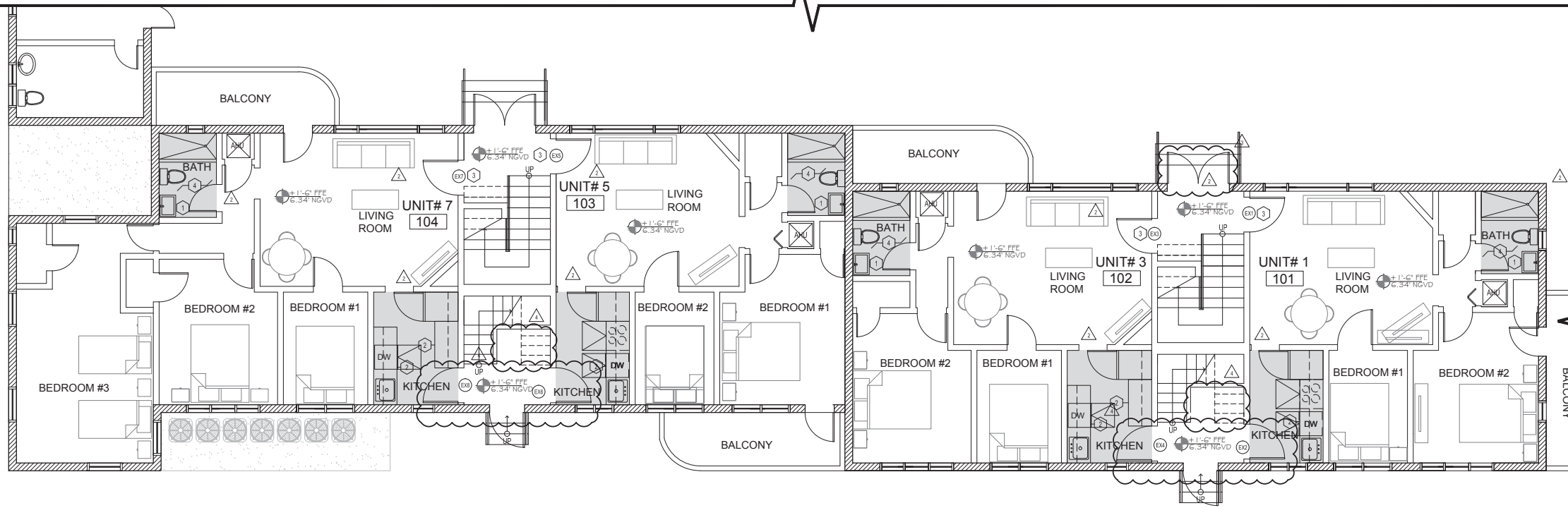


1 NORTH BUILDING GROUND FLOOR
SCALE: 3/16" = 1'-0"



2 SOUTH BUILDING GROUND FLOOR
SCALE: 3/16" = 1'-0"

CONSTRUCTION LEGEND:

- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING MASONRY EXTERIOR WALL
- TYPICAL NEW PARTITION
- NEW WINDOW
- 1-HR DEMISING FIRE RATED PARTITION

