

## **GOLD'S GYM NORTHSIDE**

**Issue:** Vertical accessibility to an existing mezzanine.

**Analysis:** The applicant is requesting a waiver from provided vertical accessibility to an existing 3,378 square foot mezzanine in an existing 18,667 square foot building used as a fitness club. The structure was built in 1980; however, the local building department has no record of approved permitted action to construct the mezzanine. The alterations are estimated to be approximately \$50,000 with estimates of \$35,800 and \$49,000 for providing vertical accessibility to the second level. A small massage room is planned for the mezzanine, with no corresponding facility on the first floor.

### **Project Progress:**

The project is in plan review.

### **Items to be Waived:**

Vertical accessibility to an existing mezzanine, as required by Section 553.509, Florida Statutes.

553.509 Vertical accessibility. Nothing in Sections 553.501-553.513 or the guidelines shall be construed to relieve the owner of any building, structure or facility governed by those sections from the duty to provide vertical accessibility to all levels above and below the occupiable grade level regardless of whether the guidelines require an elevator to be installed in such building, structure or facility, except for:

- (1) Elevator pits, elevator penthouses, mechanical rooms, piping or equipment catwalks and automobile lubrication and maintenance pits and platforms;
- (2) Unoccupiable spaces, such as rooms, enclosed spaces and storage spaces that are not designed for human occupancy, for public accommodations or for work areas; and
- (3) Occupiable spaces and rooms that are not open to the public and that house no more than five persons, including, but not limited to equipment control rooms and projection booths.

**Waiver Criteria:** There is no specific guidance for a waiver of this requirement in the code. The Commission's current rule, authorized in Section 553.512, Florida Statutes, provides criteria for granting waivers and allows consideration of unnecessary or extreme hardship to the applicant if the specific requirements were imposed.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS  
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

**1. Name and address of project for which the waiver is requested.**

**Name:** Gold's Gym Northside

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**Address:** 2695 Capital Circle Northeast

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Tallahassee, Florida 32308

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**2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:**

**Applicant's Name:** Douglas E. Dickinson, Registered Agent, High Hill Ranch, Inc.

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**Applicant's Address:** 2695-D Capital Circle Northeast, Tallahassee, FL 32317

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**Applicant's Telephone:** 850-385-9712                      **FAX:** 850-385-5439

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**Applicant's E-mail Address:** goldsgymtally.com

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**Relationship to Owner:** Same

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**Owner's Name:** High Hill Ranch, Inc., Douglas E. Dickinson, Registered Agent

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**Owner's Address:** Same

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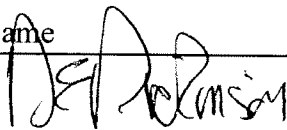
**Owner's Telephone:** Same    **FAX:**

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**Owner's E-mail Address:** Same

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**Signature of Owner:**



**Contact Person:** Michael A. Conn, Architect, Conn & Associates, Inc.

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**Contact Person's Telephone:** 850-878-8784    **E-mail Address:** mconn@connandassociates.com

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**3. Please check one of the following:**

- New construction.
- Addition to a building or facility.
- Alteration to an existing building or facility.
- Historical preservation (addition).
- Historical preservation (alteration).

**4. Type of facility.** Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

ONE-STORY, PRE-ENGINEERED METAL BUILDING BUILT IN 1980 -

APPROXIMATELY 18,667 SQUARE FEET, WITH A 3,378 SQUARE FOOT MEZZANINE

THE BUILDING IS USED AS A FITNESS CLUB.

**5. Project Construction Cost (Provide cost for new construction, the addition or the alteration):**

THE PROJECT CONSTRUCTION COST IS ESTIMATED TO BE \$50,000.00

**6. Project Status:** Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design  Under Construction\*

In Plan Review  Completed\*

\* Briefly explain why the request has now been referred to the Commission.

The City of Tallahassee's Growth Management Department has determined that the existing mezzanine is required to be handicapped accessible, and one of the following measures must be taken:

Provide vertical accessibility between floors, or seek and obtain a waiver for this requirement.

7. **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

**Issue**

1: 11-4.1.6(iii) – THE CITY OF TALLAHASSEE HAS NO RECORD OF A BUILDING

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PERMIT OBTAINED TO EXPAND THE MEZZANINE TO ITS CURRENT CONFIGURATION

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**Issue**

2:

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**Issue**

3:

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8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

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Substantial financial costs will be incurred by the owner if the waiver is denied.

COST TO PROVIDE ACCESSIBILITY TO THE MEZZANINE BY ELEVATOR IS DISPROPORTION-

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ATELY LARGE COMPARED TO THE ESTIMATED \$50,000 COST OF THE PLANNED RENOVATION

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The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

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9. **Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates.** For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

a. COST ESTIMATES OBTAINED FROM VENDORS – MOWREY ELEVATORS (\$35,800) AND

OTIS ELEVATORS (\$49,500) – NEITHER ESTIMATE INCLUDES CONSTRUCTION

OF THE ELEVATOR HOISTWAY OR PIT - ADDITIONAL EXAMPLES OF COSTS FOR

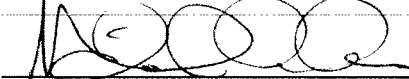
SIMILAR PROJECTS WERE OBTAINED FROM A LOCAL GENERAL CONTRACTOR.

b.

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10. **Licensed Design Professional:** Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

The estimated cost as specified on the permit is \$50,000. 20% of \$50,000 is \$10,000 which is inadequate to provide vertical accessibility.



Signature

Michael D. Conn

Printed Name

Phone number (850) 878-8784

(SEAL)



11/16/07



Monday, November 12, 2007

Quote #08-3525

ATTN: ESTIMATING

RE: **GOLDS GYM**  
**TALLAHASSEE, FL**

Quote is based on  Specifications Only  
 Drawings Only  
 Drawings & Specifications  
 Per Phone Conversation  
 Email Request

To Whom It May Concern:

We are pleased to quote the amount of **\$35,800.00** for the complete installation of **one holeless elevator** in the above mentioned building based on the following specifications:

Capacity	2000 LBS	Speed	100 FPM
Travel	9'-8"	Doors	36 X 84 single slide
Landings	Two in line	Controller	Simplex microprocessor

**SPECIAL FEATURES:**

Braille buttons  
In use lights at all hall stations  
Proximity edge  
ADA Telephone  
ME 200 cab design  
208 volt 3 phase power  
Pit ladder  
Primed frames and mica clad doors

Fireman's emergency service  
Acknowledgment lights in car station  
Position indicators in car station  
Directional arrows and arrival gongs  
Aluminum sills  
Three months new installation maintenance  
PVC  
Sill angles

Notes: Please see the attached Work Not Included statement.

**Please note, lead time to manufacture equipment is approximately 12 to 14 weeks upon receipt of approved submittals.**

Please note, this quote includes outside drilling with a pit only, if inside or off grade drilling is required a quote will be made available upon request.

Crane service and flooring is by other.

**NO LIQUIDATED DAMAGES WILL BE ACCEPTED.**

To provide a Waiver of Subrogation, please add \$400.00.

Please see the attached insurance coverage statement.

Please note, this quote is good for 60 days.

Bond, if required, add 3.5%.

Thank you for your consideration. If you should have any questions, please do not hesitate to contact this office.

Sincerely,

**Grace Bush**

Grace Bush, Sales Representative  
Mowrey Elevator Company of Florida, Inc.

**\*\* By accepting this quote you are acknowledging and accepting that this Quote, Work Not Included sheet and Insurance specification sheet will be included in all future binding contract(s)\*\***



## Work Not Included

Note to purchaser: the following list of items are usually and customarily not provided by any elevator contractor. **Our quote, this statement and our insurance statement will be included in all future binding contracts.** We include this as part of our quote to make sure there are no misunderstandings at a later date.

This proposal does not include the following work, and is conditioned on the proper performance of such work by the General Contractor or other Subcontractors.

A legal hoistway, properly framed and enclosed, and including a pit of proper depth provided with sump pump, lights, access doors and waterproofing, as required. Legal machine room, adequate for the elevator equipment, including floors, trap doors, gratings, foundations, lighting, ventilation and heat to maintain the room at an ambient temperature of 50 degree, minimum (90 degree maximum). Adequate supports and foundations to carry the loads of all equipment, including supports for guide rail brackets and machine beams or overhead sheaves (if furnished). If adjacent hoistways are utilized, divider beams at suitable points shall be provided for guide rail bracket support.

All sill supports and sill recesses and the grouting of door sills. Grouting of door frames. Provide removable temporary enclosures or other protection from open hoistways during the time the elevator is being installed. Proper trenching and backfilling for any underground piping or conduit. Cutting of walls, floors, etc., and removal of such obstructions as may be necessary for proper installation of the elevator. Setting of anchors and sleeves. Pocket or blockouts for signal fixtures. Grouting of piston. All fire caulking required to maintain fire rating.

Suitable connections from the power mains to each controller or starter as required, including necessary circuit breakers and fused mainline disconnect switches. Wiring to controller for car lighting and ventilation. Electric power without charge, for construction, testing and adjusting, of the same characteristics as the permanent supply. Wiring and conduit from life safety panel or any other monitor station to elevator machine room.

A means to automatically disconnect the main line power supply to the elevator prior to the application of water in the elevator machine room will be furnished by the electrical contractor. This means shall not be self resetting. Heat and smoke sensing devices at elevator lobbies on each floor with electrical conductors terminating at a properly marked panel in the elevator machine room. Telephone connection to elevator hoistway. Telephone connection to elevator controller (remote diagnostics - no fixture).

