.P. -  
CLERESTORY  
33' - 0"

B.O.P. -  
CLERESTORY  
27' - 8"

T.O.P.  
21' - 4"

2ND FLOOR RAISED  
13' - 6"  
2nd FLOOR  
12' - 0"

1st FLOOR  
0"



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NEW RENOVATION  
**SAWGRASS CABANA CLUB**  
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PONTE VEDRA BEACH, FL 32082

REVISIONS

#	DATE	DESCRIPTION



DATE: 5.3.2017

SHEET: ELEVATIONS

**A202**



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NEW RENOVATION  
**SAWGRASS CABANA CLUB**  
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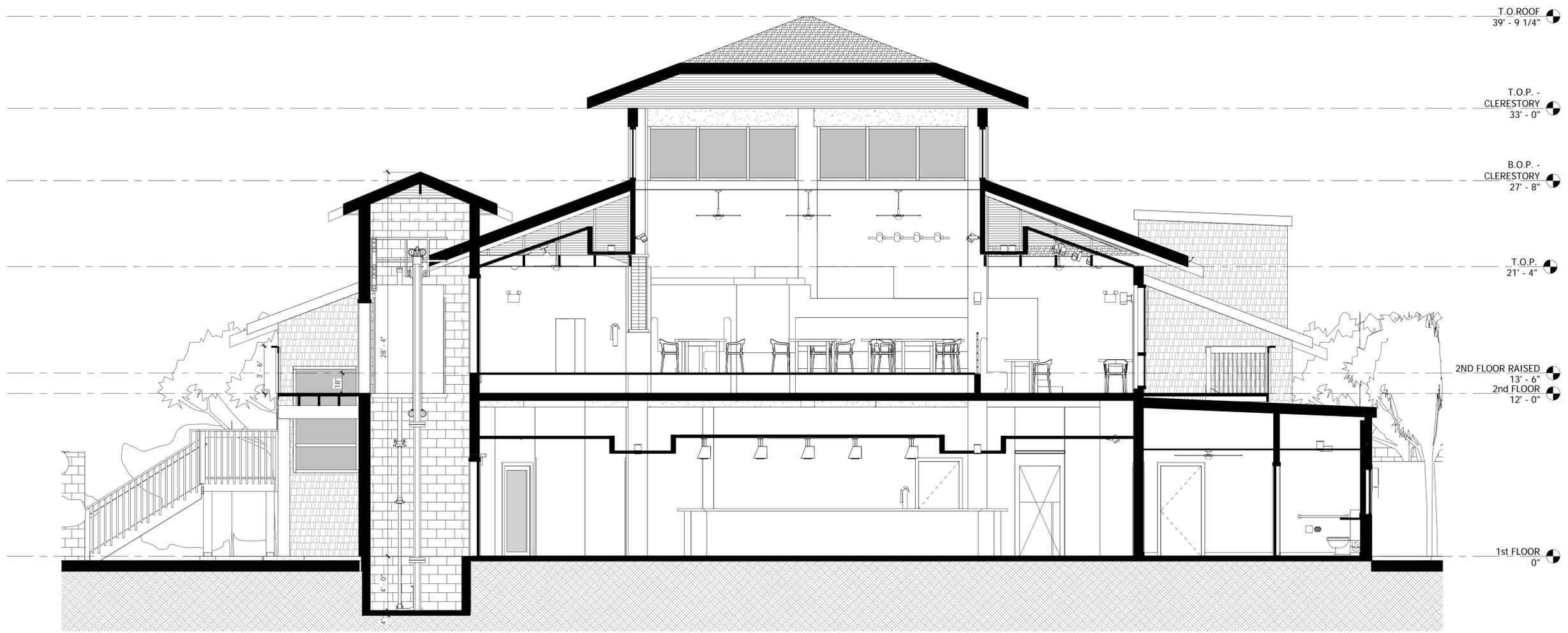
REVISIONS

#	DATE	DESCRIPTION



DATE: 5.3.2017  
 SHEET: SECTIONS

**A301**



① BLDG SECTION AT NEW ELEVATOR  
 1/4" = 1'-0"



ARCHITECTURE INC

JAA ARCHITECTURE INC.  
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NEW RENOVATION  
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REVISIONS

