

MATRIX EMPLOYEE LEASING, INC.

Issue: Vertical accessibility to the second floor of an office building.

Analysis: The applicant is requesting a waiver from providing vertical accessibility to the second floor of an existing 14,845 square foot office building undergoing a \$57,944 alteration. According to the applicant \$26, 978 will be spent on making the building accessible. The business recently employed a wheelchair user, who had difficulty using the kitchen/break room. As a result the owner modified the scope of the project to make that area fully accessible. According to the applicant, providing a lift to the second level would be disproportionate to the cost of construction although a conference provided on the second level is not replicated on the first floor.

Project Progress: The project is under construction.

Items to be Waived:

Vertical accessibility to the second floor, as required by Section 553.509, Florida Statutes.

553.509 Vertical accessibility. Nothing in Sections 553.501-553.513 or the guidelines shall be construed to relieve the owner of any building, structure or facility governed by those sections from the duty to provide vertical accessibility to all levels above and below the occupiable grade level regardless of whether the guidelines require an elevator to be installed in such building, structure or facility, except for:

- (1) Elevator pits, elevator penthouses, mechanical rooms, piping or equipment catwalks and automobile lubrication and maintenance pits and platforms;
- (2) Unoccupiable spaces, such as rooms, enclosed spaces and storage spaces that are not designed for human occupancy, for public accommodations or for work areas; and
- (3) Occupiable spaces and rooms that are not open to the public and that house no more than five persons, including, but not limited to equipment control rooms and projection booths.

Waiver Criteria: There is no specific guidance for a waiver of this requirement in the code. The Commission's current rule, authorized in Section 553.512, Florida Statutes, provides criteria for granting waivers and allows consideration of unnecessary or extreme hardship to the applicant if the specific requirements were imposed.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: Matrix Employee Leasing, Inc.

Address: 9016 Philips Hwy., Jacksonville, FL 32256

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

The Owner is the Applicant.

Owner's Name: Matrix Employee Leasing, Inc.

Owner's Address: 9016 Philips Hwy., Jacksonville, FL 32256

Owner's Telephone: (904) 739-2722 FAX: (904) 636-5760

Owner's E-mail Address: bpincket@matrixpeo.com

Signature of Owner: 

Contact Person: Brian Pincket

Contact Person's Telephone: (904) 739-2722 E-mail Address: bpincket@matrixpeo.com

3. Please check one of the following:

- New construction.
- Addition to a building or facility.
- Alteration to an existing building or facility.
- Historical preservation (addition).
- Historical preservation (alteration).

4. **Type of facility.** Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

The building is a two story building consisting of approximately 14,845 square feet. The building is used for general office use. The building was originally constructed in 1985.

5. **Project Construction Cost (Provide cost for new construction, the addition, or the alteration):**

Prior to the purchase of the building by the current owner in 2004, the property and building were used for light industrial purposes and offices related to that business. The building was in dire need of cosmetic renovations. The alterations being made by the current owner consist primarily of new paint, flooring, ceiling tiles, lighting, enlarging a few offices (moving a few internal non-load bearing walls), new doors, and renovating the kitchen-break area on the first floor.

Although the original planned alterations to the building would have cost \$98,000, due to current economic conditions negatively affecting the Owner's business and the recent experience with a wheelchair-bound employee, the Owner decided to (i) significantly limit the original planned alterations and (ii) put some of the savings generated by the alteration cutbacks into making the kitchen-break area ADA compliant, something the Owner was not required to do based on the original plans. Although the Owner previously planned to enlarge the kitchen-break area, upon seeing a wheelchair bound employee have some difficulty using the kitchen-break area, the Owner decided to make more extensive renovations to the kitchen-break area to ensure that the entire kitchen-break area is ADA compliant.

The total cost of the alterations will be \$57,944.00 (See attachment from SNC regarding Project Construction Cost). Of that amount, even before considering the cost of complying with the vertical accessibility requirement, \$26,978.64 will be spent on alterations to make the building ADA compliant (See attachment regarding "Cost of ADA changes").

6. **Project Status:** Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design Under Construction*

In Plan Review Completed*

* Briefly explain why the request has now been referred to the Commission.

The Owner believed it was entitled to the waiver of the vertical accessibility requirement based on Section 553.512(1), Florida Statutes, because requiring the owner to provide vertical accessibility based on the limited alterations the owner is making to the 22 year old building would be unreasonable and would constitute an extreme hardship. The City of Jacksonville did

not believe it had the authority to grant the waiver of the vertical accessibility requirement. The Owner has expended and will continue to expend a great amount of money to meet and exceed all other accessibility requirements under Federal and Florida law. Because the cost of the accessibility requirements the Owner has made and will make to its building (even without the cost of providing vertical accessibility) will exceed 20% of the cost of the building alterations, the Owner believes it is appropriate for the Accessibility Advisory Council to recommend to the Commission and for the Commission to grant the Owner's request to waive the vertical accessibility requirement.

The Owner wants to note that it recently hired a wheelchair bound person who worked in a one-story building located on the property. The owner saw that that employee used the kitchen-break room with some difficulty because the 22 year old room was not ADA compliant. The Owner then decided to renovate the kitchen-break room to make it fully ADA complaint.

7. Requirements requested to be waived. Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue

1: Section 553.509, Florida Statutes, provides that nothing in Sections 553.501 – 553.513 shall relieve an owner from the duty to provide vertical accessibility to all levels above and below the occupiable grade level.

Section 553.512(1), Florida Statutes, provides that the Florida Building Commission may grant individual modifications of, or exceptions from the literal requirements of Section 553.509, Florida Statutes, upon a determination of unnecessary, unreasonable, or extreme hardship, provided such waivers shall not violate federal accessibility laws and regulations and shall be reviewed by the Accessibility Advisory Council.

Federal law, including the Americans with Disabilities Act Accessibility Guidelines do not require vertical accessibility to the second floor of a two (2) story building when alterations of the type being made by the Owner are made to a building.

A waiver is appropriate in this matter because the vertical accessibility requirement, as applied to this matter, is unnecessary, unreasonable, and would constitute an extreme hardship.

8. Reason(s) for Waiver Request: The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

[X] Substantial financial costs will be incurred by the owner if the waiver is denied.

The Owner has expended and will continue to expend a great amount of money to meet and exceed all other accessibility requirements under Federal and Florida law. The cost of the accessibility requirements the Owner has made and will make in the process of altering its building will exceed 20% of the cost of the building alterations.

The total cost of the alterations to the building will be \$57,944.00. Of that amount, approximately \$26,978.64 will be or has been spent on alterations to make the building compliant with the disability act guidelines. Because the cost of alterations that comply with the disability guidelines exceeds 20% of the total cost of the renovations, even without complying with the vertical accessibility requirement, the Owner believes it meets the requirements for the vertical accessibility waiver.

[X] The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

See construction estimate attachments to this Request from Sport Nobles Construction, Inc. and Extreme Production Construction, Inc.

9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

See construction estimate attachments to this Request from Sport Nobles Construction, Inc. and Extreme Production Construction, Inc.

10. Licensed Design Professional: Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

N/A

Signature

Printed Name

Phone number _____

(SEAL)

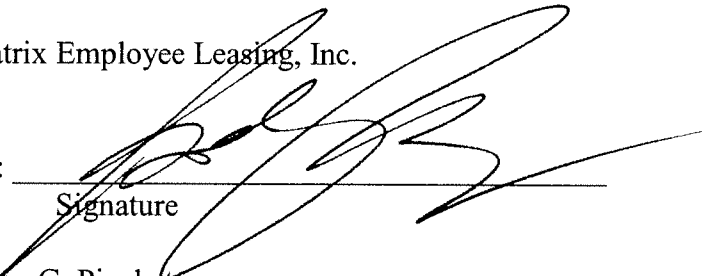
CERTIFICATION OF APPLICANT:

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 7th day of November 2007.

Applicant:

Matrix Employee Leasing, Inc.

By: 
Signature

Brian G. Pincket
Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

SNC Sport Nobles Construction, Inc.

Custom Builder

October 15, 2007

Project: Matrix Employee Leasing
9016 Phillips Hwy.
Jacksonville, FL 32256

Type of Facility:

- square footage- 14,848.8
 - number of floors - 2
 - Occupancy – group B Business
 - Type of construction – type II B
 - Classification of work – alteration –level II
 - Sprinklered – no
 - Number of stories – 2
-

Project construction cost:

- Original contract price - \$98,000.00
 - Adjusted contract price - \$57,944.00
 - All alterations were reduced to 2216.4 sf
 1. No electrical labor was completed for 2216.4 sf (\$11,082.00)
 2. No ceiling was completed for 2216.4 sf (\$9,418.00)
 3. No flooring was completed for 2216.4 sf (\$7,756.00)
 4. No lighting materials purchased for 2216.4 sf (\$11,800.00)
-

SNC Sport Nobles Construction, Inc.