Proper location of Jack hole from building lines and adequate ingress and egress for mobile well drilling equipment, after final excavation and previous to the pouring of footings or foundation. Removal of all dirt and debris accumulated during excavation of the jack hole to be by the General Contractor. Mowrey will be responsible for our own debris clean up and no Clean Up charges will be accepted. Employees for composite clean up crews will not be provided. Crane service to set hydraulic cylinder by General Contractor. This quote includes a single piece piston unless specified on bid sheet. PVC pressure test. This quote includes Seismic 1 requirements unless otherwise specified on bid sheet. Waiver of Subrogation.

All painting, except as otherwise specified. Temporary elevator service prior to completion and acceptance of complete installation. Materials for adequate protection from damage to elevator. Furnishing, installing and maintaining the required fire rating of elevator hoistway walls, including the penetration of fire wall by elevator fixture boxes. Flooring by others. Rear entrances unless specified on bid sheet. Any governmentally required safety provisions not directly involved with the elevator installation. Our bid does not meet HUD prevailing wage rates or Davis Bacon rates unless specified on bid sheet. Will not accept liquidated damages. Jessica Lunsford's Act is not included unless specified.

Should unusual conditions, anything other than normal dirt, be encountered during digging the cylinder hole, Contractor will be notified immediately and written authorization to proceed shall be provided to the Subcontractor. The contract price shall be increased by the amount of additional labor at Subcontractor's usual billing rates, and the actual cost of any additional materials plus 15%.

**\*\* By accepting this quote you are acknowledging and accepting that the Quote, this Work Not Included sheet and Insurance specification sheet will be included in all future binding contract(s)\*\***







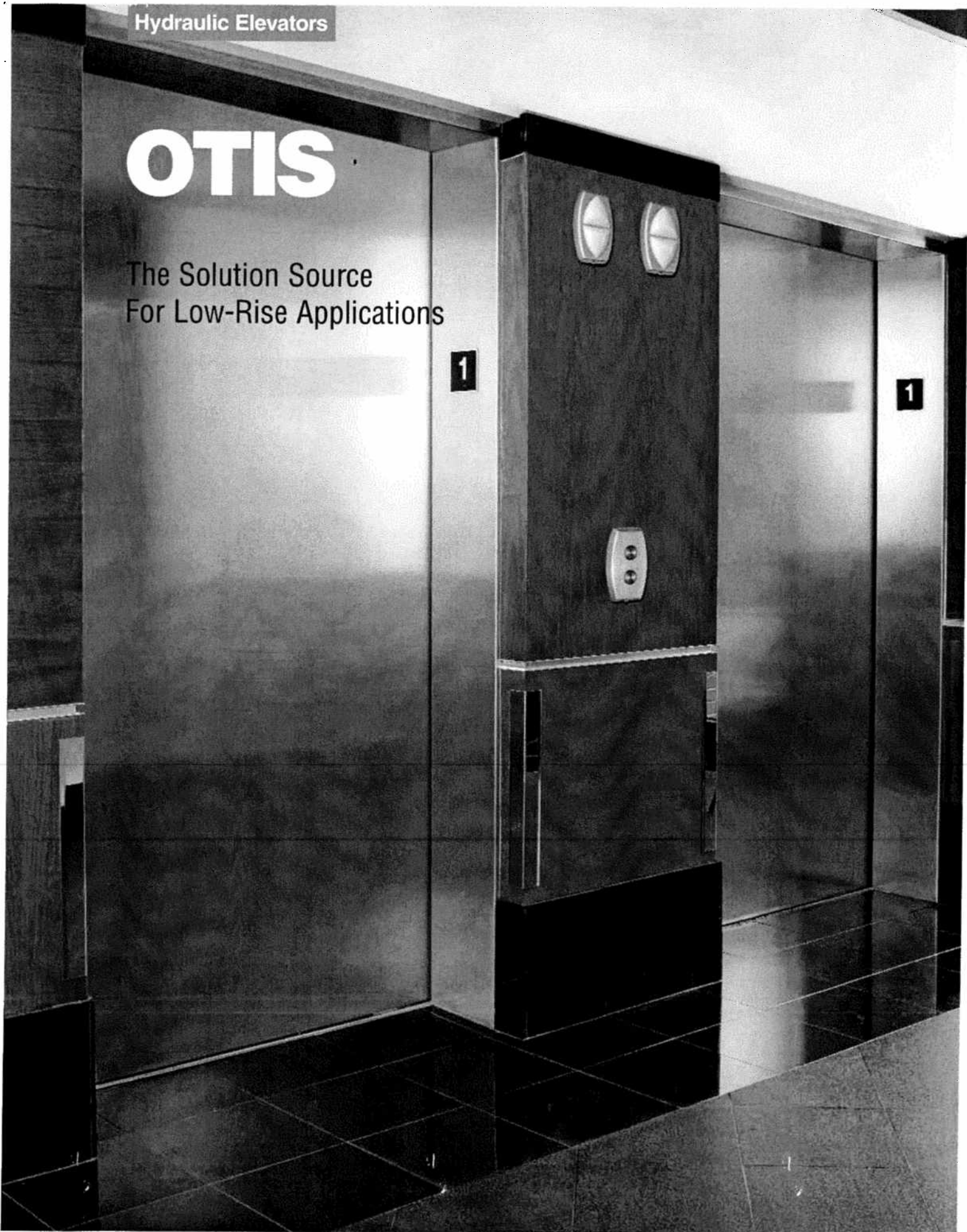
Hydraulic Elevators

# OTIS

The Solution Source  
For Low-Rise Applications

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# Otis: Leading The Way In Hydraulic Elevators

As an industry leader, Otis Elevator Company offers the most advanced hydraulic systems to meet the needs of your low-rise project.

Our E-Z Elevator Selection Process also makes it simple to choose your elevator from our full line of hydraulic systems.

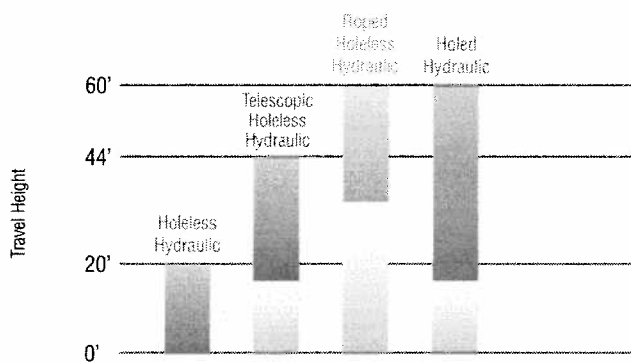
## E-Z Elevator Selection Process

### STEP 1: Travel Height

The elevator travel distance will help you select the hydraulic elevator for your project.

Use the chart below to identify the most commonly selected Otis hydraulic elevators for your specific travel heights. Colors indicate recommended range of minimum and maximum travel height.

Elevator Selection Chart



Colors indicate recommended range of minimum and maximum travel height.

### STEP 2: Elevator Quantity and Size

Determining factors include floor population, building use or type, as well as national and local codes.

Stretcher access requirements by many states include a minimum load capacity of 3,500 lbs. and side-opening doors.

For additional help in selecting proper size and number of elevators, refer to Architect's Assistant on Otis.com or contact your local Otis representative.

### STEP 3: Hoistway Requirements

Additional hoistway space is required for heavier reinforcements to rails in seismic zones 2 or greater.

Specific requirements can be determined by reviewing individual product pages in this guide.

### STEP 4: Machine/Control Room Requirements

Hydraulic systems require a separate machine room at the bottom landing.

Locate machine room adjacent to hoistway at the bottom landing or remotely.

### STEP 5: Car Design and Finishes

Otis provides design and selection flexibility with car walls, ceiling, lighting, handrails, bumper rails and fixtures.

#### General Requirements by Others

Specific requirements for factors such as power, smoke detectors, entrance-wall construction and telephones are available in the "General Requirements By Others" section of the typical layout. For more information, consult your Otis representative.

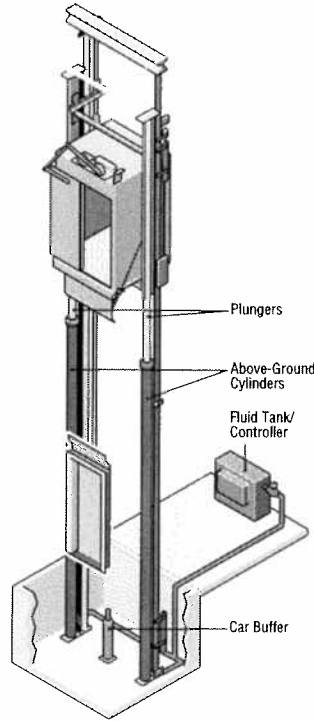
#### Standardized Installation

Relying on Otis' standardized installation process helps ensure elevator projects are completed on schedule and within budget. We also systematically visit project sites before installation to coordinate general contractor efforts with our own. This collaborative effort saves time and maintains the highest standards for safety and quality.

#### Complying with Code

All Otis hydraulic elevators comply with ASME/ANSI-A17.1 and CAN/CSA-B44; Canada Barrier-free and ADA guidelines; and ICC/ANSI-A117.1. Although local codes may vary, Otis representatives can help ensure that specific requirements are met.