0'-0" = 4.63 N.G.V.D. 1929
FFE 1'-6" = 6.34 N.G.V.D. 1929

AREA OF WORK

- GENERAL NOTES**
1. ALL ELECTRICAL OUTLETS WITHIN 4' OF SINK SHALL BE G.F.I
 2. COORDINATE ALL NEW APPLIANCES WITH ELECTRICAL
 3. PROTECT ALL DEMISING RATED WALLS. REPAIR ANY DAMAGE.
 4. ACCESSIBILITY SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE FBC 2509 SHOWERS AND PUBLIC TOILET WALLS SHALL CONFIRM TO SECTION 1210.2 & 1210.
 5. INTERIOR FINISHES WILL COMPLY WITH FFPC 101 5TH EDITION 10.2.2.
 6. THE PROJECT IS CLASSIFIED IN ACCORDANCE WITH FFPC 101 5TH EDITION CH. 43 BUILDING REHAB.
 7. ALL NEW EQUIPMENT SHALL BE ABOVE THE REQUIRED 9'-0" OF ESTABLISHED N.G.V.D.
 8. ALL EXISTING WOOD FLOORING TO BE SANDED AND STAINED.
 9. ALL INTERIOR UNITS TO RECEIVE NEW PAINT. PATCH ANY DAMAGED WALL & CEILINGS.
 10. PROVIDE DRAFT STOPPING AT ALL PENETRATIONS FROM CRAWL SPACE TO INTERIOR BUILDING BEHIND DRYWALL.
 11. SHOWER PAN MEMBRANE MUST SLOPE 1/4" PER FOOT TOWARD DRAIN WITH NO PENETRATION LESS THAN 1" ABOVE THE THRESHOLD. F.P.C. 2709.3.
 12. ALL FLOOR ELEVATIONS ON PLANS SHOULD BE REFERRED TO N.G.V.D. 1929
 13. ANY NEW EQUIPMENT MUST BE ELEVATED NO LOWER THAN THE EXISTING FLOOR ELEVATION, OTHERWISE ALL EQUIPMENT AND MACHINERY SHALL BE LOCATED ABOVE BFE+1, 9' NGVD.

- CONSTRUCTION PLAN REFERENCE NOTES**
1. REPLACE EXISTING VANITY IN EXACT LOCATION.
 2. NEW KITCHEN MILLWORK. EXISTING SINK TO BE REPLACED AT EXACT LOCATION.
 3. REPLACE EXISTING ENTRY DOORS.
 4. BATHROOMS TO RECEIVE NEW TILE OVER EXISTING TILE.

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Interior Renovations
1536 Jefferson Avenue
Miami Beach, FL 33139
Folio: 02-3234-002-1410

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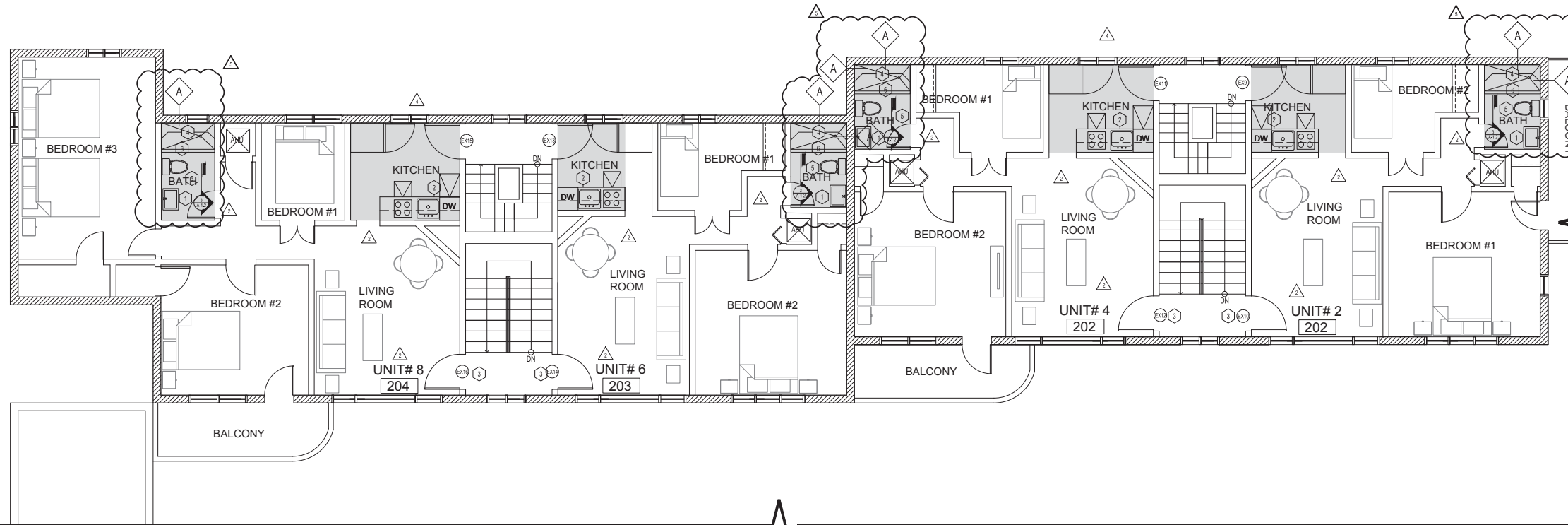
No.	DATE	ISSUED / REVISED
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2	24 JUN/16	PRELIMINARY SCHEMATIC DES.
3	05 JUL/16	SCHEMATIC DESIGN
4	15 AUG/16	BUILDING COMMENTS
5	24 AUG/16	CLIENT SCOPE CHANGE
6	03 OCT/16	BUILDING COMMENTS
7	08 DEC/16	BUILDING COMMENTS