Custom Builder

October 31, 2007

Project: Matrix Employee Leasing
9016 Phillips Hwy.
Jacksonville, FL 32256

Re: Cost of ADA changes

- 1) 9 interior doors were widened to 3.0
 - a) Doors \$2,700.00
 - b) Labor to demo and install doors \$1,120.00
 - c) Trim for doors \$320.65
 - d) Paint \$410.00
 - e) 9 door handles (ADA compliant) \$31.95 each = \$287.55
 - f) Labor to install door handles \$37.50 each = \$337.50
- 2) Complete renovation of kitchen to meet ADA compliance
 - a) Kitchen cabinets \$5,000.00
 - b) Countertops \$2,085.00
 - c) Plumbing Labor \$1,700.00
 - d) Plumbing materials (new sink, faucet with ADA protection) \$487.50
- 3) Flooring
 - a) New tile 448 sf x \$4.25 per foot = \$1,904.00
 - b) Labor to install \$3.50 sf x 448 = \$1,568.00
- 4) Trash
 - a) 2 dumpsters \$650.00
- 5) Drywall
 - a) Demo, hang and finish \$2,212.00
 - b) Paint \$1,700.00

The total ADA upgrades for this project is \$22,482.20 + contractor fee 20% = \$4,496.44

Total = \$26,978.64

Extreme Production Construction Inc.

108 Sorrel Street
Middleburg, Fl. 32068

904-838-7283
904-291-8251 fax

Construction Estimate

Date: 9-4-07

Estimate # 32072

Matrix Employee Leasing

9016 Phillips Highway

Jacksonville, Fl 32256

This estimate is for providing a chair left for a two story building at 9016 Phillips hwy.

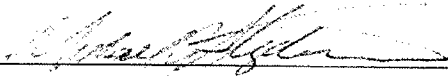
1. Demolition; cut and remove floor at location provided on plans. Also remove seconded story floor.
2. Foundation; provide all necessary materials that engineering has provided on plans such as concrete ,dowel rods,
3. Structural framing; all framing to consist of metal studs.
4. Doors; doors are being provided for the access to the chair lift.
5. Drywall; gypsum wallboard will be used to enclose the chair left shaft.
6. Painting; all painting to match existing paint or i.e.
7. Electrical; to be provided by a licensed electron.
8. Trust chair t left;
9. Project Management;
10. Site supervision;

Extreme Production Construction Inc.

108 Sorrel Street
Middleburg, FL 32068

904-838-7283
904-291-8251 fax

Subtotal	\$38,662.70
Contractor's fee	<u>7,732.54</u>
Estimate total	\$46,395.24



Signature
Mike Stephenson

President
Extreme Production Construction Inc.

Date

Signature

Date

Printed

Phone

Signature

Date

Printed

Phone

SNO Sport Nobles Construction, Inc.

Custom Builder

P.O. Box 1203
Middleburg, FL 32050

904 282 8974
904 282 8950 (f)

www.sportnobles.com
CBC 1253798

Construction Estimate

Date: 9/6/2007

Estimate #: 071002

Owner
Matrix Employee Leasing
9016 Phillips Hwy Jacksonville, FL 32256

Project
Complete installation of Trust T chair lift system

Date of Estimate: 9/6/2007
Estimate valid until: 11/6/2007

Division 1 General Requirements		\$2,226.00
01-01	Plans	
01-02	Permit Obtain Building Permit for improvements and insure all work performed meets building code requirements and passes all inspections required by local and state officials.	
01-200	Waste Will provide roll off container that will be placed on site for removal of all job demo and debris	
01-100	Facilities Provide portable toilet for use by construction worker.	
01-05.1	Property protection	
01-05	Project management Schedule tasks, coordinate delivery and installation, order materials, purchase labor and material, pay vendors and subcontractors, send and file notices, process draw requisitions, account for all job cost, and facilitate job momentum.	\$336.00
01-05.2	Site Supervision Protect owners property, arrange for delivery and storage of all materials, require all subcontractors to have adequate supervision, ensure safety of work performed on site	\$1,890.00
01-07	Engineering Have owners plan reviewed and stamped by registered FI engineer.	

Division 2 Site Work		\$3,280.00
02-02	Clean up	
02-05	Landscaping Materials	
02-07	Demolition Cut slab, remove debris, scaffolding system, demo 2nd floor wall	\$3,280.00
02-08	Excavation	
02-112	Shoring	
02-123	Site Drainage	
02-200	Driveway	

Division 3 Concrete		\$1,680.00
03-01	Foundation 4 yds concrete, dow rods epoxy into existing footer, pour small ramp to receive lift	\$1,680.00
03-03	Footers	
03-120	Foundation repair	
03-279	Concrete patio	

Division 4 Masonry		
04-018	Unit Masonry Brick/Block	
04-03	Masonry Mortar	
04-094	Masonry Concrete	
04-200	Block foundation	

Division 5 Metals		\$2,700.00
05-01	Structural Metal Framing	\$2,700.00
05-02	Metal tie down	

Division 6 Woods and Plastics		
06-01	Rough Carpentry	
06-02	Cornice & Exterior trim	
06-03	Siding	
06-04	Lumber	
06-096	Framing Package	
09-097	Trim Package	
06-104	Finish Carpentry	
06-105	Cabinets & Vanities	
06-115	Counter tops	
06-04	Interior Doors	

Division 7 Elements Protection	
07-026	Insulation
07-042	Shingles & Roofing tiles
07-090	Flashing & Sheet Metal

Division 8 Doors and Windows		\$1,132.92
08-01	Windows and Doors	
08-04	Exterior Doors	
08-05	Interior Doors	\$516.42
	Labor for interior doors	\$616.50

Division 9 Finishes		\$3,800.00
09-082	Gypsum Wallboard	\$2,650.00
	cover shaft and all drywall patching on second floor to enclose lift *Per Florida building code any lift over 5 ft is required to be enclosed	
09-141	Acoustical Treatment	
09-169	Painting	\$1,150.00

Division 10 Specialties		\$13,675.00
10-001	Electrical	\$2,725.00
	Install Trust T chair lift	
10-001	Cost of Trust T chair lift	\$10,950.00

Division 16 Electrical		\$3,725.00
16-200	Electrical Power	\$3,725.00
	Install sub panel with disconnect / adaptable for battery backup	

Subtotal		\$32,218.92
Contractor's Fee	15%	\$4,832.84
Estimate Total		\$37,051.76

Sport Nobles Construction, Inc.	
Signature _____	Date _____
Sport Nobles President, Sport Nobles Construction	

Owner(s)		
Signature _____	Signature _____	Date _____
Printed _____	Printed _____	Date _____
Address _____		
Telephones _____		
Daytime Phone: _____		
Evening Phone: _____		
Cell Phone: _____		

Home modification for independent living



6419 Jack Wright Island Rd
St. Augustine, FL 32092
Florida License CG C061705
904-522-1144
(Cell) 904-868-4319

October 16, 2007

To Sport Nobles Construction
Fax: 904-282-8950

From Allen Benson
Shoreline Building & Const, Inc, albenson@bellsouth.net
Fax 904-522-1344

Regarding: TrustT Chair Lift.

Mr Nobles:

Per your request, this is a proposal to provide a TrustT Commercial lift from RAM Manufacturing.

The General Specifications are:

Lifting height	144 inches
Deck length	54 inches
Deck Width	34 inches
Tower Height	166 inches
Capacity	550 pounds
Lift Speed	8 Feet/minute

This quote includes a battery backup, interlocks for the upper and lower doors and delivery to your job site

Not included in this quote is site construction. These requirements include, but are not limited to: Shaft enclosing the lift (required for lifts over 5 feet), foundation for the lift, electrical requirements for powering the lift, doors at the upper and lower stations (on which the interlocks will be installed).

Cost of this unit delivered to your site is \$10,950.

Manufacture and delivery takes 3 to 5 weeks from your authorization

A handwritten signature in cursive script that reads "Allen Benson".