# Holeless Hydraulic



**Travel Height**  
 – Maximum 20 ft  
**Maximum stops** 3  
**Speed (ft/min)** 100, 125

**Key Attributes**

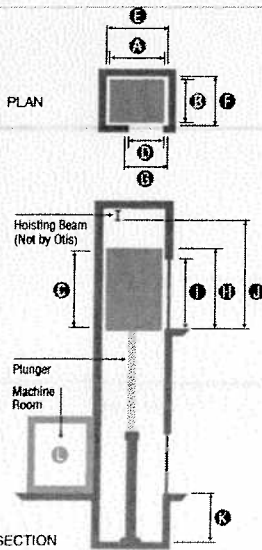
- ◆ No need for well hole drilling and its associated costs
- ◆ Above-ground solution substantially reduces risk of soil and ground water contamination
- ◆ Applicable for:
  - Hazard-sensitive sites
  - Waterfront sites
  - Existing buildings
- ◆ Available in both passenger and service elevator configurations and capacities
- ◆ Solid-state starter improves performance through precise control of electric current
- ◆ Optional:
  - Front and rear entrances
  - Ceiling height of 9'-7"
  - 8'-0" clear opening
  - Glassback
  - REM® remote elevator monitoring

**Dimensions**

Passenger elevators

Service elevators

Rated lbs.	2000	3000	2500	3000	3500	4500	5000	5000 A/A
Person Capacity	13/12	13/12	16/15	20/18	23/21	30/28	32/31	30/29
<b>Car<sup>2</sup></b>								
A Interior width	5'-8"	5'-8"	6'-8"	6'-8"	6'-8"	5'-8"	5'-11"	5'-8"
B Interior depth	4'-3"	4'-3"	4'-3"	4'-9"	5'-5"	7'-11"	8'-6"	9'-0"
C Interior height	8'-0" (Optional 9'-7")							
D Car door width	3'-0"	3'-0"	3'-6"	3'-6"	3'-6"	4'-0"	4'-6"	4'-0"
<b>Hoistway</b>								
E Width	7'-4"	7'-4"	8'-4"	8'-4"	8'-4"	7'-7"	8'-4"	7'-7"
Width in seismic zones <sup>3</sup>	7'-6"	7'-6"	8'-6"	8'-6"	8'-6"	7'-7"	8'-4"	7'-7"
F Depth <sup>4</sup>	5'-9"	5'-9"	5'-9"	6'-3"	6'-11"	9'-8"	10'-3"	10'-9"
G Rough opening width	4'-8"	4'-8"	5'-2"	5'-2"	5'-2"	5'-8"	6'-2"	5'-8"
H Rough opening height	7'-10"							
I Clear opening height	7'-0" (Optional 8'-0")							
J Clear overhead to hoist beam								
@ 100 ft/min	12'-4"	12'-4"	12'-4"	12'-4"	12'-4"	12'-4"	12'-5"	12'-4"
@ 125 ft/min	12'-7"	12'-7"	12'-7"	12'-7"	12'-7"	12'-7"	12'-8"	12'-7"
K Minimum pit depth <sup>5</sup>	4'-0" (5'-0" for Canadian Province of Ontario)							
<b>Machine Room</b>								
L Number of elevators in group	1		2		3		4	
Width x depth	5'-9" x 7'-4"		11'-6" x 8'-6"		17'-0" x 8'-6"		22'-0" x 8'-6"	



<sup>1</sup> Capacity code requirements: US/Canada.

<sup>2</sup> Interior dimensions may vary depending on interior finishes.

<sup>3</sup> In seismic zones 2 or greater.

<sup>4</sup> For cars with front and rear doors, add 9/16" to depth for 2000 to 3500 lb. capacities; add 1/2" for 4500 and 5000 lb. capacities.

<sup>5</sup> Pit depth changes based on speed: For 100 fpm, pit depth increases 1" in depth for each 1" increase in rise over 13'-7" up to 20'-0". For 125 fpm, pit depth increases 1" in depth for each 1" increase in rise over 12'-8" up to 20'-0".

The price calculation is based on the following inputs.	
Number of stops	2
Number of Cars	1
Aesthetic Package	Standard
Model	LVML 2000 Holeless Hydraulic
District	FL-01
Country	United States
Seismic Area	No

Product	Duty/speed	Machine Room Location	Car doors		Car internal sizes			Hoistway dimensions		Car opening		Pit Overhd		Machine room dimensions			
			No.	Type	W	D	H	W	D	W	H	D	H	W	D	Door	H
<b>LVML 2000 Holeless Hydraulic</b>	2000-100'	Adjacent	1	SS	5' 8"	4' 3"	8'	7' 4"	5' 9"	3'	7'	4'	12' 4"	5' 9"	7' 4"	3'	7'

The budget price per elevator is **\$49,500**  
 The calculated price for the Project is **\$49,500**

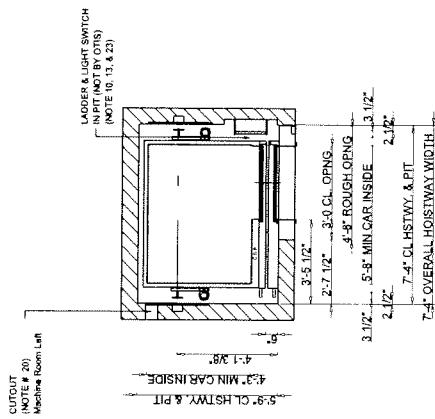
This price should be used as a budgetary guide. Selected solution and pricing may vary based upon building conditions, required options, and state and local code deviations. Please refer to Terms and Conditions.



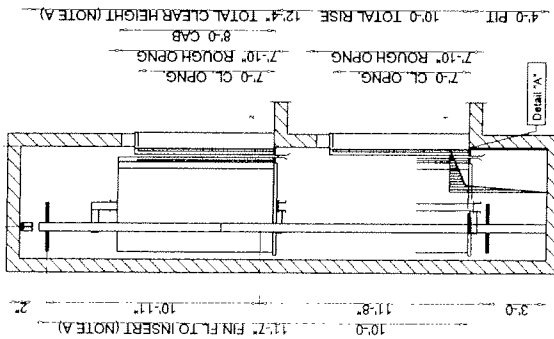
Go back to [Solution\(s\)](#)  
[Terms and Conditions](#)

STEEL SAFETY BEAM PROVISIONS FOR  
A MINIMUM NET LIVE LOAD OF  
5000 lbs. NOT BY OTIS

Rough Opening shown centered on CL Opening

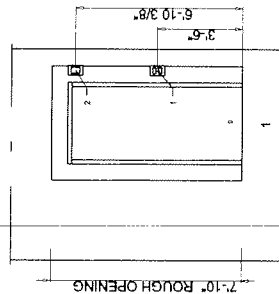


PLAN VIEW



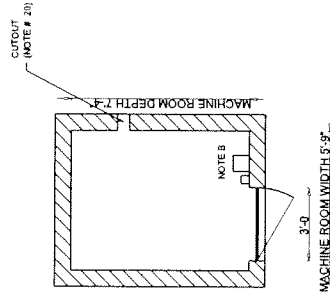
SECTIONAL ELEVATION

NOTE A:  
IF A FALL HAZARD EXISTS, INCREASE  
DIMENSION BY 5"



ENTRANCE VIEW

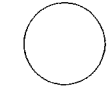
1 HALL BUTTON AT ALL FLOORS  
2 OPTIONAL HALL POSITION INDICATOR OR  
HALL LANTERN (TYPICAL LOCATION  
WITH 7' OPENING)



MACHINE ROOM

NOTE B : Main Line and Light Switch  
(Not By OTIS)

RAIL FORCE & BRACKET DETAIL		MAXIMUM BRACKET SPACING	
R1	R2	127 lbs	55 lbs
		14'-0"	



DIRECTIONAL ARROW  
INDICATE NORTH  
FOR HOISTWAY AND  
MACHINE ROOM PLAN



UNITED  
TECHNOLOGIES  
OTIS ELEVATOR

LVM 2000L  
Passenger  
Model-Indicates Hydraulic  
2000 lbs @ 100 F.P.M

APPROVAL SHEET 2 OF 2

BUILDING	Gold's Gym
LOCATION	Tallahassee 63
CONTRACT WITH	Conn & Associates, Inc. Architects
OWNER	Donald Swaby
ARCHITECT	
SEISMIC ZONE	0/1