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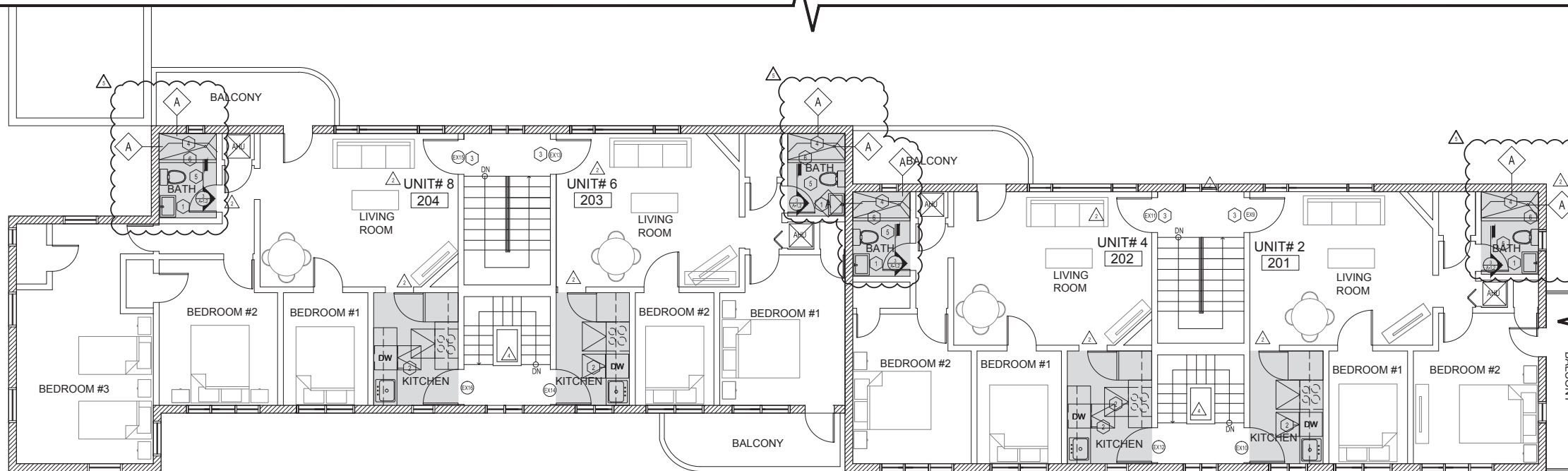
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PROJECT NO: 2016-12

PROPOSED GROUND FLOOR PLANS

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DRAWN BY: **A-1.1**
SCALE:
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1 NORTH BUILDING SECOND FLOOR
SCALE: 3/16" = 1'-0"