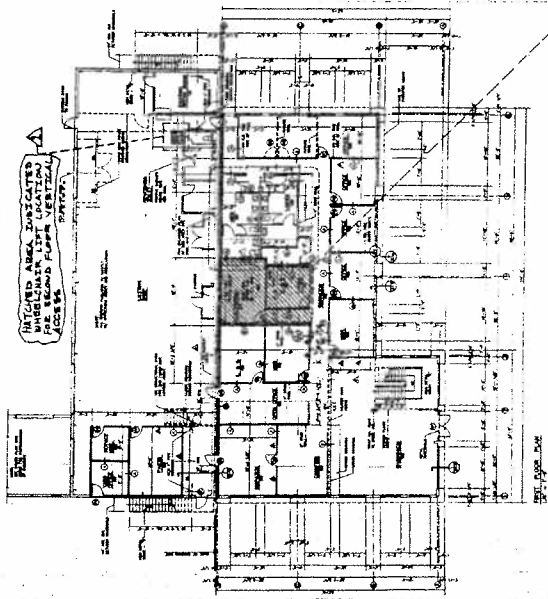
Allen Benson
Shoreline Building & Const, Inc

Matrix

Employee Leasing, Inc.

9016 Phillips Hwy.

Jacksonville, Florida 32256



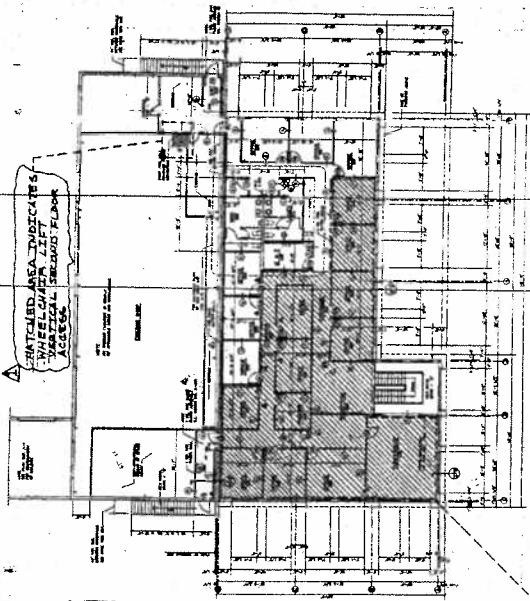
KEY PLAN - FIRST FLOOR
SCALE: 1/8" = 1'-0"

HATCHED AREA INDICATES
LOCATIONS OF UNBELLINCHER
LIGHTS AND VERTICAL
ACCESS.

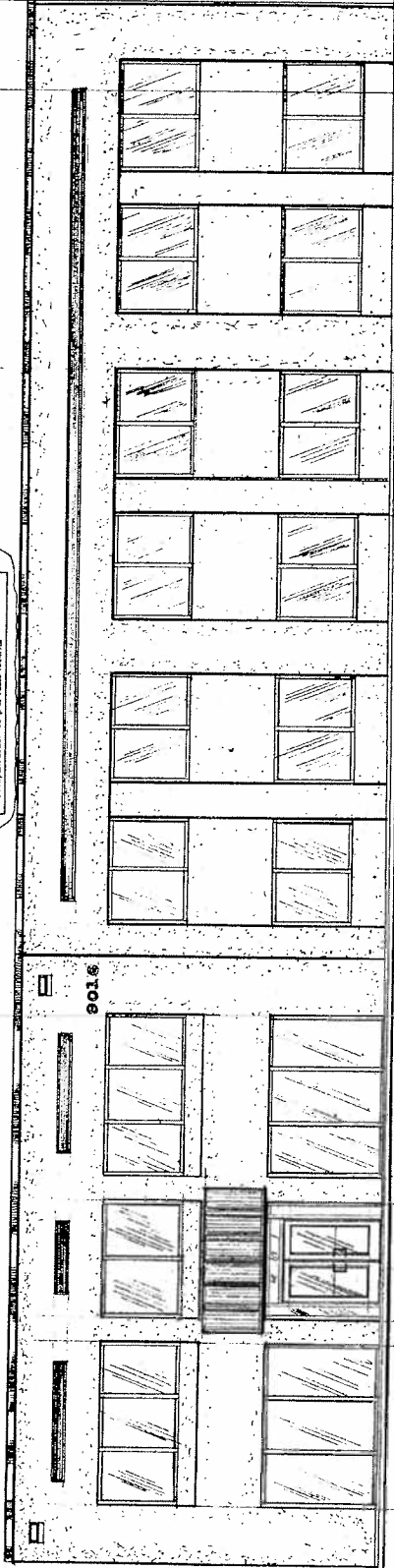
CODE SUMMARY

Applicable Codes:
Florida Existing Building Code (2004)
NFPA 2001 & 2002 Fire Protection
NFPA 2003 & 2005 Fire Protection
Florida International Code (2004)
National Electrical Code (2004)
National Building Code (2004)

Occupancy: Group B Business
Classification of Work: Alteration - Level 2
Specialty: No
First Floor Renovation Area: 2162 S.F.
Second Floor Renovation Area: 2162 S.F.
Occupant Load: 24 (Per Table 1004.1.1)



KEY PLAN - SECOND FLOOR
SCALE: 1/8" = 1'-0"



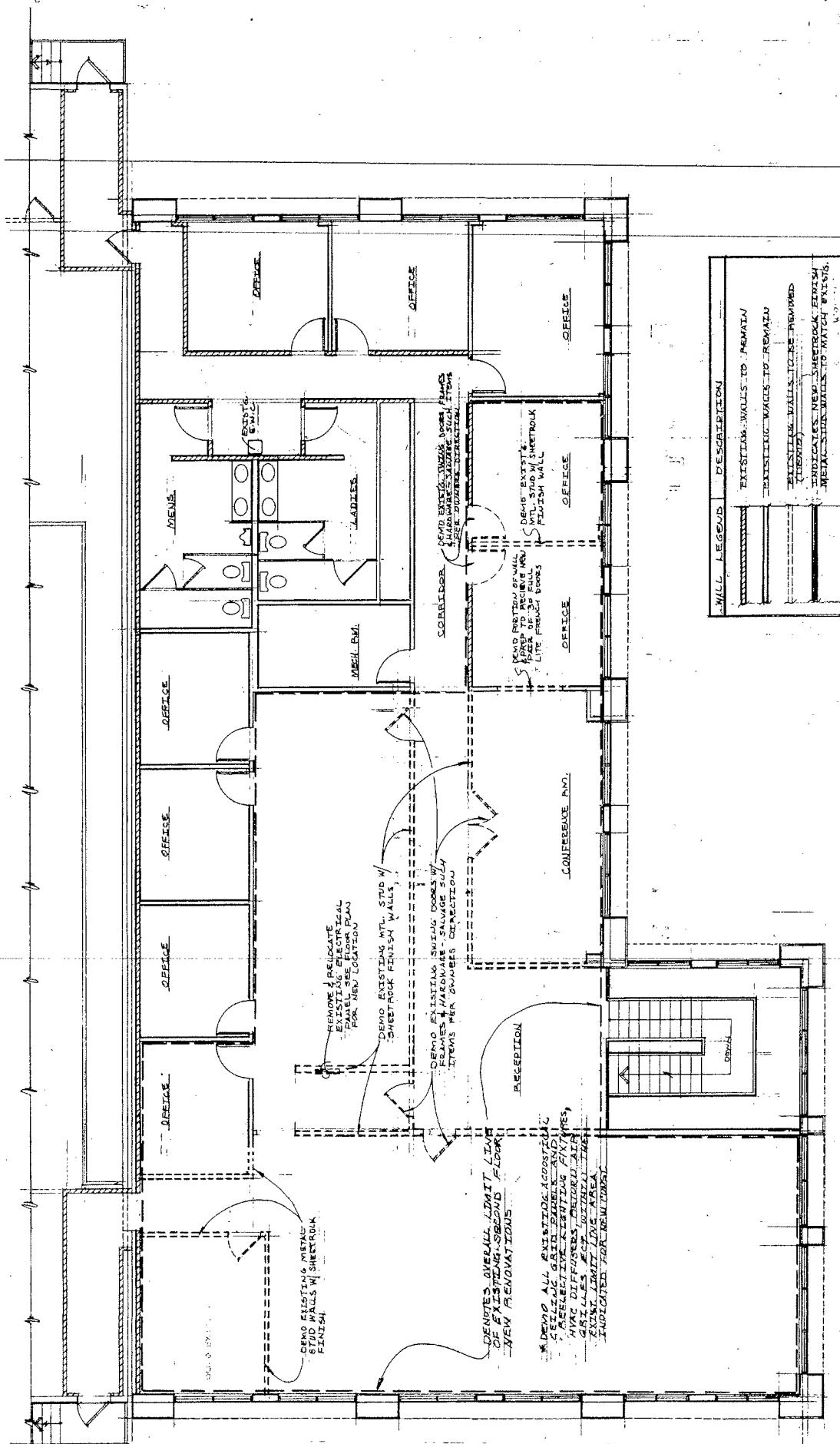
Drawing Index

- 1 of 9 Cover Sheet
- 2 of 9 Demolition Plan
- 3 of 9 New 2nd floor Floor Plan
- 4 of 9 New 2nd floor Electrical Lighting
- 5 of 9 2nd floor Reflective Ceiling Plan
- 6 of 9 2nd floor HVAC Diffuser Layout
- 7 of 9 1st floor Lunch Room Renovations
- 8 of 9 Life Safety Plan
- 9 of 9 Wheelchair Lift and ADA List

