

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: _____

Address: 1221, 1225, 1225A COLLINS AVE
MIAMI BEACH, FLORIDA 33139

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

Applicant's Name: ARI SKLAR, ARCHITECT, SKLARarchitecture

Applicant's Address: 2310 HOLLYWOOD BLVD, HOLLYWOOD, FL. 33020
EXT. 104 OR 100

Applicant's Telephone: 954-925-9292 FAX: 954-925-6292

Applicant's E-mail Address: ARI@SKLARARCHITECT.COM

Relationship to Owner: ARCHITECT

Owner's Name: 12th & COLLINS REAL ESTATE LLC, ALAN WASSERSTEIN

Owner's Address: 6001 NW 153rd ST SUITE 110

Owner's Telephone: 305-819-8100 FAX _____

Owner's E-mail Address: ALAN@LEASEFLORIDA.COM

Signature of Owner: 

Contact Person: ARI SKLAR

Contact Person's Telephone: 786-326-2747 E-mail Address: ARI@SKLARARCHITECT.COM



This application is available in alternate formats upon request.

Form No. 2001-01

3. Please check one of the following:

New construction.

Addition to a building or facility.

Alteration to an existing building or facility.

Historical preservation (addition).

Historical preservation (alteration).

4. Type of facility. Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

Original ~~APARTMENT BUILDINGS~~ APARTMENT BUILDINGS, CONVERTED TO OFFICE NOW
DESIGNED TO BE A SMALL BOUTIQUE HOTEL WITH RETAIL
ON GROUND LEVEL. 3 BUILDINGS: 1221 - 3 stories (10,024 sq ft)
1225 - 2 stories (6,200 sq ft) 1225A - 2 stories (2,350 sq ft)

5. Project Construction Cost (Provide cost for new construction, the addition or the alteration):

ESTIMATED RENOVATION COST = 1221 BUDG = \$350,000. —
1225 BLDG \$210,000. — 1225A = \$90,000. —

6. Project Status: Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design Under Construction*

In Plan Review Completed*

* Briefly explain why the request has now been referred to the Commission.

LA

7. Requirements requested to be waived. Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue

1: BLDG 1221 - TO PROVIDE ACCESS TO ~~THE~~ ROOF DECK F.S. 553.509
VERTICAL ACCESSIBILITY TO ALL LEVELS, 2007 FBC 11-4.1.6 (1)(F)

Issue

2: BLDG 1225 - NOT ABLE TO PROVIDE ACCESS TO 1st or 2nd LEVEL
FS 553.509 / 2007 FBC 11-4.1.6 (1)(F)

Issue

3: BLDG 1225A - SMALL BLDG WITH 2 UNITS, FIRST FLOOR
ACCESSIBLE BUT NOT 2ND FLOOR, FBC-11-4.1.3(5) EXCEPTION #1
& DISPROPORTIONATE COSTS ~~→~~ FBC-11-4.1.6(2)

8. Reason(s) for Waiver Request: The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

THE BUILDINGS ARE HISTORIC AND THEREFORE LIMITS THE OPPORTUNITY
FOR RAMPING OR LIFTS ON THE EXTERIOR OF THE BUILDING

Substantial financial costs will be incurred by the owner if the waiver is denied.

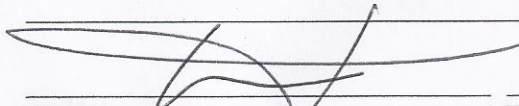
IF THE WAIVER IS DENIED, THE INTERIOR OF THE BUILDING WILL NEED
TO BE LOWERED WHICH WILL REQUIRE FLOOD PROOFING WITH SPECIAL TECHNIQUES
INCLUDING FLOOD PANELS & HYDROSTATIC SLABS OF WHICH THE COST IS
 The owner has made a diligent investigation into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

UNKNOWN AT THIS TIME & MAY KEEP ESCALATING WITH EACH UNKNOWN
TO BE ENCOUNTERED. ALSO AN ELEVATOR WOULD HAVE TO BE LOWERED,
A NEW PIT DUG AND THE AREA WILL HAVE TO BE DEWATERED WITH
SHEET PILING WHICH WILL DESTROY THE EXISTING INTERIOR. ~~td~~