## IMPORTANT NOTES - GENERAL REQUIREMENTS BY OTHERS

- 1 PROPERLY FRAMED AND ENCLOSED LEGAL HOISTWAY INCLUDING VENTING AS REQUIRED BY THE GOVERNING CODE AND SAFETY BEAM AS SHOWN.
- 2 ADEQUATE SUPPORT FOR GUIDE RAIL FASTENINGS NOT TO EXCEED THE VERTICAL SPACING SHOWN ON THE RAIL BRACKET CHART. SEPARATOR BEAMS WHERE REQUIRED, TO BE ERRECTED, MAINTAINED, AND REMOVED BY OTHERS.
- 3 PROVISION FOR GUARDING AND PROTECTING THE HOISTWAY DURING CONSTRUCTION TO BE ERRECTED, MAINTAINED, AND REMOVED BY OTHERS.
- 4 ALL CUTTING OR PATCHING TO ACCOMMODATE ELEVATOR INSTALLATION.
- 5 HOISTWAY WALLS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIRED FIRE RATING INCLUDING WHERE PENETRATED BY ELEVATOR FIXTURE BOXES, AND TO INCLUDE ADEQUATE FASTENINGS TO HOISTWAY ASSEMBLIES. A HORIZONTAL SUPPORT MUST BE PROVIDED 12" (305mm) ABOVE THE CLEAR OPENING AT EACH LANDING TO SUPPORT THE DOOR FRAME ASSEMBLY. THE ENTRANCE WALL AND THE FINISHED FLOOR MUST NOT BE CONSTRUCTED UNTIL THE FRAMES AND SILLS ARE SET.
- 6 FOR PRECAST OR POURED CONCRETE WALLS, PROVIDE THE ROUGH OPENING FOR HOISTWAY AS SHOWN ON LAYOUT, AND ANY GROUTING AROUND ENTRANCE FRAMES IF REQ'D.
- 7 SUITABLE MACHINE ROOM WITH LEGAL ACCESS AND MINIMUM HEIGHT OF 7'-6" (2286mm) TO BE PROVIDED. MACHINE ROOM TEMPERATURE MAINTAINED BETWEEN 60° & 100° F (15.5° & 37.8° C). RELATIVE HUMIDITY NOT TO EXCEED 95% NON-CONDENSING FOR HEATING, VENTILATION, AND AIR CONDITIONING REQUIREMENTS OTHER THAN THOSE SHOWN ABOVE REFER TO OTIS CONFIRMATION OF POWER SUPPLY FORM. MACHINE ROOM SIZE MAY VARY WITH LOCAL CODE. CONSULT YOUR OTIS REPRESENTATIVE.
- 8 A SEPARATE BRANCH CIRCUIT FOR SUITABLE LIGHT FIXTURE(S) AND CONVENIENCE OUTLETS, WITH G.F.I., IN THE MACHINE ROOM WITH THE LIGHT SWITCH LOCATED ADJACENT TO THE LOCK JAMB SIDE OF THE MACHINE ROOM DOOR.
- 9 FOR EACH ELEVATOR, A THREE PHASE ELECTRICAL FEEDER SYSTEM WITH A SEPARATE EQUIPMENT GROUNDING CONDUCTOR AND A SINGLE PHASE 120 VOLT LIGHTING SUPPLY, EACH WITH A FUSED DISCONNECT SWITCH OR CIRCUIT BREAKER, LOCATED IN THE MACHINE ROOM AND WIRED TO EACH CONTROLLER.
- 10 IN THE PIT, A SEPARATE BRANCH CIRCUIT FOR CONVENIENCE G.F.C.I. OUTLET & LIGHT FIXTURE WITH LIGHT SWITCH ADJACENT TO THE PIT LADDER.
- 11 ALL ELECTRIC POWER FOR TOOLS, LIGHT, HOIST, ETC., DURING ERECTION AS WELL AS ELECTRIC CURRENT FOR STARTING AND ADJUSTING THE ELEVATOR.
- 12 DRY PIT REINFORCED TO SUSTAIN VERTICAL FORCES OF UP TO:  
14579 LBS AT EACH BUFFER AND  
6183 LBS AT THE CYLINDER HEAD  
THE ACCUMULATION OF WATER MUST BE PREVENTED.
- 13 A FIXED VERTICAL STEEL LADDER TO PIT EXTENDING 4'-0" (1219mm) ABOVE THE SILL OF THE BOTTOM ENTRANCE AS LOCATED IN THE PLAN VIEW. LADDER WIDTH AND PROJECTION FROM WALL PER LOCAL CODE. IF PIT DEPTH IS GREATER THAN 9'-10" (3000mm) [13'-9" WITH NO FLOOR BELOW BOTTOM LANDING] A PIT ACCESS DOOR IS REQ'D.
- 14 PIT FLOOR BENEATH CYLINDERS AND BUFFER TO BE FLAT AND LEVEL WITHIN 1/8" (3mm) FULL WIDTH HOISTWAY.
- 15 ELEVATOR CAB FLOORING MUST NOT EXCEED A THICKNESS OF 5/16" (8mm).
- 16 ONE (1) DEDICATED OUTSIDE TELEPHONE LINE TO THE ELEVATOR MACHINE ROOM MUST BE FURNISHED. TELEPHONE CONNECTIONS TO EACH CONTROLLER, TELEPHONE INSTRUMENT BY OTHERS.
- 17 ALL 125 VOLT, 15 OR 20 AMP, SINGLE PHASE DUPLEX RECEPTACLES INSTALLED IN PITS, MACHINE ROOMS OR MACHINERY SPACES, SHALL BE OF THE GROUND-FAULT-CIRCUIT-INTERRUPTER TYPE.

- 18 INSTALL AND COMPLETE FIRE ALARM SYSTEM FOR ELEVATOR RECALL. MUST HAVE ONE SMOKE DETECTOR IN EACH ELEVATOR LOBBY AND ONE SMOKE DETECTOR IN THE ELEVATOR MACHINE ROOM. SMOKE DETECTOR MAY BE REQUIRED IN THE HOISTWAY DEPENDING UPON LOCAL CONDITIONS AND/OR CODES. FIRE ALARM SYSTEM MUST HAVE TWO ZONES:  
ONE ZONE FOR THE DESIGNATED LANDING, THE SECOND ZONE FOR ALL OTHER DETECTORS. IN ADDITION, THE SMOKE DETECTORS IN THE ELEVATOR LOBBIES AND MACHINE ROOM CANNOT BE TIED INTO SMOKE DETECTORS FOR THE REST OF THE BUILDING. THE ELEVATOR LOBBIES AND MACHINE ROOM MUST BE A SEPARATE ZONE FROM THE REST OF THE BUILDING. WIRING FROM FIRE ALARM PANEL MUST BE RUN IN CONDUIT TO ELEVATOR CONTROLLER. THE SMOKE DETECTORS HAVE TO BE MANUALLY RESET AFTER BEING ACTIVATED. THE SIGNAL FROM THE FIRE ALARM PANEL MUST BE A NORMALLY CLOSED CONTACT WITHOUT ANY INPUT VOLTAGE. THIS IS REQUIRED FOR BOTH ZONES.  
  
IF THE GROUP CONTAINS MORE THAN ONE HOISTWAY, AND THE HOISTWAY SMOKE DETECTORS ARE INSTALLED, OR IF THE GROUP HAS MORE THAN ONE MACHINE ROOM, PROVIDE ONE NORMALLY CLOSED CONTACT FOR EACH ELEVATOR. THE CONTACT IS TO REPRESENT THE SMOKE DETECTOR IN THE MACHINE ROOM FOR THAT PARTICULAR ELEVATOR, AND ANY SMOKE DETECTORS IN THE HOISTWAY CONTAINING THAT PARTICULAR ELEVATOR.  
  
IF SPRINKLERS ARE INSTALLED IN THE HOISTWAY, MACHINE ROOM, OR MACHINERY SPACES, LOCAL CODE MAY REQUIRE A MEANS TO AUTOMATICALLY DISCONNECT THE MAIN POWER SUPPLY OF THE AFFECTED ELEVATOR PRIOR TO THE APPLICATION OF WATER (CONFIRM WITH LOCAL CODE OFFICIAL). SMOKE DETECTORS SHALL NOT BE USED TO ACTIVATE SPRINKLERS IN HOISTWAYS, MACHINE ROOMS OR MACHINERY SPACES OR TO DISCONNECT THE MAIN LINE POWER SUPPLY.  
  
TWO (2) 6" X 6" (152mm x 152mm) CUTOUTS ARE REQUIRED (NOT BY OTIS). THE ACTUAL LOCATION OF THE CUTOUTS FOR THE TO AND FROM OIL PIPE AND ELECTRICAL TROUGH WILL VARY DEPENDENT UPON MACHINE ROOM LOCATION AND CONFIGURATION.  
  
HOISTWAY FACIA IS NOT SELF-SUPPORTING FOR LONG, CONTINUOUS RUNS VOID OF ENTRANCES. ADEQUATE SUPPORT FOR THE FACIA MUST BE PROVIDED BY OTHERS.  
  
SUMP OR DRAIN REQUIRED IN PIT (NOT BY OTIS). LOCATION TO BE COORDINATED WITH OTIS TO AVOID ELEVATOR COMPONENTS AND ACCESS AREA.  
  
HYDRAULIC PIPE TO CONFORM TO ASTM A106, GRADE B, SEAMLESS. DIMENSIONAL DATA ON LAYOUT COMPLIES WITH ASME A17.1 AND/OR LOCAL CODE.  
  
IN AREAS REQUIRING COMPLIANCE TO ASME A17.1A-2002 INCREASE HOISTWAY & PIT WIDTH BY 2.5" EACH SIDE (5" OVERALL) OR PROVIDE CUTOUT FOR PIT LADDER: (CUTOUT = 26" W X 2.5" D X (PIT DEPTH + 48") H).  
  
CONSULT YOUR LOCAL OTIS REPRESENTATIVE TO CONFIRM YOUR SPECIFIC REQUIREMENTS AND LADDER LOCATION.



**UNITED  
TECHNOLOGIES  
OTIS ELEVATOR**

LVM 2000L  
Phase 001  
Modern Hoistess Hydraulic  
2000 lbs. @ 100 F.P.M

APPROVAL SHEET 1 OF 2

BUILDING	Gald's Gym
LOCATION	Tallahassee 63
CONTRACT WITH	Conn & Associates, Inc. Architects
OWNER	Donald Swaby
ARCHITECT	
SEISMIC ZONE	0/1

## **TERMS & CONDITIONS**

Plan Your Project<sup>SM</sup> is subject to the following terms and conditions and we urge your review of this information as it applies to your project. This has been divided into two areas:

1. State & Local Modifications
2. Additional Clarifications

**Please note:** All budget pricing does not include any state or local taxes that may apply and are for new construction only. For pricing on existing buildings, please contact your local Otis representative.

### **1. STATE AND LOCAL MODIFICATIONS**

There may be state and local deviations from the standard equipment in your area. These are listed below in alphabetical order by state. Simply scroll down this list to identify any that may apply to the project in your area:

#### **Alabama**

None

#### **Alaska**

1. Seismic operation must be included in all projects in the state
2. All holed systems (3-6 stops) exclude the well hole drilling cost

#### **Arizona**

None

#### **Arkansas**

None

#### **California**

1. Seismic operation must be included in all projects in the state
  2. All projects must meet the California State Code:
    - a. Top and bottom zoned access switches are required
    - b. Unlocking devices are not allowed at each landing
  3. Equipment provided is not Title 24 compliant
- 

#### **Colorado**

None

#### **Connecticut**

Seismic operation must be included in all projects in the state

#### **Delaware**

None

#### **District of Columbia**

None

#### **Florida**

None

#### **Georgia**

1. All projects must meet the Georgia State code
  - a. Special Fireman's Service key box



### **Hawaii**

1. Seismic operation must be included in all projects in the state
2. All projects must meet the Hawaii State Code:
  - a. Include Fireman's Service Phase 1 Jewel
  - b. Include Fireman's Service Separate Fixture
  - c. Include special Fireman's Service Key Box

### **Idaho**

None

### **Illinois**

1. Two access key switches are required (Chicago local code only)
2. Fireman's Service key switch must be mounted in the door jamb.(Chicago only)
3. Parts of Southern Illinois require seismic operation. Contact your local Otis office for details.