REVISION: DATE: 3-21-07. APPROVED: GENERAL: REVISED: 2-28-07 BY: KAMARUJOT
NOTES: SCHEDULES CODES SUMMARY

PROJ.	DATE	SHEET
0623	2-15-07	1 OF 9

ROBERT WISE ARCHITECT AIA
6525 HERSCHEL ST. - JACKSONVILLE, FL.
(904) 388-1114 FAX: (904) 388-0514



REMOVE & RELIGATE EXISTING ELECTRICAL PANELS. SEE FLOOR PLAN FOR NEW COUPLERS.

DEMO EXISTING MET. STUD W/ SHEETROCK FINISH WALLS.

DEMO EXISTING MET. STUD W/ SHEETROCK FINISH WALLS. DEMO EXISTING SHEETROCK DOORS W/ LITE. REMOVE SHEETROCK ITEMS PER NUMBER IDENTIFICATION.

DEMOS ALL EXISTING ACoustICAL PANELS, GRIFFERS, AIR DIFFUSERS, CEILING AIR GRILLES, ECT. DETAIL THE EXIST. LIMIT LINE AREA ENCLOSED FOR REMOVAL.

DEMOS ALL EXISTING MET. STUD W/ SHEETROCK FINISH WALLS.

DEMOS EXISTING SHEETROCK DOORS W/ LITE. REMOVE SHEETROCK ITEMS PER NUMBER IDENTIFICATION.

DEMOS EXISTING MET. STUD W/ SHEETROCK FINISH WALLS.

DEMOS EXISTING MET. STUD W/ SHEETROCK FINISH WALLS.

DEMOS EXISTING MET. STUD W/ SHEETROCK FINISH WALLS.

WALL LEGEND	DESCRIPTION
(Solid line)	EXISTING WALLS TO REMAIN
(Dashed line)	EXISTING WALLS TO REMAIN
(Dotted line)	EXISTING WALLS TO BE REMOVED (REMOVE)
(Dash-dot line)	INDICATES NEW SHEETROCK FINISH
(Long-dash line)	METAL STUD WALLS TO MATCH EXIST.

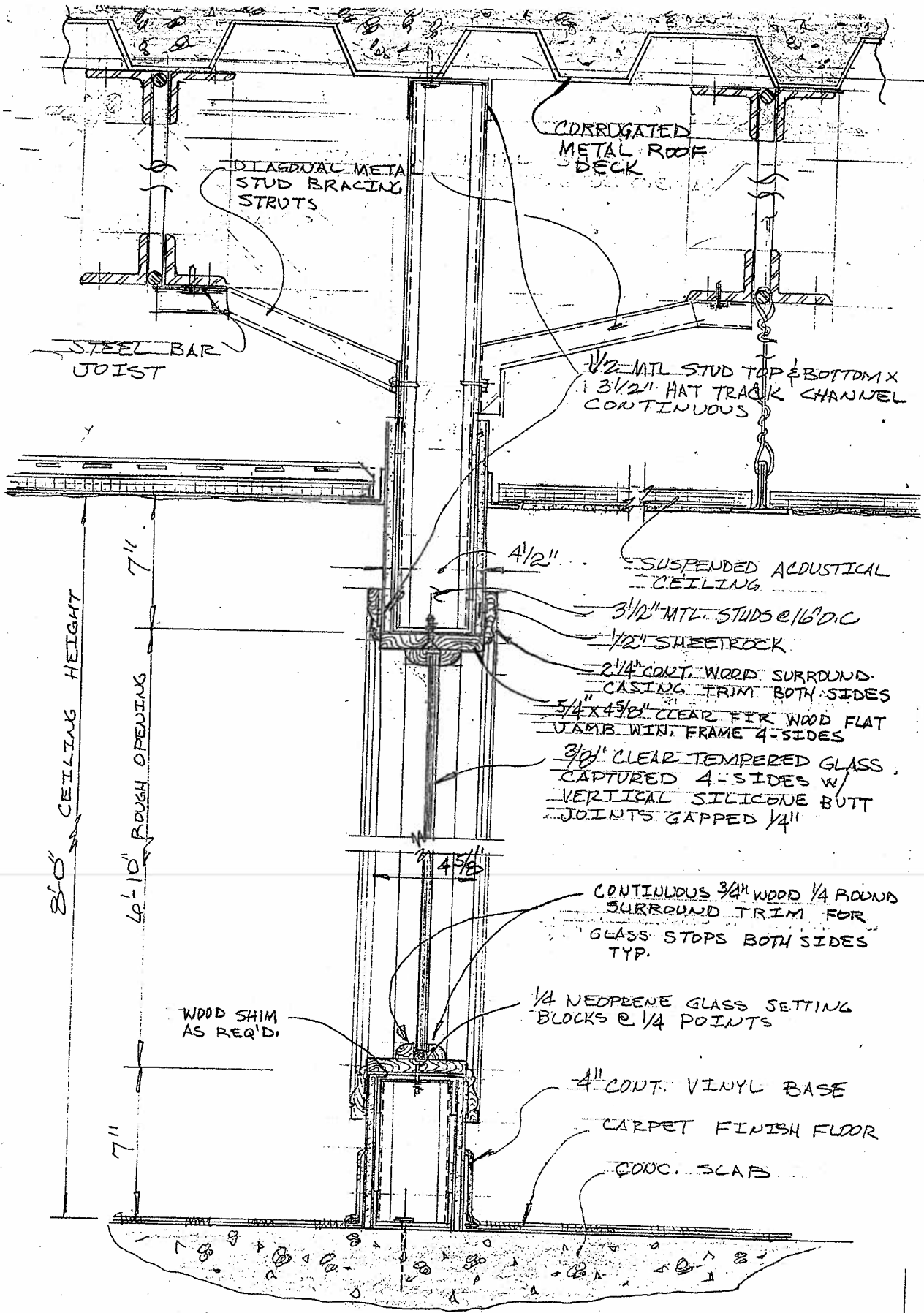
DEMOLITION PLAN SECOND FLOOR
SCALE 1/8" = 1'-0"