9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

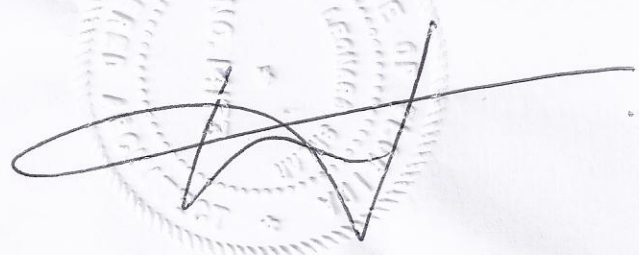
- a. ATTACHED FIND ESTIMATES AND INFORMATION FROM THE ELEVATOR COMPANY EXPLAINING THE COSTS AND ISSUES INVOLVED TO MEET
- b. THE ACCESSIBILITY REQUIREMENTS. WE ARE STILL DETERMINING PROJECT COSTS AND OBTAINING ESTIMATES.
- c.

10. Licensed Design Professional: Where a licensed design professional has designed the project, his or her comments MUST be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.


Signature _____ Ari L. SKLAR _____
Printed Name

Phone number 786.326-2747

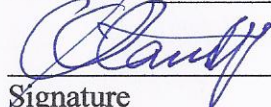
(SEAL)



CERTIFICATION OF APPLICANT:

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 31ST day of OCTOBER, 20 11



Signature

ALAN WASERTEIN

Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.



REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

- a. _____ * SEE FORM SUBMITTED BY _____
- b. _____ GLADYS SELAS _____
- c. _____

Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

Yes No Cost of Construction _____

Comments/Recommendation _____

Jurisdiction _____

Building Official or Designee _____
Signature

Printed Name _____

Certification Number _____

Telephone/FAX _____

Address: _____

Galen VonGleich

From: Davidson, Spencer <Spencer.Davidson@thyssenkrupp.com>
Sent: Monday, October 31, 2011 1:55 PM
To: Galen VonGleich
Subject: RE: Request for quote - Collins Ave - Urgent

#1225 – New 2-stop ADA compliant 2100# capacity elevator. Budget \$50,000.
- and if you're lowering the first floor, you also need to account for lowering the elevator pit by that same amount.
- 4'0" deep pit minimum.

#1221 – New 4-stop ADA compliant 2500# capacity elevator. Based on the hoistway dimensions, this elevator would need to be custom-made. Budget \$88,425.
- 4'0" deep pit minimum.
- overhead required from last served floor to underside of hoist beam is 12'8", so you'll likely need to increase the pop-up height.
- also recommended that a vestibule be provided at the elevator entrance at the roof deck in order to prevent moisture/water intrusion.

Spencer Davidson
New Equipment Sales Manager
Miami Branch

ThyssenKrupp Elevator Americas
7481 N.W. 66th Street
Miami, FL 33166

Phone: (305) 592-7722 | Direct: (786) 336-5334
Fax: (866) 248-8924
spencer.davidson@thyssenkrupp.com

<http://www.thyssenkruppelevator.com/>

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From: Galen VonGleich [mailto:galen@sklarchitect.com]
Sent: Monday, October 31, 2011 11:13 AM
To: Davidson, Spencer
Subject: Request for quote - Collins Ave - Urgent

Spencer,

We need to put together some quick prices for a job we are doing on Collins ave. Explanation as follows:

Building #1225 (sheet A-3), is an existing two story building. We need to lower the first floor of this building by about 30". We need to know what it would cost to modify the existing elevator to accomplish that, or provide a new elevator. Existing hoistway size is 7'-8" wide X 8'-0" deep.

PROJECT TEAM

ARCHITECT OF RECORD:
SKLARArchitecture
 DESIGN ASSOCIATES

2310 HOLLYWOOD BLVD.
 HOLLYWOOD, FL 33020

TEL - (954) 925-9292
 FAX - (954) 925-6292

AA 0002849
 IB 0000894
 NCARB CERTIFIED
 www.sklararchitect.com

MEP ENGINEER
BUCHANAN P.E.
Consulting Inc.