### **Indiana**

Four counties in the Evansville area (Spencer, Warrick, Posey and Vandenberg) require seismic operation.

### **Iowa**

None

### **Kansas**

None

### **Kentucky**

Parts of Western and Southern Kentucky require seismic operation. Contact your local Otis office for details.

### **Louisiana**

None

### **Maine**

None

### **Maryland**

The state of Maryland requires that all buildings with 3 or more floors must have one elevator with a minimum 3500 lb. capacity.

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### **Massachusetts**

1. Seismic operation must be included in all projects in the state.
2. All projects must meet the Massachusetts State Code:
  - a. Top and bottom zoned access switches are required
  - b. Unlocking devices are not allowed at each landing
  - c. One elevator in the building must include EMT operation

### **Michigan**

1. All projects must meet the Michigan State Code:
  - a. Door lock bypass operation is not allowed

### **Minnesota**

1. All projects must meet the Minnesota State Code:
  - a. Access key switch is required at the top and bottom floor, hoistway unlocking device at bottom floor only
  - b. All elevators are equipped with a maximum round handrail of 1 1/2"

### **Mississippi**

None

**Missouri**

None

**Montana**

1. Seismic operation is included in all projects in the state.
2. All holed systems (3-6 stops) exclude the well hole drilling cost

**Nebraska**

None

**Nevada**

None

**New Hampshire**

None

**New Jersey**

1. Seismic operation must be included in all projects in the state
2. All projects must meet the New Jersey State code
  - a. Handrails required on side and rear cab walls.
  - b. Combination hall position indicator and hall lanterns in lieu of in car lantern required.

**New Mexico**

Seismic operation must be included in all projects in the state

**New York**

None

**North Carolina**

Seismic operation must be included in all projects in the state

**North Dakota**

None

**Ohio**

None

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**Oklahoma**

None

**Oregon**

1. Seismic operation must be included in all projects in state.
2. All holed systems (3-6 stops) exclude the well hole drilling cost.
3. All projects must meet the Oregon State Code.
  - a. Additional shut-off valve included.
  - b. Handrails (round) on rear side of cab wall.
  - c. Intercom (hands free mounted in the car top) to communicate with the station at the main landing in the hall

**Pennsylvania**

1. All projects must meet the Pennsylvania State Code.
  - a. Unlocking device key box included.
  - b. Top exit contact included.
  - c. Fireman's Service jewel included
2. Seismic operation is included in projects in the following areas: Allentown

### **Rhode Island**

1. All projects must meet the Rhode Island State Code.
  - a. Top and bottom zoned access switches are required
  - b. Ceiling required to meet the local fire code is a DC-22E
  - c. To accommodate a stretcher one car under 3500# must have single slide doors
2. Seismic operation must be included in all projects in the state

### **South Carolina**

Seismic operation must be included in all projects in the state

### **South Dakota**

None

### **Tennessee**

Seismic operation must be included in all projects in the state

### **Texas**

None

### **Utah**

Seismic operation must be included in all projects in the state

### **Vermont**

None

### **Virginia**

None

### **Washington**

1. Seismic operation must be included in all projects in the state.
2. All holed systems (3-6 stops) exclude the well hole drilling cost.
3. All projects must meet the Washington State Code
  - a. Additional shut-off valve included.
  - b. Handrails (round) on three sides of cab walls
  - c. Intercom (hands free mounted in the car top) to communicate with the station at the main landing in the hall
  - d. Special Red SES Keybox to (Seattle Code only)
4. The Uniform Building Code has a minimum car size of either a 2500 lbs. with a single slide door or a 3500 lbs. with center opening doors for buildings of 3 floors or more.

### **West Virginia**

None

### **Wisconsin**

1. All projects must meet the Wisconsin State Code
  - a. All elevators must have hangar covers (Green Bay).

### **Wyoming**

None

## **2. ADDITIONAL CLARIFICATIONS**

We propose to furnish and install a transportation system in accordance with the following terms and conditions. The term "Work" includes all work performed hereunder except for the performance of warranty and maintenance services.

**Performance of the Work**

We shall perform the Work on a timely basis. Others must furnish us with the necessary data and approvals by the dates required by us, and supply for our uninterrupted use for each elevator electric power of proper characteristics, a completed watertight code-compliant hoistway or wellway and machine room by the date(s) specified on the cover page of this proposal. You shall give our workers safe access and a safe place for performing the Work, and we reserve the right to discontinue the Work whenever this provision is violated. Others shall also arrange that others will not interfere with the Work at the site. Delay resulting from any cause beyond your or our reasonable control shall extend the time for completion of the Work.

**Maintenance**

Provided all payments due under the terms of this contract have been made in full, we shall furnish maintenance on each elevator installed for a period of three (3) months commencing upon the date of completion of the elevator or upon acceptance thereof by beneficial use, whichever is earlier. Maintenance shall consist of regular examinations, any necessary adjustments to and lubrication of the equipment, and the furnishing of the required supplies and parts. Our maintenance obligations hereunder do not include the performance of any work, including the furnishing of supplies and parts, required due to vandalism, abuse, misuse, neglect, accidents not caused by us, or any other cause beyond our control, wear and tear excepted. All parts shall be good quality and furnished on an exchange basis. Printed circuit boards used for replacement will be new or refurbished boards of comparable quality. Exchanged parts become our property. Upon your request, special examination will be made should trouble develop between regular examinations and you agree to notify us promptly of any such trouble. All work shall be performed during our regular working hours of our regular working days except for emergency minor adjustment call back service which will be provided during regular working hours and also during any overtime hours. No work or service other than that specifically mentioned is included or intended. We agree that you may assign your right to receive maintenance under this paragraph to a third party only if you obtain, in advance of any such assignment, the third party's agreement that the terms and conditions of this contract shall exclusively govern our performance hereunder. You agree that we do not assume possession or control of any part of the equipment but such remains exclusively with the owner (or lessee) thereof. The owner (or lessee) is responsible for maintenance of the premises in accordance with applicable regulatory requirements.

**Warranties**

We warrant to you that the Work performed by us hereunder shall be free from defects, not inherent in the quality required or permitted, in material and workmanship for one (1) year from the date of completion or acceptance thereof by beneficial use, whichever is earlier, of each elevator. Our duty and your remedy under this warranty are limited to our correcting any such defect you report to us within the warranty period by, at our option, repair or replacement, provided all payments due under the terms of this contract have been made in full. All parts used for repair or replacement under this warranty shall be good quality and furnished on an exchange basis. Printed circuit boards used for replacement parts under this warranty may be refurbished boards. Exchanged parts become our property. We do not agree under this warranty to bear the cost of repairs or replacements due to vandalism, abuse, misuse, neglect, normal wear and tear, modifications not executed by us, improper or insufficient maintenance by others, or any causes beyond our control. THE EXPRESS WARRANTIES CONTAINED IN THIS PARAGRAPH ARE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING ANY WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

**Changes or Extras**

We shall perform changes, modifications, additions, deletions or extras to the Work if agreed to in a writing signed by us and by you which contains the new specifications, an adjustment to the Contract Price and any adjustment to the time for completion of the Work. Unless otherwise agreed as provided herein, the Work will be performed during our regular working hours of our regular working days. We shall perform the Work at times or during days when our workers are entitled to overtime or premium rates if the time of performance and the amount or rate of payment are agreed upon in writing in advance.

**Indemnity; Insurance**

We shall indemnify and hold you harmless from damages or losses sustained by you due solely to personal injury or property damage occurring during the performance of the Work and only to the extent directly caused by our negligence or the negligence of our employees, agents or subcontractors. We shall maintain

worker's compensation and employers' liability insurance covering our liability for injury or death sustained by our employees, and comprehensive general liability insurance. Others shall insure that all risk insurance upon the full value of the Work and material delivered to the job site is maintained at no cost to us. If either party so requires, in writing, the other party shall furnish certificates of insurance evidencing the above insurance coverages.

#### **Terms of Payment**

Payments shall be as follows: (a) Monthly progress payments within thirty-five (35) days after each billing date. The amount of each monthly progress payment shall be calculated through the last day of the then current calendar month for the value of (i) the Work performed, and (ii) materials stored on or off site, less the aggregate of the previous payments and retainage. The first invoice shall include a charge for a downpayment amounting to eleven percent (11%) of the Contract Price. Retainage shall not be withheld from any extras to the Work. Retainage shall not exceed the lesser of ten percent (10%) of the amount invoiced or, if applicable, the percentage of retainage then withheld from you with respect to the Work. The aggregate retainage amount shall not increase after the total amount invoiced equals fifty percent (50%) of the Contract Price. (b) Final payment of all monies due including compensation for changes or extras, storage costs, equitable adjustments and other compensation authorized pursuant to this contract for each elevator including retainage shall be due upon completion of each elevator or upon acceptance thereof by beneficial use, whichever is earlier. Payments made more than thirty-five (35) days after billing date shall be deemed overdue and shall bear interest calculated from the billing date at the rate of one and one half percent (1.5%) per month or the maximum rate allowed by applicable law, whichever is less.

#### **Drawings**

Any drawings, illustrations or descriptive matter furnished with this proposal, are submitted only to show the general style, arrangement and approximate dimensions of the elevator offered.

#### **Storage**

Others shall be responsible for providing suitable protected storage space at the site for our material. If you are not ready to accept delivery of the material on the date the machine room is to be ready, we shall be given sufficient notice of a local point where you will accept delivery, or we may store the material within or without our factory at your risk and expense. Others shall reimburse us for all costs incurred due to extra handling and storage.