ROBERT WISE ARCHITECT AIA
1005 W. WASHINGTON ST. JACKSONVILLE, FL.
(904) 388-1114

PROJ. NO. D623

DATE 2-15-07

SHEET 2 OF 3

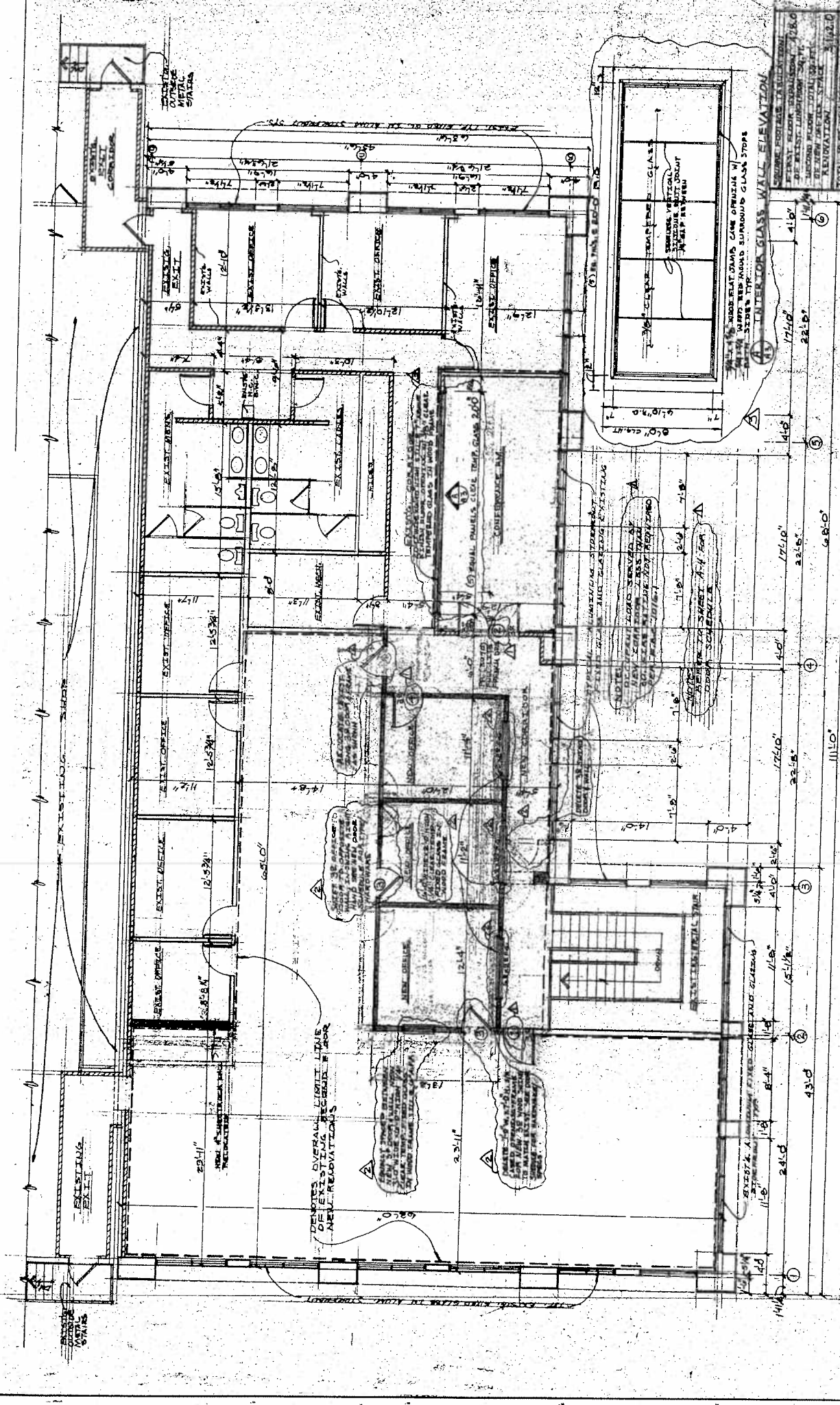


SECTION THRU INTERIOR WINDOW WALL

SCALE: 3" = 1'-0"

REFERENCE LOCATION SECOND FLOOR CORRIDOR @ NEW CONFERENCE ROOM

REVISIONS



RENOVATION	3,102.0
DEMOLITION	1,102.0
TOTAL	2,000.0
TOTAL AREA OF RENOVATION	2,000.0
AREA OF EXISTING BUILDING	10,000.0
PERCENT RENOVATION	20.0%

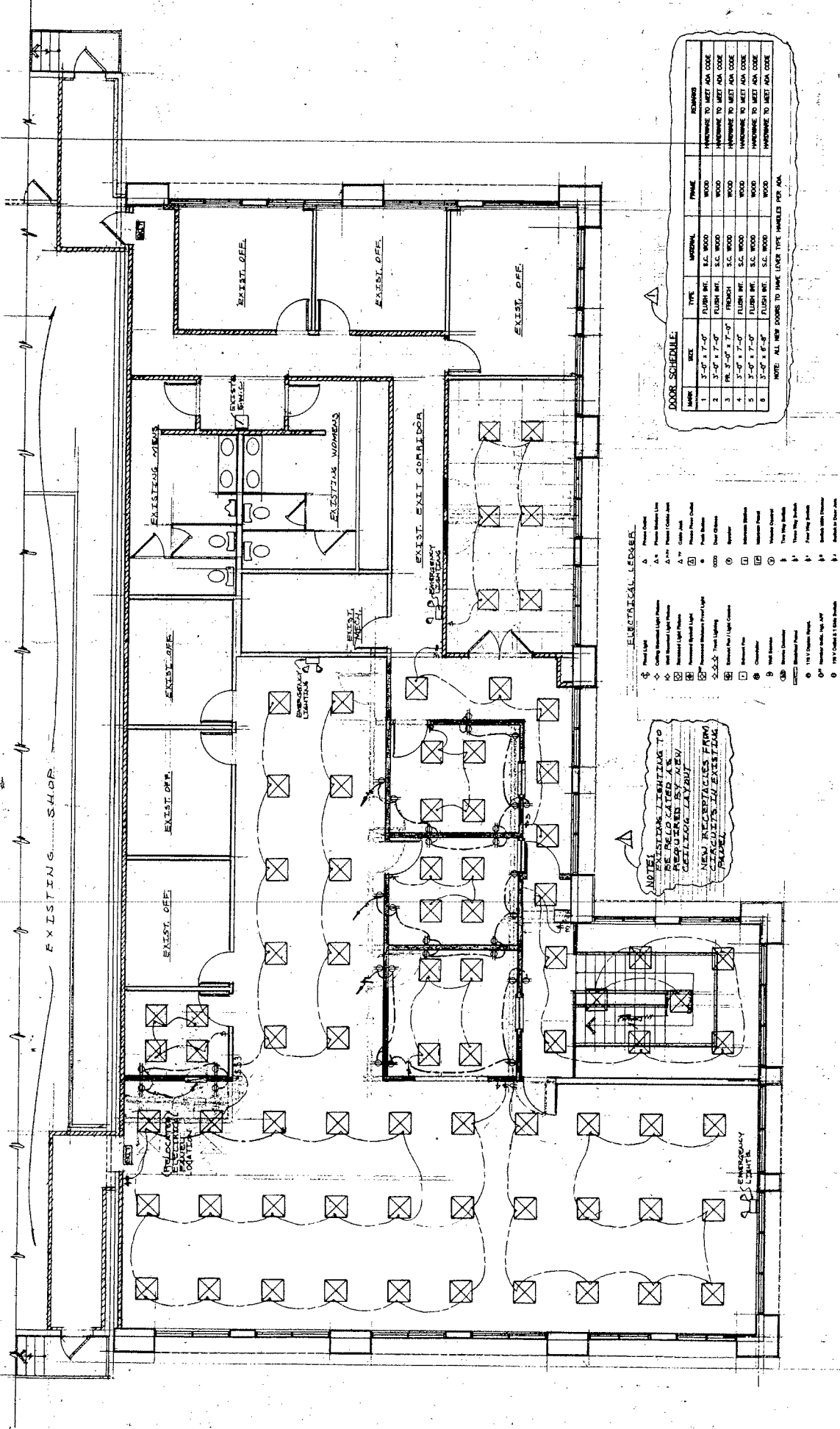
ROBERT WISE ARCHITECT AIA
 2523 HERSCHEL ST. - JACKSONVILLE, FL.
 (904) 588-1114 FAX (904) 588-3140

PROJ. NO. 0683
 DATE 2.13.07

SECOND FLOOR PLAN - NEW RENOVATIONS

REVISIONS:
 1. REVISIONS TO SHEET A-11-150A
 2. REVISIONS TO SHEET A-11-150B
 3. REVISIONS TO SHEET A-11-150C
 4. REVISIONS TO SHEET A-11-150D
 5. REVISIONS TO SHEET A-11-150E

All dimensions MUST be verified in field and adjusted to suit existing conditions.