#	DATE	DESCRIPTION



DATE: 5.3.2017

SHEET: SECTIONS

**A302**



ARCHITECTURE INC

JAA ARCHITECTURE INC.  
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NEW RENOVATION  
**SAWGRASS CABANA CLUB**  
619 PONTE VEDRA BLVD  
PONTE VEDRA BEACH, FL 32082

REVISIONS

#	DATE	DESCRIPTION



DATE: 5.3.2017

SHEET: SECTIONS

**A303**



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REVISIONS

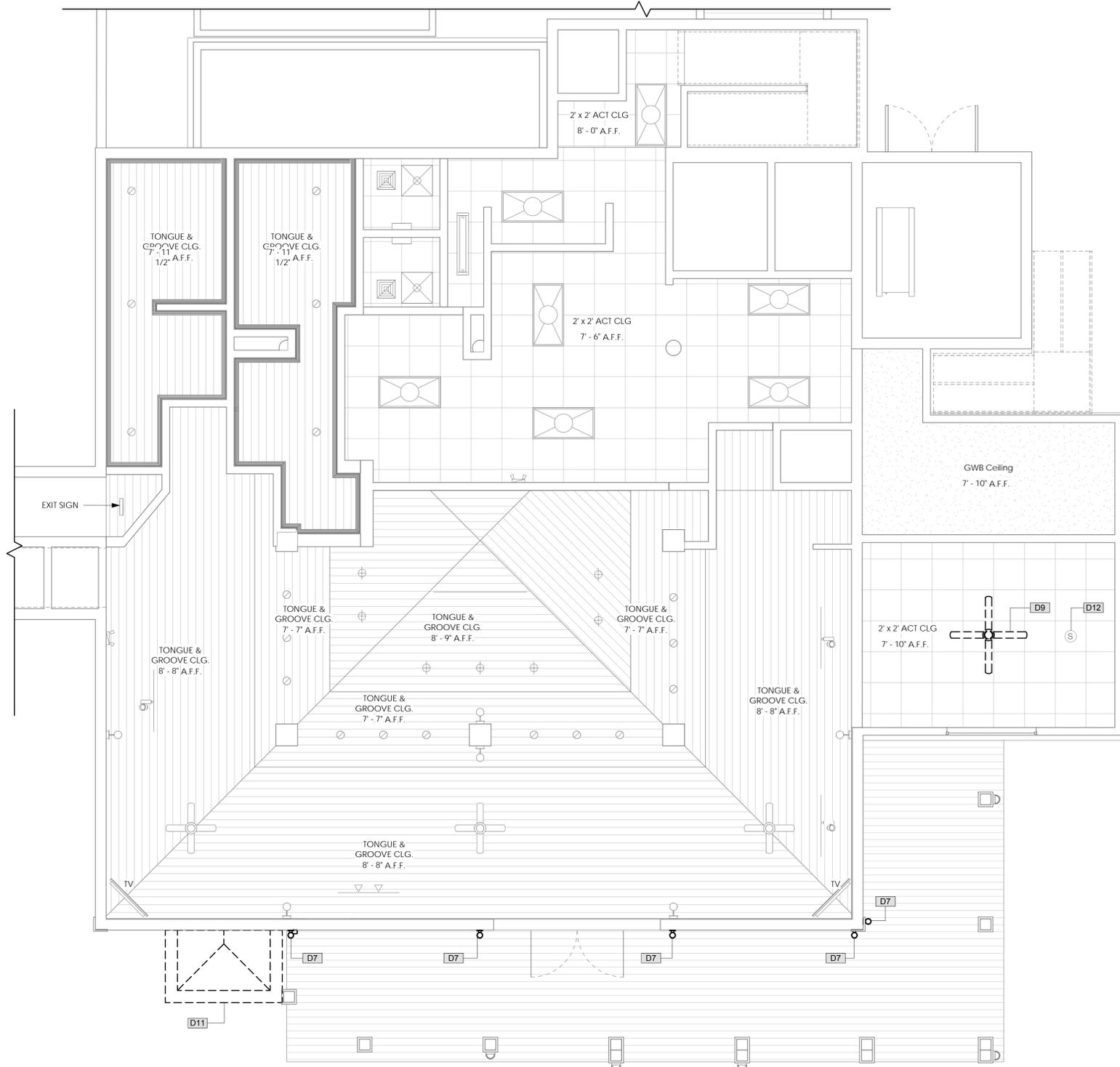
#	DATE	DESCRIPTION
1	10.18.2016	REVIEW COMMENTS