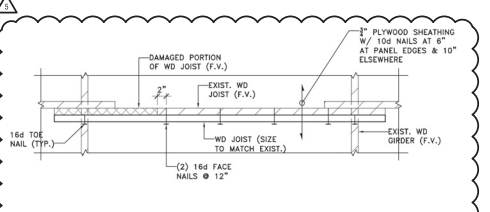


2 SOUTH BUILDING GROUND FLOOR
SCALE: 3/16" = 1'-0"

- CONSTRUCTION LEGEND:**
- EXISTING INTERIOR PARTITION TO REMAIN
 - EXISTING MASONRY EXTERIOR WALL
 - TYPICAL NEW PARTITION
 - NEW WINDOW
 - 1-HR DEMISING FIRE RATED PARTITION
 - 0'-0" = 4.63 N.G.V.D. 1929
 - FFE 1'-6" = 6.34 N.G.V.D. 1929
 - AREA OF WORK

- GENERAL NOTES**
1. ALL ELECTRICAL OUTLETS WITHIN 4' OF SINK SHALL BE G.F.I
 2. COORDINATE ALL NEW APPLIANCES WITH ELECTRICAL.
 - 3.
 4. PROTECT ALL DEMISING RATED WALLS. REPAIR ANY DAMAGE.
 5. ACCESSIBILITY SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE FBC 2509 SHOWERS AND PUBLIC TOILET WALLS SHALL CONFIRM TO SECTION 1210.2 & 1210.
 6. INTERIOR FINISHES WILL COMPLY WITH FFPC 101 5TH EDITION 10.2.2.
 7. THE PROJECT IS CLASSIFIED IN ACCORDANCE WITH FFPC 101 5TH EDITION CH. 43 BUILDING REHAB.
 8. ALL NEW EQUIPMENT SHALL BE ABOVE THE REQUIRED 9'-0" OF ESTABLISHED N.G.V.D.
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 10. ALL INTERIOR UNITS TO RECEIVE NEW PAINT. PATCH ANY DAMAGED WALL & CEILINGS.
 11. PROVIDE DRAFT STOPPING AT ALL PRENETRATIONS FROM CRAWL SPACE TO INTERIOR BUILDING BEHIND DRYWALL.
 12. SHOWER PAN MEMBRANE MUST SLOPE 1/4" PER FOOT TOWARD DRAIN WITH NO PENETRATION LESS THAN 1" ABOVE THE THRESHOLD. F.P.C. 2709.3.
 13. ALL FLOOR ELEVATIONS ON PLANS SHOULD BE REFERRED TO N.G.V.D. 1929.

- CONSTRUCTION PLAN REFERENCE NOTES**
1. REPLACE EXISTING VANITY IN EXACT LOCATION.
 2. NEW KITCHEN MILLWORK. EXISTING SINK TO BE REPLACED AT EXACT LOCATION.
 3. REPLACE EXISTING ENTRY DOORS.
 4. SHOWER WALLS TO HAVE FULL HEIGHT DUROCK WITH TILE.
 5. EXISTING WOOD FLOOR JOISTS DAMAGED BY WATER TO BE REPAIRED AS INDICATED. TYPICAL IN ALL BATHROOMS.
 6. NEW SHOWER PAN TO BE INSTALLED. SEE PLUMBING NOTES (P-2) FOR DETAIL.



3 EXIST. WD JOIST REPAIR
SCALE: NTS

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7	08 DEC/16	BUILDING COMMENTS
8	22 MAR/17	BUILDING COMMENTS

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PROJECT NO: 2016-12

PROPOSED SECOND FLOOR PLANS
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SCALE:
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Proposed Site Plan General Notes :

1. GATE SHALL HAVE SELF-CLOSING MECHANISM.
2. PROVIDE LOCK BOX WITH KEY AT FRONT GATE FOR FIRE FIGHTER ACCESS.

CLIENT :

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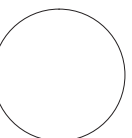
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FLORIDA ARCHITECT LICENSE AR 96133

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PROPOSED SITE PLAN

CHECKED BY :