ELECTRICAL LEGENDER

- △ Panel Schedule
- △-A Power Outlet Line
- △-B Power Outlet Line
- △-C Power Outlet Line
- △-D Power Outlet Line
- △-E Power Outlet Line
- △-F Power Outlet Line
- △-G Power Outlet Line
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- △-AZ Power Outlet Line

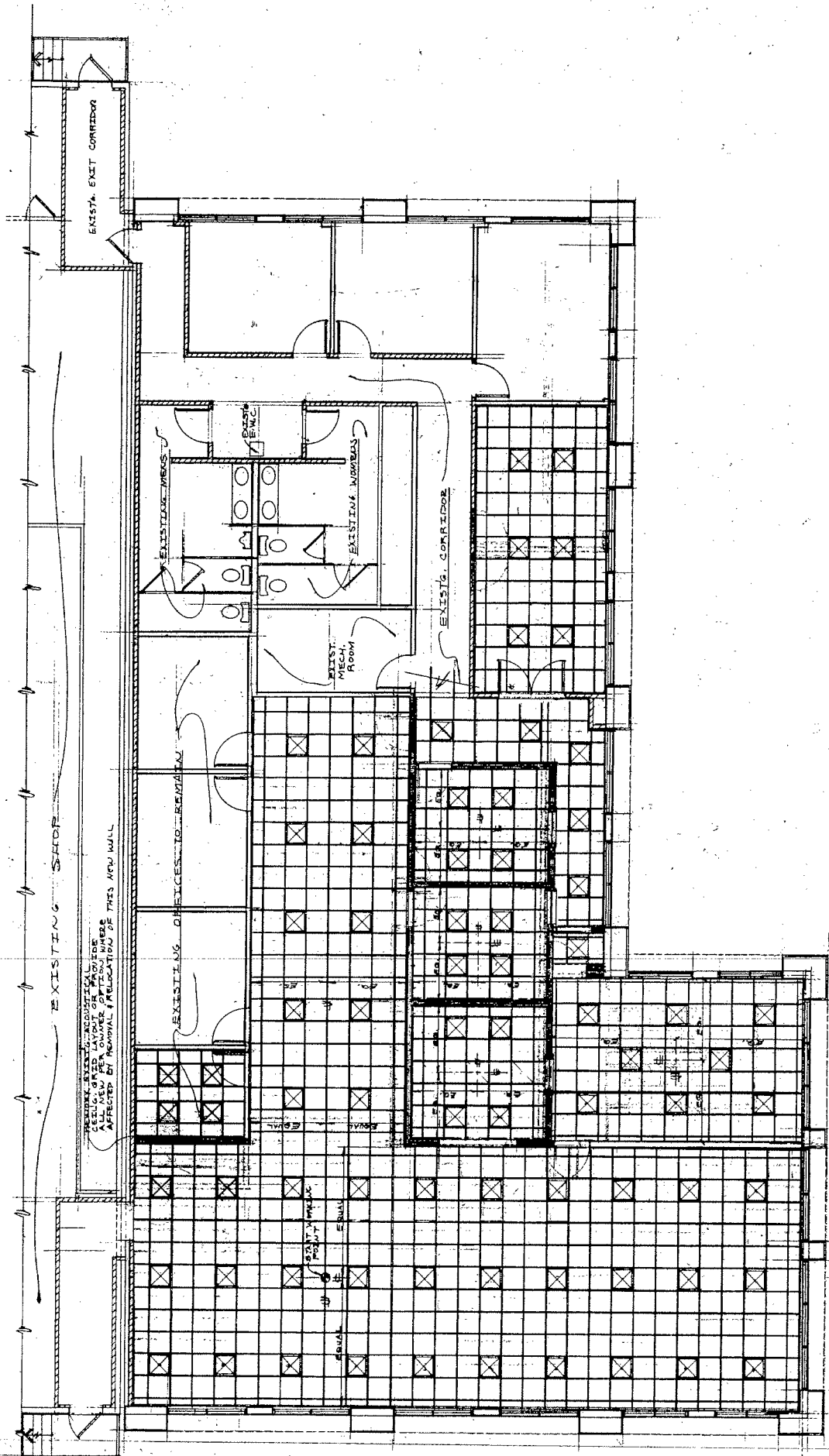
DOOR SCHEDULE:

MARK	SIZE	TYPE	MATERIAL	FINISH	REMARKS
1	2'-6" x 7'-0"	FLUSH INT.	S.C. WOOD	WOOD	HARDWARE TO MEET AIA CODE
2	2'-6" x 7'-0"	FLUSH INT.	S.C. WOOD	WOOD	HARDWARE TO MEET AIA CODE
3	2'-6" x 7'-0"	FLUSH INT.	S.C. WOOD	WOOD	HARDWARE TO MEET AIA CODE
4	2'-6" x 7'-0"	FLUSH INT.	S.C. WOOD	WOOD	HARDWARE TO MEET AIA CODE
5	2'-6" x 7'-0"	FLUSH INT.	S.C. WOOD	WOOD	HARDWARE TO MEET AIA CODE
6	2'-6" x 7'-0"	FLUSH INT.	S.C. WOOD	WOOD	HARDWARE TO MEET AIA CODE
7	2'-6" x 7'-0"	FLUSH INT.	S.C. WOOD	WOOD	HARDWARE TO MEET AIA CODE
8	2'-6" x 7'-0"	FLUSH INT.	S.C. WOOD	WOOD	HARDWARE TO MEET AIA CODE

NOTE: ALL NEW DOORS TO HAVE LEVER TYPE HANDLES PER AIA.

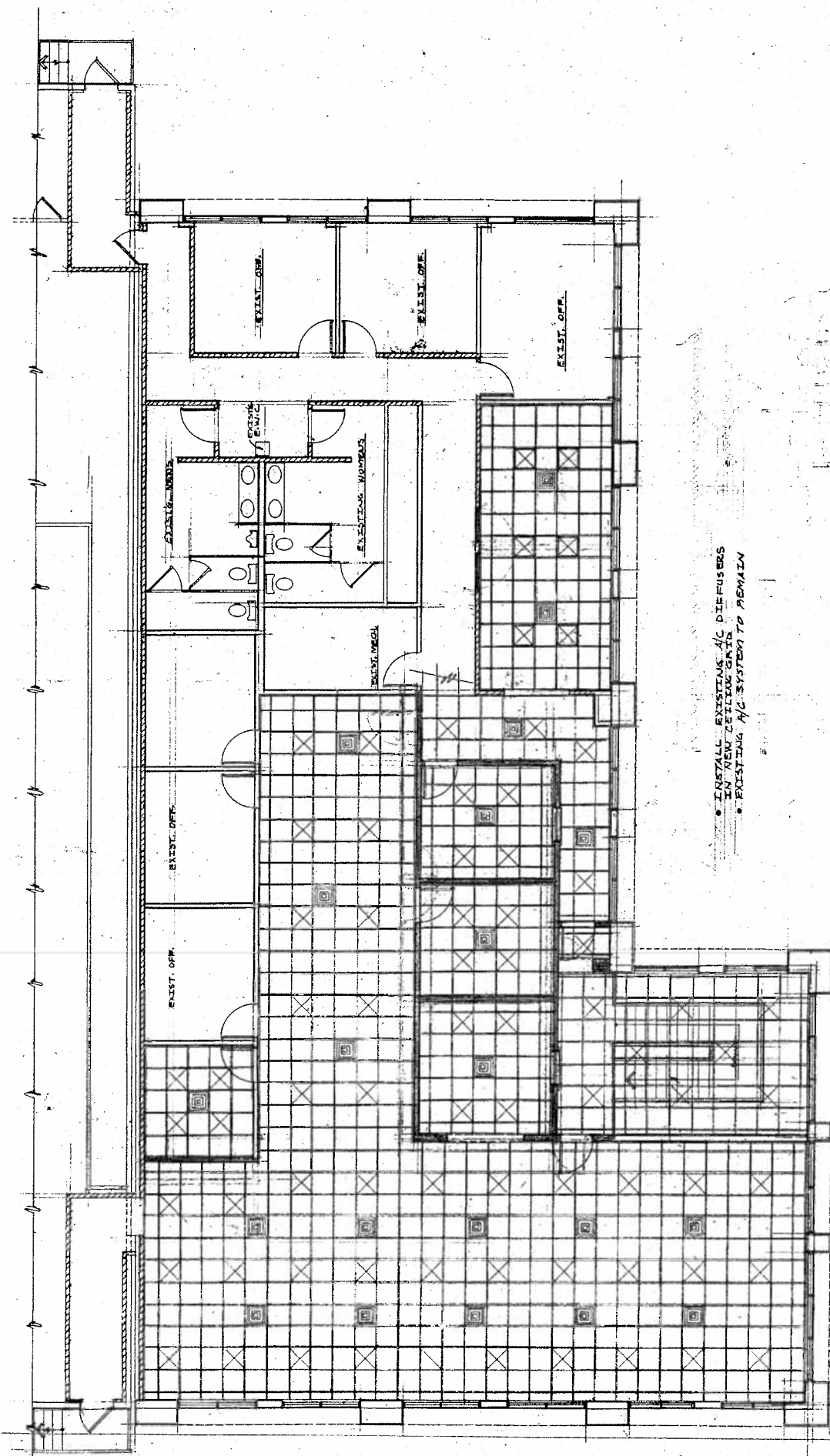
NOTE:
 HOTEL REPAIRS/RECONSTRUCTION TO
 BE RELAYED AS
 REQUIRED BY NEW
 NEW RECEPTIVES FOR
 CEILING LIGHTS
 PANEL.