DATE: 5.3.2017

SHEET: DEMO REFLECTED CEILING PLAN - FIRST FLOOR

**A401**



GENERAL RCP NOTES

1. PATCH AND REPLACE DAMAGED ACOUSTICAL CEILING TILES AND CEILING GRID. ACOUSTICAL CEILING TILES TO BE SIMILAR TO EXISTING, ARMSTRONG, CORTEGA 704A, OR SIMILAR.
2. ANY MECHANICAL, ELECTRICAL, AND PLUMBING INFORMATION INDICATED ON THE ARCHITECTURAL PLANS IS SHOWN SOLELY FOR THE PURPOSE OF COORDINATION OF THE ARCHITECTS WORK. MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION IS BY OTHERS. THE CONTRACTOR SHALL SUBMIT DRAWINGS AND SPECIFICATIONS FOR PERMIT AND COORDINATE WITH JAA ARCHITECTURE AS REQUIRED. CONTRACTOR TO PROVIDE ENERGY CALCULATIONS IF REQUIRED FOR PERMITTING.
3. ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS SHALL BE MODIFIED IN ACCORDANCE WITH NATIONAL, STATE, AND LOCAL CODES.
4. ALL SYSTEMS SHALL COMPLY AND BE REVIEWED BY THE BUILDING OWNER. DESIGN SHALL BE IN ACCORDANCE WITH THE LATEST DESIGN CRITERIA ISSUED BY OWNER.
5. CONTRACTOR TO HOLD DUCT AND MECHANICAL EQUIPMENT TIGHT TO STRUCTURE.
6. PROVIDE ALARM STROBES AND HORN STROBES AS REQUIRED BY CODE.
7. PROVIDE EMERGENCY LIGHTING OR EMERGENCY BALLAST IN LIGHT FIXTURES AS REQUIRED TO MEET CODE REQUIREMENTS FOR EMERGENCY LIGHTING.
8. EXISTING SPRINKLER SYSTEM TO BE MODIFIED BY FIRE SPRINKLER CONTRACTOR.

RCP LEGEND

- 6" RECESSED CAN
- PENDANT, EXISTING
- SCONCE, DINING, EXISTING
- EMERGENCY LIGHTING, EXISTING
- 4' LINEAR 2 LAMP, CLG MTD, EXISTING
- 2x4 RECESSED FLUORESCENT
- TRACK LIGHTING, EXISTING
- CEILING FAN, EXISTING
- FLATSCREEN TV, CLG MTD, EXISTING