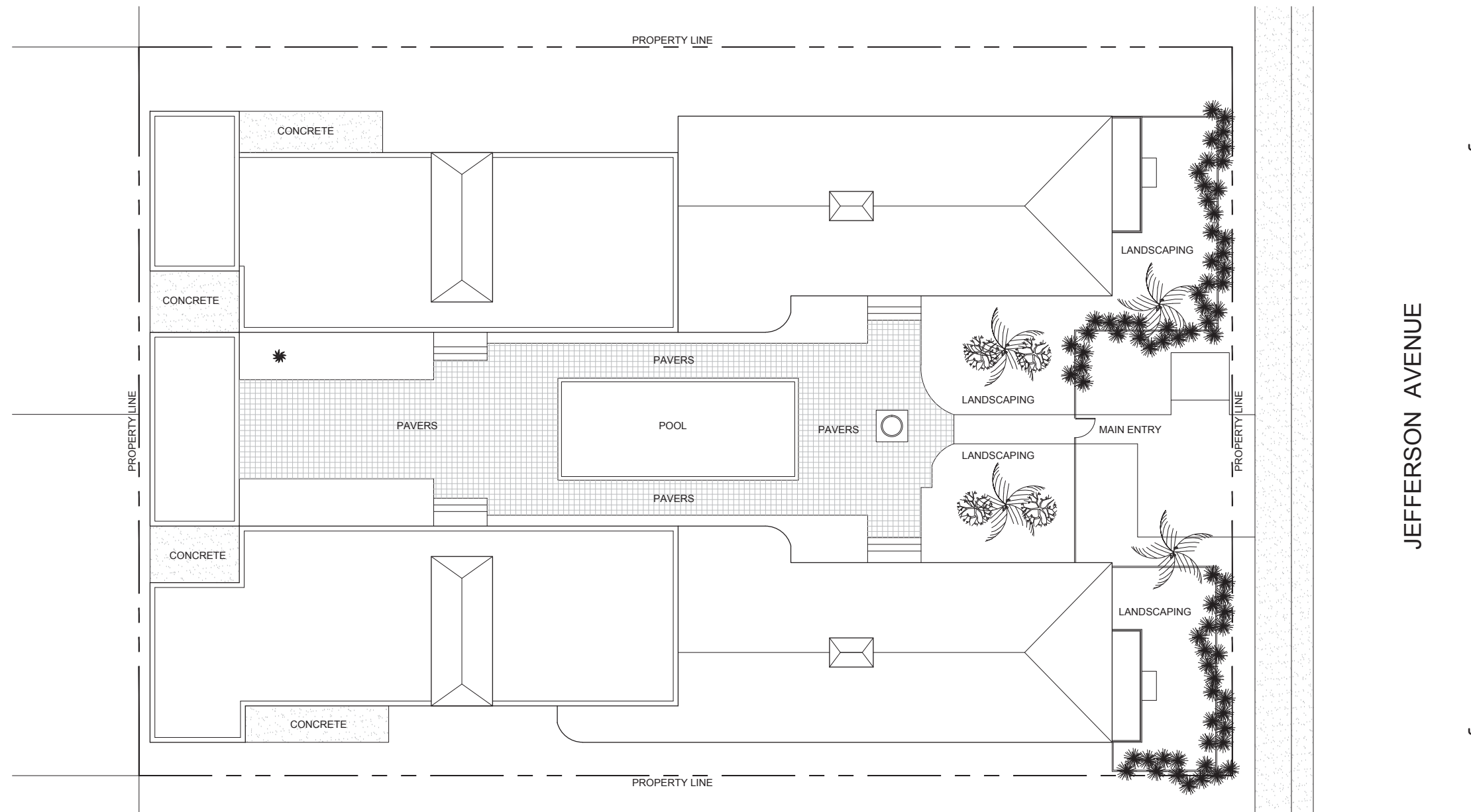
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AS-1

SCALE :

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1 ARCHITECTECTURAL SITE PLAN
SCALE : 1/8" = 1'-0"