#### **Purchaser's Obligation to Facilitate Work**

In all cases, at no expense to us, others shall furnish: (1) a properly framed, enclosed and ventilated (where required), legal hoistway of the exact size specified, including, if necessary, its extension above the roof; (2) an elevator pit of proper and legal depth below the lowest landing with a convenience outlet, and, if required, drains and waterproofing, pit ladders, lights, access doors; (3) a properly lighted and ventilated fireproof machine room of sufficient size to accommodate our equipment, with proper access thereto by us; (4) a continuous bearing area at each hoistway entrance as to assure anchorage and support for each sill support angle as set forth on the Otis Shop Drawings; (5) power and light connections as set forth on the Otis Shop Drawings, and shielded wires for telephone connections; (6) suitable hoisting beams in place and any rail bracket supports, as required, in the machine room; (7) suitable steel divider beams in place, as required, in accordance with the Otis Shop Drawings; (8) machine room flooring or foundation as needed to accommodate our machinery and controller(s) as shown on the Otis Shop Drawings; (9) wall pockets for overhead beams and patching of pockets after beams are set; (10) water and standard water connections (if necessary) for equipment and outlet line for discharging excess water while cylinder well is sunk; (11) electric power of the necessary characteristics located at the hoistway and machine room to provide illumination, operation of required tools and hoists and to allow for starting, testing and adjusting the equipment.

At no expense to us, others shall also furnish and install: (1) whatever cutouts, circuit breakers, lightning arrestors, smoke detectors, or other devices as necessary to meet requirements of the governing code or authority; (2) when specified by us, emergency power requirements to enable operation of equipment on emergency (standby) power, and (3) hoistway structure required to withstand the forces and loads resulting from use of the elevator.

At no expense to us, others shall: (1) do all painting, except of elevator material, but including finish coat on hoistway doors and frames; (2) do all cutting and patching of walls, floors or partitions, together with any

repairs made necessary thereby, or caused by oversight or mistake; (3) guard and protect the hoistway at all times by whatever means is acceptable to the local safety authorities; (4) complete all work in such time as not to delay our work; (5) pay all fees that may be required in connection with the erection or preparation of the structure in which the elevator equipment is to be erected, including any general permit fees assessed on the basis of cost or type of structure, and certificate fees usually billed by any governmental agency directly to the owner, but excluding licenses fees for the installation or inspection of the elevator equipment itself, which shall be paid by Otis; (6) lift in place all machine room equipment with your crane, provided its capacity is not exceeded; (7) conspicuously identify each elevator at the main floor when Fire-Fighter's Service is required and furnish and install a suitably identified box, conspicuously located at a designated location outside the hoistway to contain the fire-fighter's key (Emergency Service key); and (8) indemnify and save us harmless against all liability growing out of others failure to carry out any of the obligations listed in this article.

We shall not be responsible in whole or in part for any pro-rata expense of electric current, for expenses of any nature relating to the rest of the building and other contractors' work, for any power factor guarantee, for the premium of any bond nor for any form of general contractors' or owners' insurance.

**Cylinder Well Excavation (if included, see State Clarifications)**

For holed hydraulics, the cylinder well will be provided by us based upon excavation through normal soil or clay which can be removed by manual digging or with a standard truck-mounted regular drilling unit. If during excavation, it is determined that a casing must be provided to retain the walls of the well, we will provide a casing as required. Removal of excavation spoils deposited at the elevator pit will not be our responsibility. If any physical obstruction or hindrance is encountered below the surface of the ground, including but not limited to boulders, rock, gravel, wood, metal, pilings, water, sand, quicksand, caves, public utilities, or any other foreign material, you will provide us with written authorization to proceed with excavation utilizing any required special excavation equipment. A daily log of time and material costs involved will be maintained and we will be compensated at our current billing rates on a time and material basis for the additional costs incurred subsequent to encountering the physical obstruction or hindrance, including costs of the special excavation equipment.

Unobstructed and egress for excavation equipment with adequate work space at the elevator pit are to be provided for us. If free access to the pit is restricted by jobsite conditions and truck-mounted equipment must be demobilized for portable use, or in the event that special cribbing is required to stabilize the excavating equipment due to the nature of the ground, others will compensate us for such special work as an additional amount to this proposal.

**Loss, Damage or Delay**

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Under no circumstances shall either of us be liable for any loss, damage or delay due to any cause beyond your or our reasonable control, including, but not limited to, acts of government, strikes, lockouts, labor disputes, fire, explosion, theft, weather damage, flood, earthquake, riot, civil commotion, war, malicious mischief, or act of God. Under no circumstances shall either of us be liable for special, indirect or consequential damages of any kind including, but not limited to, loss of profits, loss of good will, loss of business opportunity, additional financing costs or loss of use of any equipment or property, whether in contract, tort, warranty, or otherwise, notwithstanding any indemnity provision to the contrary.

**Interruption of Work**

In addition to our other rights and notwithstanding the paragraph above, we shall be entitled to equitable adjustments to the time for completion of the Work and to the Contract Price for increased costs attributable to delays beyond your or our reasonable control in the event the Work is delayed more than a total aggregate of ninety (90) days. Notwithstanding the paragraph above, others shall also compensate us for any loss of or damage to our material or the Work occurring at the erection site, unless such loss or damage results from our sole negligence or our deliberate act.

**Title and Reservation of Rights**

Title to each elevator shall pass to you when final payment for such elevator is received. In addition, we shall retain a security interest in all material furnished hereunder and not paid for in full. You agree that a copy of the Agreement may be used as a financing statement for the purpose of placing upon public record our interest hereunder in the material and to execute a UCC-1 form or any other document reasonably requested

by us for that purpose. We reserve the right to discontinue the Work at any time or to withhold the release of completed elevators until all overdue payments, with interest, shall have been made as agreed herein. Nothing shall serve to void or reduce our entitlement to payment for Work properly performed or material suitably stored. Further, if at any time upon reasonable evidence we are insecure with respect to your ability to perform your obligations hereunder, we may give notice to you to provide timely and reasonable further assurance of your ability to perform. If assurances satisfactory to us are not forthcoming promptly, we reserve the right at our option to discontinue the Work or to terminate this Agreement. Also, we shall have the right to retake possession of all or any part of the material furnished hereunder at your cost, irrespective of the manner of attachment to the realty, the sale, mortgage or lease of the premises or the prior acceptance of notes or extensions of time for payment, if such assurances are not forthcoming promptly, or in any event if any of the payments are overdue and remain overdue for a period of sixty (60) days. We shall be entitled to payment from you of our reasonable legal expenses, including actual attorneys' fees, incurred in collecting payment hereunder. For purposes of preserving our lien rights, you understand and agree that the maintenance services provided for in this contract are considered as integral to and as connected with our undertakings specified in the first paragraph hereof.

**Claims for Services**

No backcharge or claim of yours related to an alleged failure by us to meet any requirement of this contract shall be valid unless, prior to your incurring any cost related to such backcharge or claim, we are notified in writing, in detail of such alleged failure and allowed a reasonable time to correct any such failure verified by us.

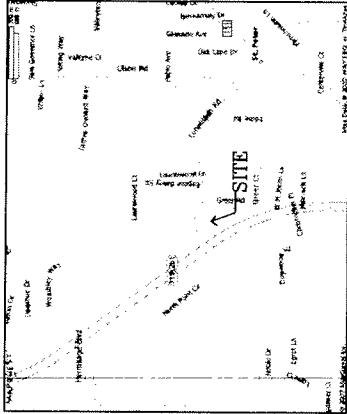
**Temporary Use**

In the event we permit temporary use of an elevator prior to completion thereof, such use shall be charged at our standard rates and shall be pursuant to the conditions in our standard temporary acceptance form to be signed in advance. Such use shall not constitute beneficial use of the elevator. Others shall be responsible for all liability or accidents arising from the temporary use and operation of the elevator and shall be responsible for providing the necessary protections, power and operational requirements for the temporary use and operation thereof.

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# GOLD'S GYM NORTHSIDE at CAPITAL CIRCLE NORTH EAST TALLAHASSEE, FLORIDA

- G1.1 COVERSHEET / INDEX OF DRAWINGS
- A1.1 EXISTING / DEMOLITION PLAN
- A2.1 FLOOR PLAN
- A2.2 ELECTRICAL / H.V.A.C. LAYOUT
- A2.3 ELECTRICAL / H.V.A.C. NOTES
- A2.4 WALL SECTION / REFLECTED CEILING LAYOUT



VICINITY MAP

**ARCHITECT**  
 CONN & ASSOCIATES, INC.  
 1960-C BUFORD BLVD.  
 TALLAHASSEE, FLORIDA 32308  
 (850) 878-8784

## BUILDING CLASSIFICATION AND DATA

### APPLICABLE CODES:

FLORIDA BUILDING CODE (FBC-B) 2004 EDITION WITH 2005 ( 2004 SUPPLEMENTS  
 FLORIDA FUEL GAS CODE (FBC-FG) 2004 EDITION WITH 2005 ( 2004 SUPPLEMENTS  
 FLORIDA PLUMBING CODE (FBC-P) 2004 EDITION WITH 2005 ( 2004 SUPPLEMENTS  
 FLORIDA FIRE PREVENTION CODE (FFPC) 2005 EDITION  
 NATIONAL ELECTRICAL CODE (NEC) 2005 EDITION

### OCCUPANCY GROUP CLASSIFICATION:

(FBC) USE GROUP A-3 ASSEMBLY  
 (FBC) EXISTING GYMNASIUM

### TYPE OF CONSTRUCTION:

EXISTING CONSTRUCTION TYPE VS  
 UN-SPRINKLERED  
 LEVEL 2 ALTERATION

### AREA CALCULATIONS:

AREA OF ALTERATIONS 1,442 S.F.