1 FIRST FLOOR RCP - DEMO  
1/4" = 1'-0"

WALL LEGEND

- EXISTING WALL
- DEMO WALL
- NEW LOW WALL
- NEW FULL HEIGHT PARTITION







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REVISIONS

#	DATE	DESCRIPTION



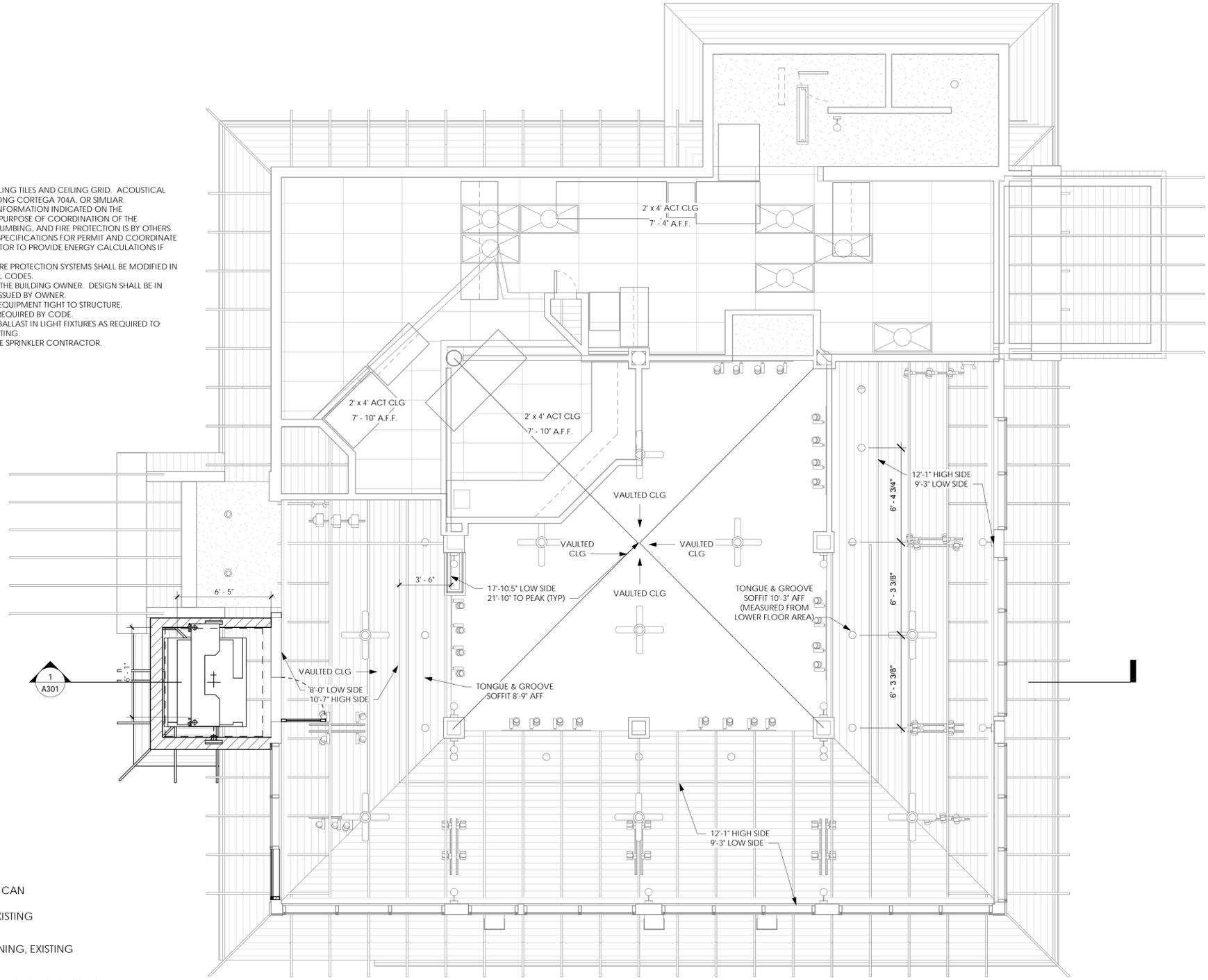
DATE: 5.3.2017

SHEET: NEW REFLECTED CEILING PLAN - SECOND FLOOR

**A403**

**GENERAL RCP NOTES**

1. PATCH AND REPLACE DAMAGED ACOUSTICAL CEILING TILES AND CEILING GRID. ACOUSTICAL CEILING TILES TO BE SIMILAR TO EXISTING, ARMSTRONG CORTEGA 704A, OR SIMILAR.
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**RCP LEGEND**

- 6" RECESSED CAN
- ⊕ PENDANT, EXISTING
- ⊕ SCONCE, DINING, EXISTING
- ⊕ EMERGENCY LIGHTING, EXISTING
- ▭ 4' LINEAR 2 LAMP, CLG MTD, EXISTING
- ⊕ 2x4 RECESSED FLUORESCENT
- ⊕ TRACK LIGHTING, EXISTING
- ⊕ CEILING FAN, EXISTING
- ▭ FLATSCREEN TV, CLG MTD, EXISTING

① SECOND FLOOR RCP - NEW  
 1/4" = 1'-0"

- WALL LEGEND**
- ▭ EXISTING WALL
  - ▭ DEMO WALL
  - ▭ NEW LOW WALL
  - ▭ NEW FULL HEIGHT PARTITION