6191 W ATLANTIC BLVD SUITE# 2
 MARGATE, FL 33063
 TEL: (954) 590-3300

STRUCTURAL ENGINEER
CHRIS HANSON RE
Structural Engineering
 1641 NW 115TH TERRACE
 PLANTATION, FL 33323
 TEL: (954) 817-6494

INTERIOR RENOVATION

TO:

COMMERCIAL BUILDINGS
1221 AND 1225 COLLINS

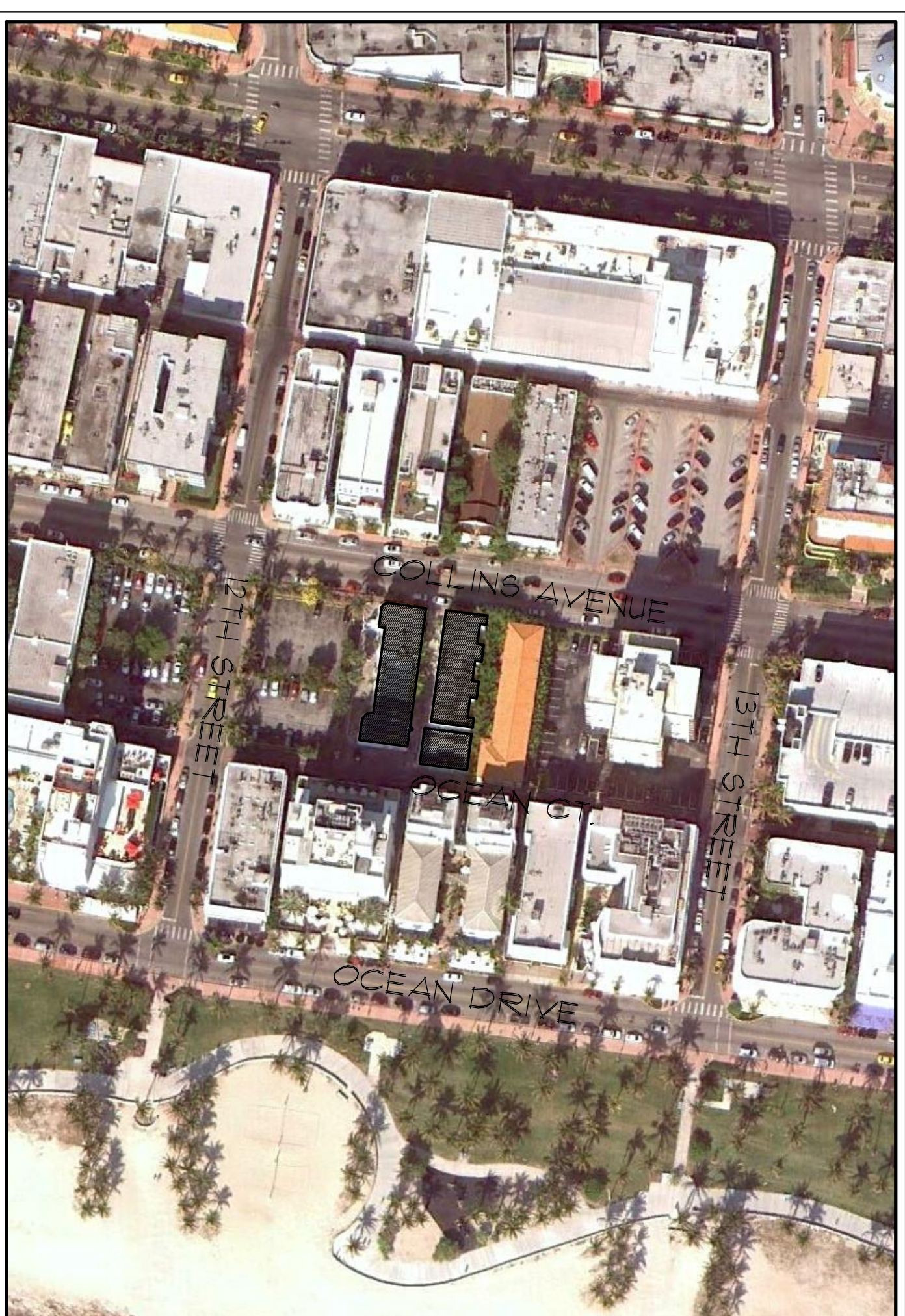
1221/1225 COLLINS AVENUE
 MIAMI BEACH, FL, 33139