### DESIGN LOADS

EXISTING BUILDING

### WIND LOAD INFORMATION

HIGH VELOCITY HURRICANE ZONE NO  
 EXPOSURE CATEGORY, B  
 BUILDING ENCLASURE CLASSIFICATION, ENCLOSED BUILDING  
 IMPORTANCE FACTOR, I/O  
 BUILDING CATEGORY, C  
 WIND COEFFICIENT, 0.9

### PRODUCT APPROVAL

THE CONTRACTOR SHALL BE RESPONSIBLE TO THE  
 BUILDING DEPARTMENT ANY DOCUMENTATION NECESSARY  
 TO VERIFY THAT ALL PRODUCTS REQUIRING APPROVAL  
 PER FS 95.942 ARE IN COMPLIANCE

GOLD'S GYM NORTHSIDE RENOVATION AT CAPITAL CIRCLE, TALLAHASSEE, FL.

COVER SHEET / INDEX OF DRAWINGS



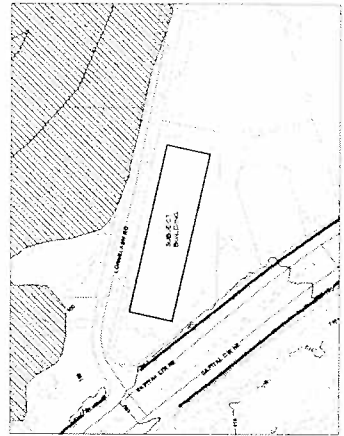
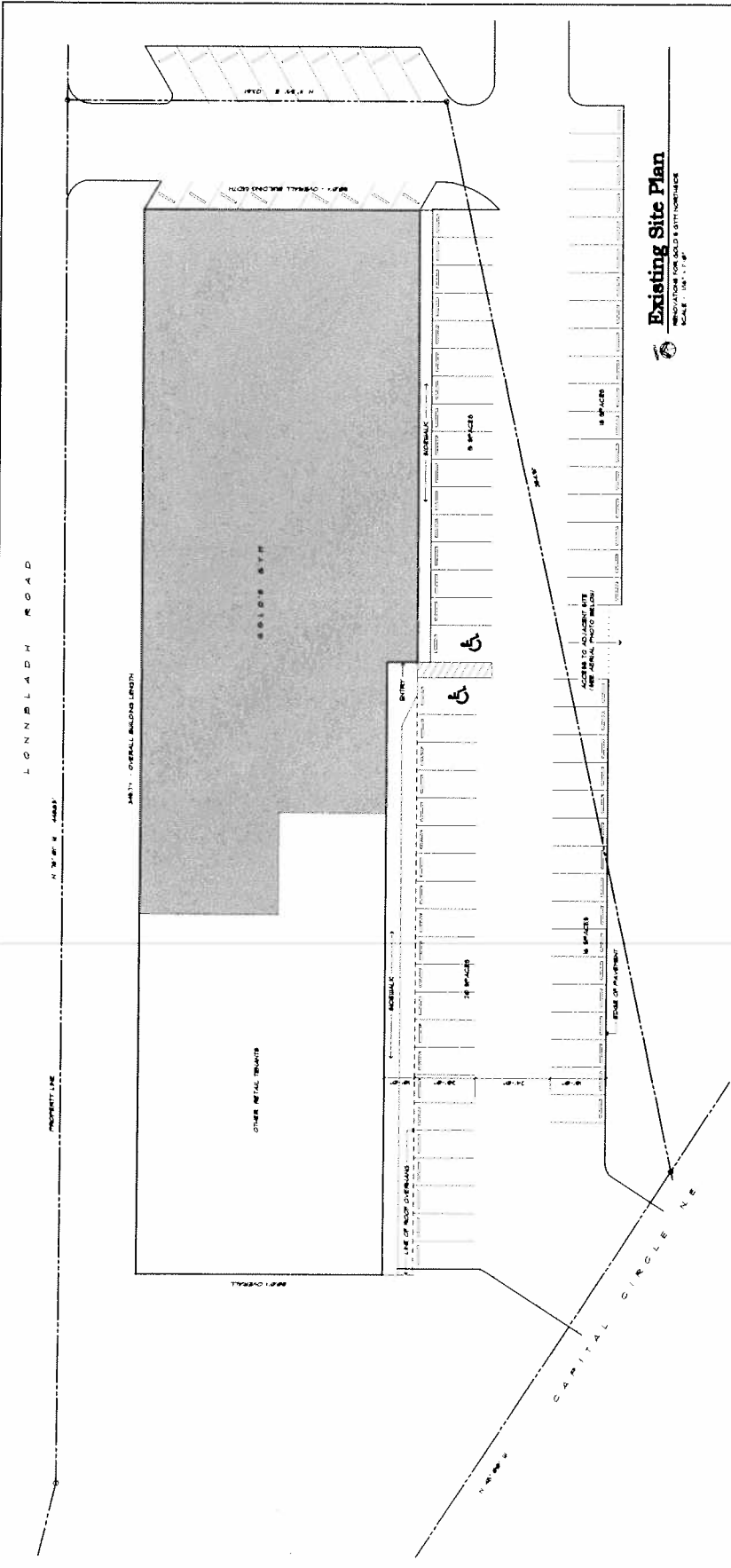
DATE	OCT 22, 2001
DESIGNED BY	B.M.
DRAWN BY	
DATE	NOV 14, 2001
PROJECT NO.	01-216
CLIENT	
PROJECT ADDRESS	
SCALE	
DATE	
PROJECT NUMBER	
PROJECT NAME	
PROJECT ADDRESS	
PROJECT CITY	
PROJECT STATE	
PROJECT ZIP	
PROJECT PHONE	
PROJECT FAX	
PROJECT E-MAIL	
PROJECT WEBSITE	
PROJECT URL	
PROJECT DESCRIPTION	
PROJECT STATUS	
PROJECT PHASE	
PROJECT BUDGET	
PROJECT COST	
PROJECT VALUE	
PROJECT RISK	
PROJECT COMPLIANCE	
PROJECT PERMITS	
PROJECT APPROVALS	
PROJECT ISSUES	
PROJECT NOTES	
PROJECT COMMENTS	
PROJECT HISTORY	
PROJECT CONTACTS	
PROJECT REFERENCES	
PROJECT SOURCES	
PROJECT TOOLS	
PROJECT MATERIALS	
PROJECT EQUIPMENT	
PROJECT SUPPLIERS	
PROJECT VENDORS	
PROJECT CONTRACTORS	
PROJECT SUBCONTRACTORS	
PROJECT ADVICE	
PROJECT GUIDANCE	
PROJECT SUPPORT	
PROJECT ASSISTANCE	
PROJECT HELP	
PROJECT INFORMATION	
PROJECT DATA	
PROJECT RECORDS	
PROJECT ARCHIVES	
PROJECT BACKUP	
PROJECT RESTORE	
PROJECT RECOVERY	
PROJECT SECURITY	
PROJECT PROTECTION	
PROJECT PRESERVATION	
PROJECT MAINTENANCE	
PROJECT REPAIR	
PROJECT REPLACEMENT	
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PROJECT RECONSTRUCTION	
PROJECT DEMOLITION	
PROJECT DESTRUCTION	
PROJECT DISASTERS	
PROJECT EMERGENCIES	
PROJECT SAFETY	
PROJECT HEALTH	
PROJECT ENVIRONMENT	
PROJECT SUSTAINABILITY	
PROJECT GREEN	
PROJECT LEED	
PROJECT WELL-BEING	
PROJECT QUALITY	
PROJECT EXCELLENCE	
PROJECT INNOVATION	
PROJECT CREATIVITY	
PROJECT IMAGINATION	
PROJECT INSPIRATION	
PROJECT MOTIVATION	
PROJECT ENTHUSIASM	
PROJECT PASSION	
PROJECT COMMITMENT	
PROJECT DEDICATION	
PROJECT DETERMINATION	
PROJECT PERSEVERANCE	
PROJECT RESILIENCE	
PROJECT FLEXIBILITY	
PROJECT ADAPTABILITY	
PROJECT OPENNESS	
PROJECT TOLERANCE	
PROJECT PATIENCE	
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EXISTING SITE PLAN / VICINITY PLAN  
 GOLD'S GYM NORTHSIDE RENOVATION AT  
 CAPITAL CIRCLE, TALLAHASSEE, FL.

**CONN ARCHITECTS**  
 ASSOCIATES  
 2221 E. UNIVERSITY BLVD. SUITE 100  
 TALLAHASSEE, FL 32310  
 TEL: 904.944.1111  
 FAX: 904.944.1112  
 WWW.CONNARCHITECTS.COM

DATE	NOV 16, 2007
DRAWN BY	D.C.B.
REVISION	
PROJECT	GT-216
SCALE	AS SHOWN
PROJECT	GT-216
SCALE	AS SHOWN
PROJECT	GT-216
SCALE	AS SHOWN
PROJECT	GT-216
SCALE	AS SHOWN