SECOND FLOOR ELECTRICAL LIGHTING PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR - REFLECTIVE CEILING PLAN NEW RENOVATIONS
 SECRET/NOTED

ROBERT WISE ARCHITECT AIA 1525 WASHINGTON BL. JACKSONVILLE, FL. (904) 388-1114	PROJ. 0 623	DATE 2-15-07	SHEET 5 OF 8
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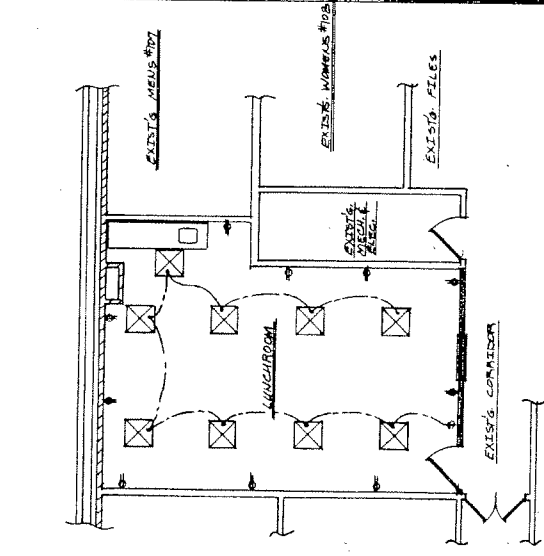


- INSTALL EXISTING A/C DIFFUSERS IN NEW ZELLING GRIDS
- EXISTING A/C SYSTEM TO REMAIN

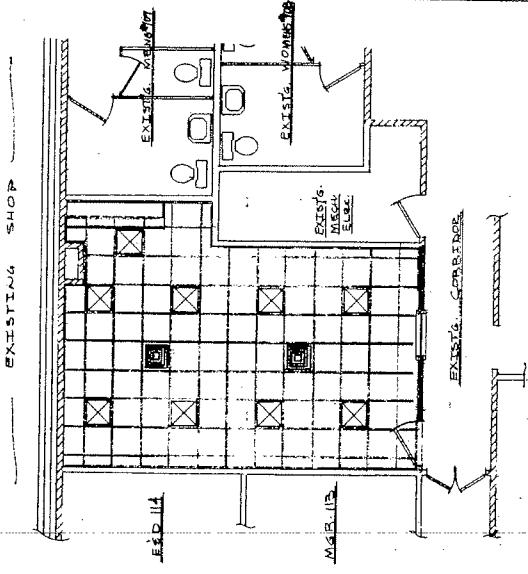
SECOND FLOOR NEW REVISIONS
HVAC DIFFUSER LOCATION PLAN

PROJ.	0.623
DATE	2-15-07
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OF	8

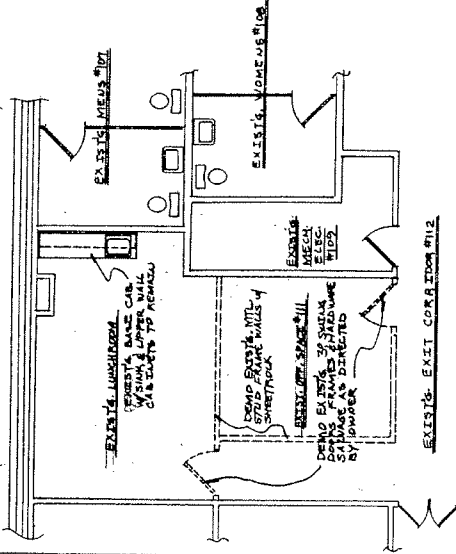
ROBERT WISE ARCHITECT AIA
 2523 HERSCHEL ST. JACKSONVILLE, FL.
 (904) 368-1114
 FLA. ARCH. LIC. # AR0003140



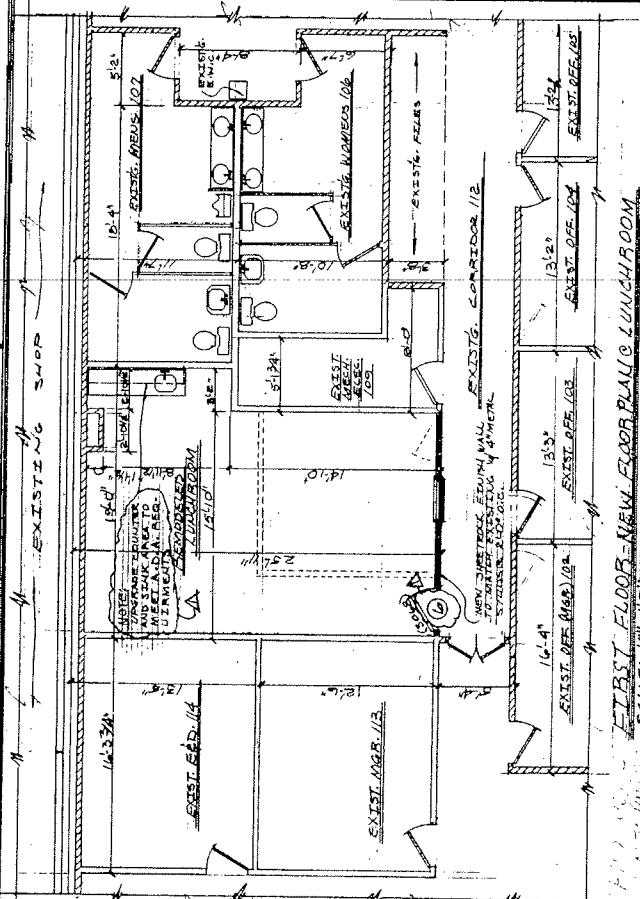
FIRST FLOOR LIGHT & ELEC. PLAN & LUNCHRM
SCALE: 1/8" = 1'-0"



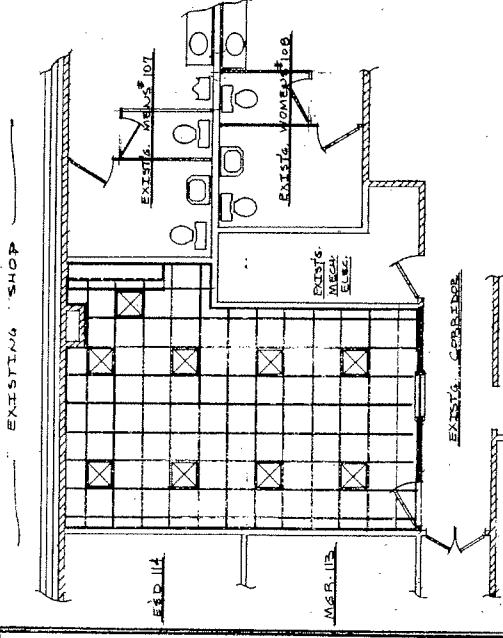
FIRST FLOOR HVAC DIFFUSER LOCATION PLAN
SCALE: 1/8" = 1'-0"



DEMOLITION PLAN & FIRST FLOOR LUNCHROOM / OFFICE
SCALE: 1/8" = 1'-0"