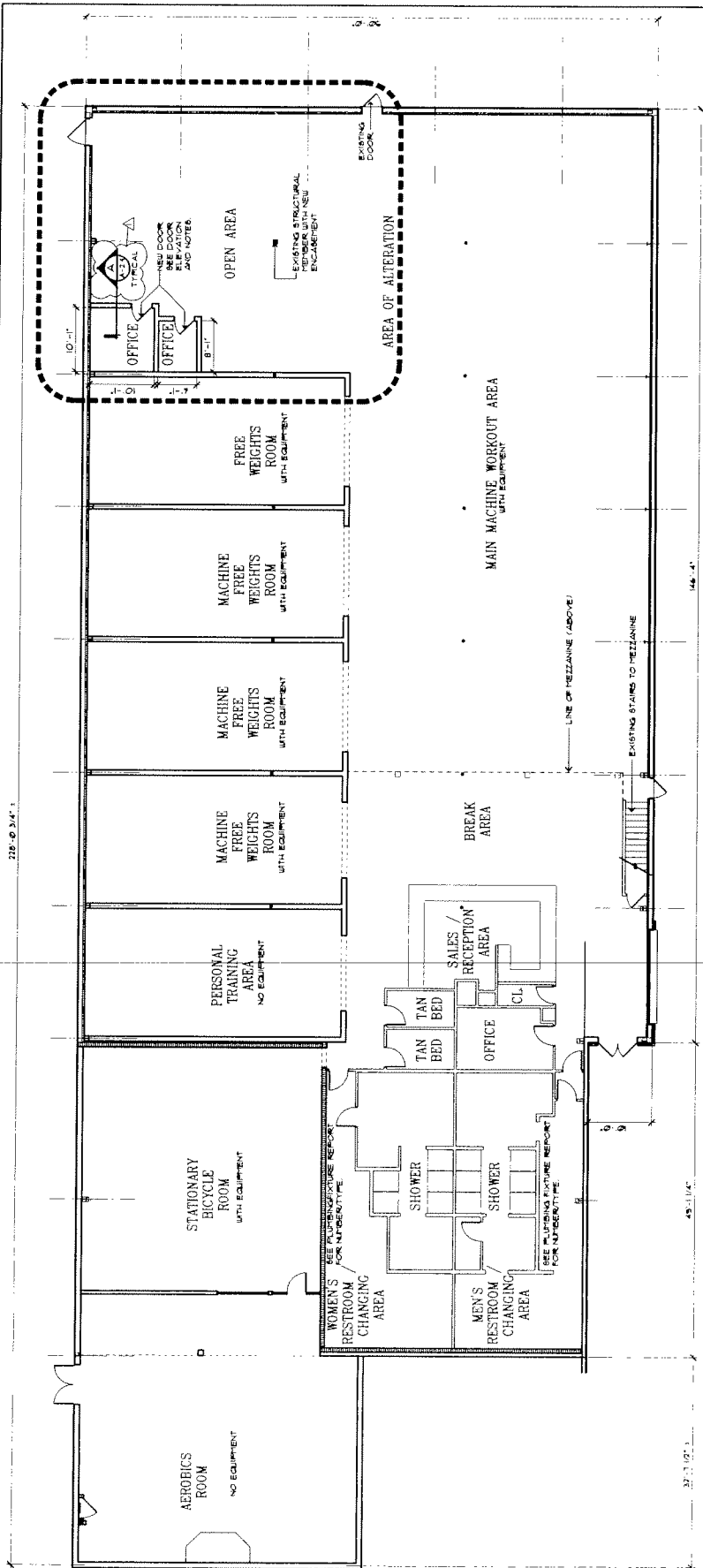


**Existing Site Plan**  
 SCALE: 1/8" = 1'-0"

**Aerial Photograph & Vicinity Plan**  
 PHOTO AND MAP BY TALLAHASSEE LEGAL COUNTY S.S. NOT TO SCALE

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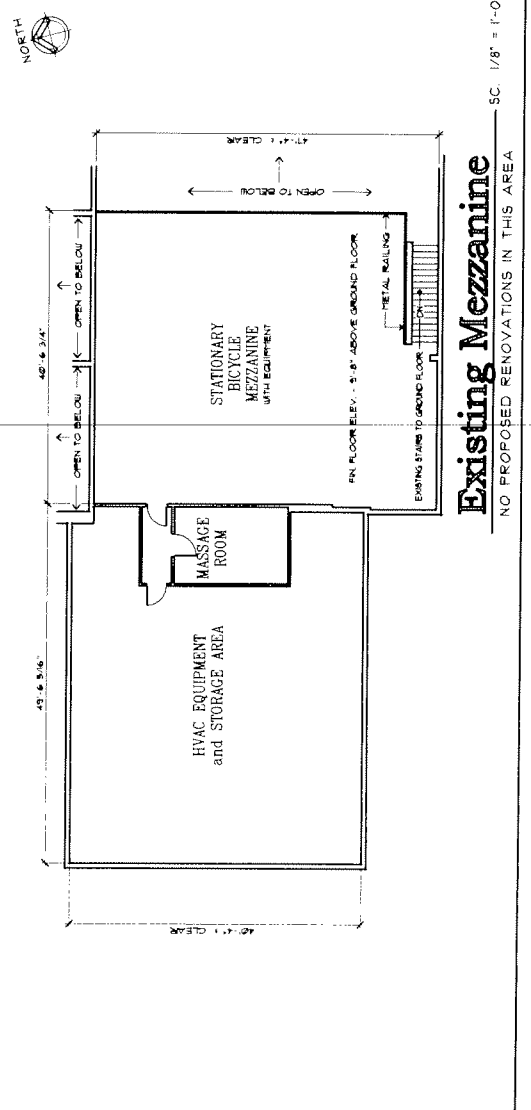


**Proposed Floor Plan** SC. 1/8" = 1'-0"  
 RENOVATIONS FOR GOLD'S GYM NORTHSIDE

EXISTING CONDITIONS AS SHOWN ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS AS SHOWN ON THE PLANS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS AS SHOWN ON THE PLANS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

- INDICATES NEW WALL, DOOR, FINISH, FIXTURE, UTILITY, ETC.
- INDICATES EXISTING WALL, DOOR, FINISH, FIXTURE, UTILITY, ETC.
- INTERIOR NON RATED STUD WALLS ARE TO BE AT BOTH EDGES PAINTED PER OWNER'S SELECTION. SEE WALL SECTION.

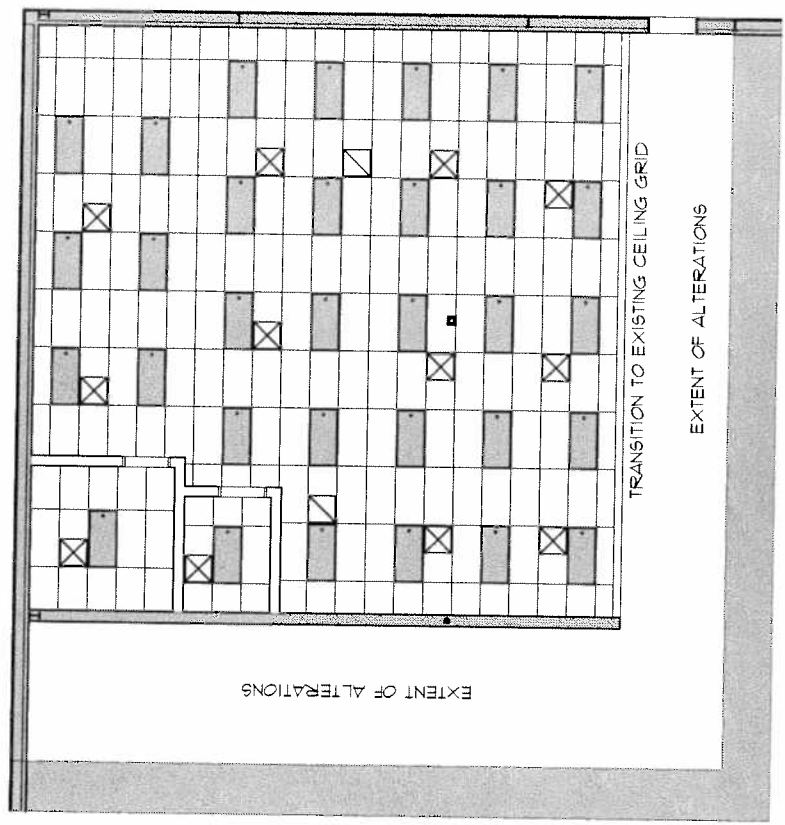


**Existing Mezzanine** SC. 1/8" = 1'-0"  
 NO PROPOSED RENOVATIONS IN THIS AREA

DATE: OCT 22, 2007  
 DRAWN BY: B.H.  
 CHECKED BY: B.H.  
 PROJECT NO.: 01-214  
 SCALE: AS SHOWN  
 SHEET NO.: A2.1





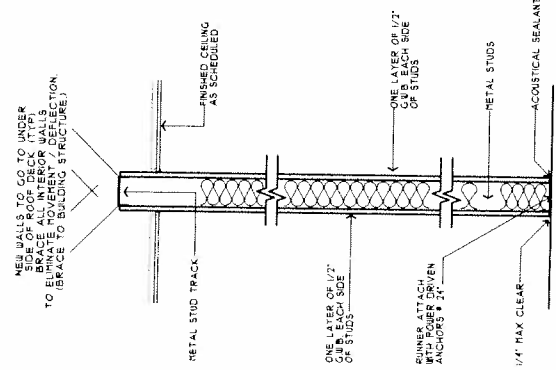


**Reflected Ceiling Layout**  
 RENOVATIONS FOR GOLD'S GYM NORTHSIDE

EXISTING CONDITIONS AS SHOWN ARE BASED ON FIELD MEASUREMENTS AND MAY VARY FROM DIMENSIONS. ACTUAL FIELD CONDITIONS SHALL GOVERN.

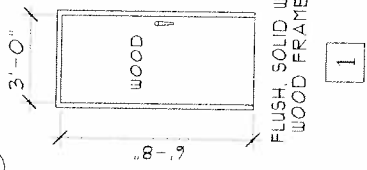
ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFYING EXISTING WORK AND FOR THE SCOPE OF WORK NOTED IN THE PROPOSED CONDITIONS AS SHOWN ON THE PLANS.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.



**Non-Rated Wall Section**  
 SC. 1/4" = 1'-0"

1. ALL DOORS TO HAVE LEVER TYPE HARDWARE.
2. FINISH, TYPE AND COLOR OF ALL DOORS AS PER OWNER SPECIFICATIONS.
3. SEE PLAN FOR NEW DOOR LOCATIONS AND SWING.
4. INSTALL TRANSITION STRIP AT THRESHOLD OF ALL NEW DOORS.



**Door Information**  
 SEE PLANS FOR LOCATION

N.T.S.

REVISIONS: ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.