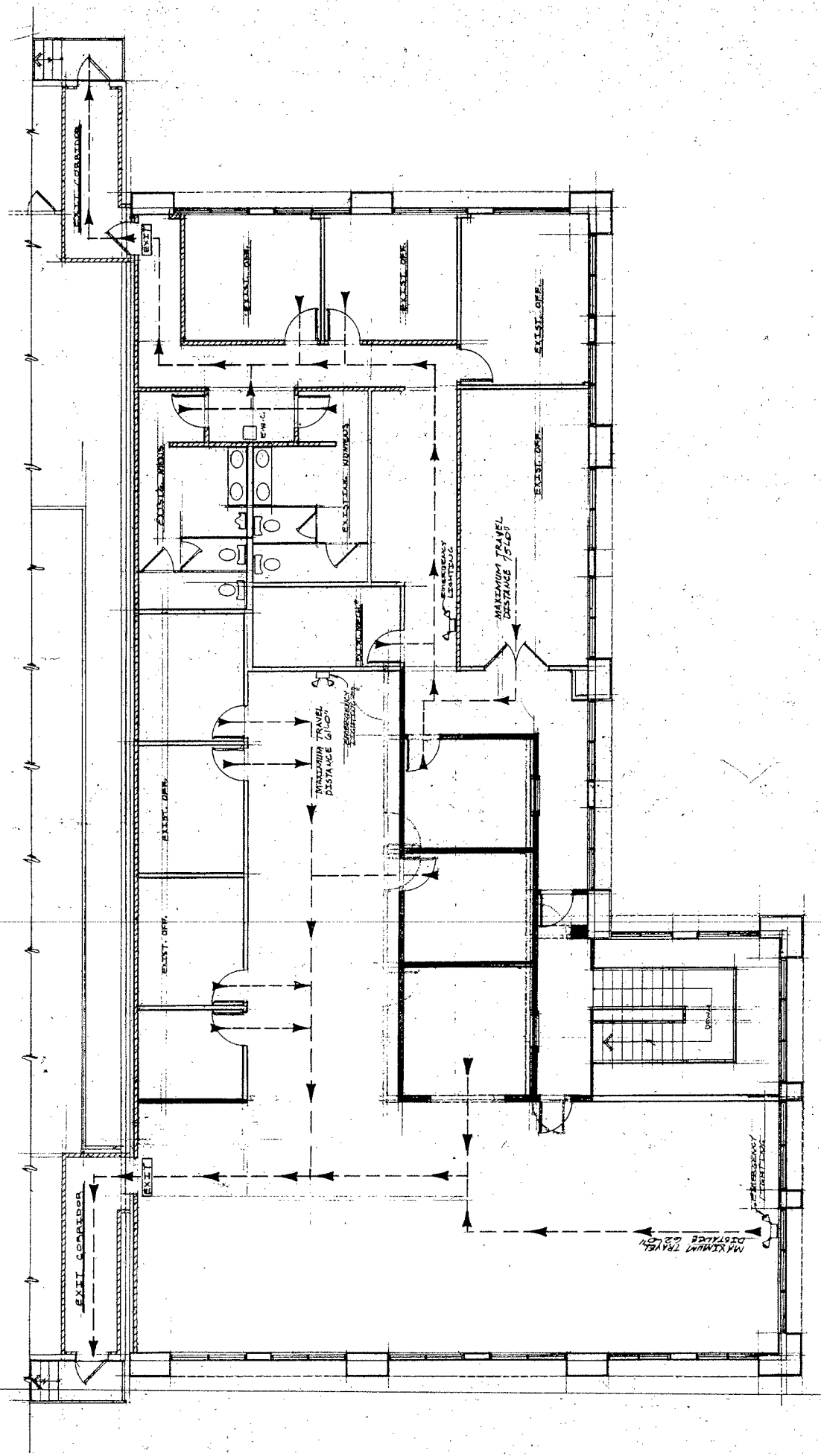
FIRST FLOOR - NEW FLOOR PLAN & LUNCHROOM
SCALE: 1/8" = 1'-0"



FIRST FLOOR REFLECTIVE CEILING PLAN & LUNCHROOM
SCALE: 1/8" = 1'-0"

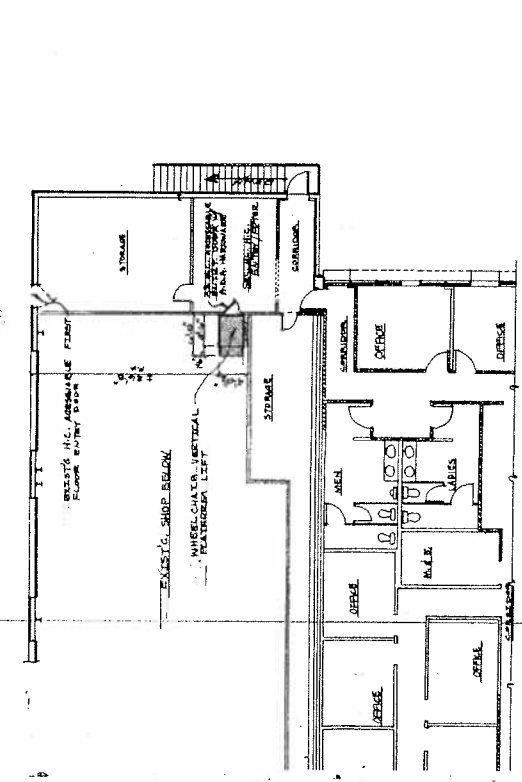
SHEET 7 OF 9

ROBERT WISE ARCHITECT AIA
855 HENSCHEL ST. - JACKSONVILLE, FL.
(904) 388-1114
PROJ. 0623
DATE 8-15-07

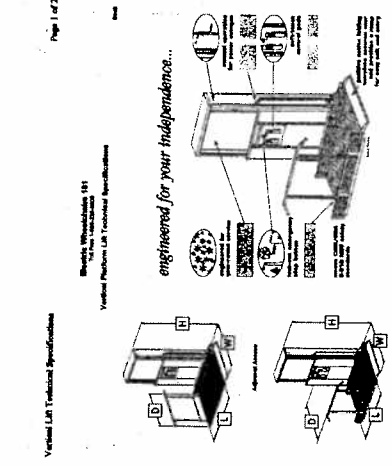
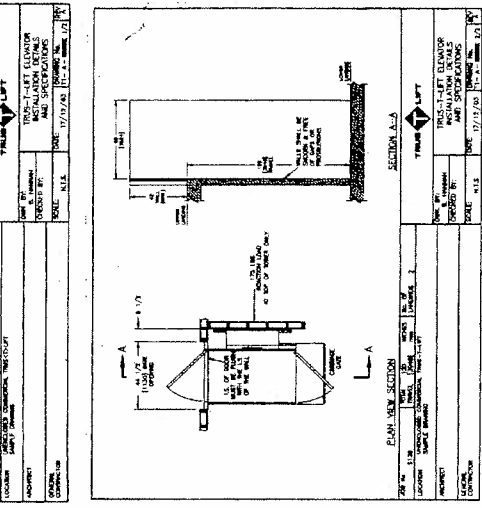
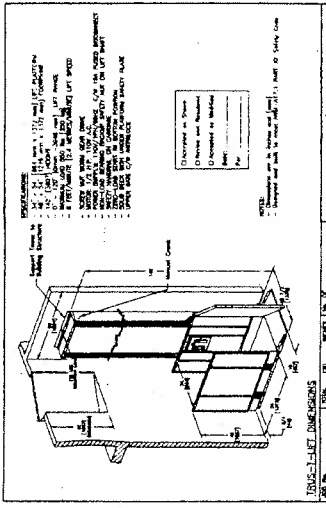


SECOND FLOOR LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"

ROBERT WISE ARCHITECT AIA 2823 HENSCHEL ST., JACKSONVILLE, FL (904) 388-1114 FAX: 904-388-0310	PROJ. 01623	DATE 2/8/07	SHEET 8 OF 9
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FLOOR PLAN - WHEELCHAIR VERTICAL PLATFORM LOCATION



Item	Description	Quantity	Unit	Notes
1	Vertical Lift Platform	1	Platform	See specifications for details.
2	Handrail	2	Linear Feet	See specifications for details.
3	Call Button	10	Buttons	See specifications for details.
4	Emergency Stop Button	1	Button	See specifications for details.
5	Photo Eye Sensor	1	Sensor	See specifications for details.
6	Platform	1	Platform	See specifications for details.
7	Platform	1	Platform	See specifications for details.
8	Platform	1	Platform	See specifications for details.
9	Platform	1	Platform	See specifications for details.
10	Platform	1	Platform	See specifications for details.
11	Platform	1	Platform	See specifications for details.
12	Platform	1	Platform	See specifications for details.
13	Platform	1	Platform	See specifications for details.
14	Platform	1	Platform	See specifications for details.
15	Platform	1	Platform	See specifications for details.
16	Platform	1	Platform	See specifications for details.
17	Platform	1	Platform	See specifications for details.
18	Platform	1	Platform	See specifications for details.
19	Platform	1	Platform	See specifications for details.
20	Platform	1	Platform	See specifications for details.

Item	Description	Quantity	Unit	Notes
1	Vertical Lift Platform	1	Platform	See specifications for details.
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12	Platform	1	Platform	See specifications for details.
13	Platform	1	Platform	See specifications for details.
14	Platform	1	Platform	See specifications for details.
15	Platform	1	Platform	See specifications for details.
16	Platform	1	Platform	See specifications for details.
17	Platform	1	Platform	See specifications for details.
18	Platform	1	Platform	See specifications for details.
19	Platform	1	Platform	See specifications for details.
20	Platform	1	Platform	See specifications for details.

- List of A. D. A. Upgrades**
- 1 All new doors to have lever type handles, per ADA.
 - 2 Renovate, enlarge, and upgrade existing lunch room to ADA code.
 - 3 Install new wheelchair lift to 2nd floor

ROBERT WISE ARCHITECT A.I.A.
 2585 HERSHEL ST. JACKSONVILLE, FL.
 (904) 388-1114 FLA. ARCH. LIC. # 0003140

DATE: 3-24-07
 PROJ. 0423
 SHEET 9 OF 9