PROGRESS ISSUE: 10-31-2011

SCOPE OF WORK

PROPOSED INTERIOR RENOVATIONS, CREATING NEW RETAIL SPACES AT GROUND LEVEL OF BUILDINGS 1221 (3,285 SQFT) AND 1225 (1,778 SQFT) COLLINS AND NEW APARTMENTS AS FOLLOWS:
 1221 BUILDING: UNIT 201 (1,065 SQFT), 202 (1,420 SQFT), 203 (890 SQFT) AT 2ND LEVEL, AND UNIT 301 (1,085 SQFT) AT 3RD LEVEL.
 1225 BUILDING: UNIT 2501 (1,478 SQFT), 2502 (945 SQFT) AND 2503 (1,001 SQFT)
 1225A BUILDING: UNIT 2504 (825 SQFT) AND 2505 (825 SQFT)

PLANS SHALL COMPLY WITH THE FOLLOWING: FLORIDA BUILDING CODE (2007) INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (2007 ED.) NFPA 914 (2007 ED.) NFPA 901 (2007 ED.)			
THREAT RESISTANCE WALLS - 4"HT - 8"HT / UNREINFORCING (SEE PERMITS) NEW SINGLE STORY RETAIL BUILDING TYPE III B CONSTRUCTION NOT FIRE SPRINKLERED ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503)			
GROUP	TYPE	ALLOWED	PROVIDED
M	III B	AREA (SQ. FT) 445' x 12,500 PER FLOOR	AREA (SQ. FT) 116' x 9,099 PER FLOOR
FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENT (TABLE 601)			
TYPE III B BEARING WALLS (EXT & INT) NON-BEARING WALLS & PARTITIONS FLOOR CONSTRUCTION ROOF CONSTRUCTION		0 HR 2 HR / 0 INT HR 0 HR 0 HR	
REQUIRED SEPARATION OF OCCUPANCIES: M / M + 0 HR (TABLE 502.2)			



LOCATION PLAN
 NOT TO SCALE

INDEX

ARCHITECTURE:

- N/A COVER / INDEX / CONSULTANTS
- S-1 EXISTING SITE PLAN
- D-1 1221 BUILDING DEMOLITION PLAN LEVELS 1 & 2
- D-2 1221 BUILDING DEMOLITION PLAN LEVEL 3 & ROOF
- D-3 1225 BUILDING DEMOLITION PLAN
- A-1 1221 BUILDING LEVEL 1 NEW LAYOUT
- A-2 1221 BUILDING LEVELS 2 & 3 NEW LAYOUT
- A-3 1225 BUILDING NEW LAYOUT
- A-4 1225A BUILDING NEW LAYOUT
- A-5 BUILDING ELEVATIONS
- A-6 DOOR, WINDOW & FINISH SCHEDULES
- A-7 WALL TYPES & DETAILS

STRUCTURAL:

- ** S-1 STRUCTURAL PLAN
- ** S-2 DETAILS & NOTES

MECHANICAL:

- ** M-1 1221 BUILDING MECH. PLAN
- ** M-2 1225 BUILDING MECHANICAL PLAN
- ** M-3 MECHANICAL NOTES & SCHEDULES
- ** M-4 MECHANICAL DETAILS

ELECTRICAL:

- ** E-1 ELECTRICAL SITE PLAN
- ** E-2 1221 BUILDING ELEC. PLAN
- ** E-3 1221 BUILDING ELEC. PLAN
- ** E-4 1225 BUILDING ELEC. PLAN
- ** E-5 ELECTRICAL NOTES & SCHEDULES
- ** E-6 ELECTRICAL DETAILS

FIRE ALARM:

- ** FA-1 FIRE ALARM PLAN
- ** FA-2 FIRE ALARM NOTES & DETAILS

PLUMBING:

- ** P-1 PLUMBING SITE PLAN
- ** P-2 BUILDING 1221 PLUMBING PLAN
- ** P-3 BUILDING 1225 PLUMBING PLAN
- ** P-4 WATER & SANITARY ISOMETRICS
- ** P-5 PLUMBING DETAILS & NOTES

FIRE PROTECTION:

- ** FP-1 BUILDING 1221 FIRE PROTEC. PLAN
- ** FP-2 BUILDING 1225 FIRE PROTEC. PLAN
- ** FP-3 FIRE PROTEC. DETAILS & NOTES

** NOT A PART OF THIS ISSUE

SKLARArchitecture
 DESIGN ASSOCIATES
 2310 HOLLYWOOD BLVD.
 HOLLYWOOD, FL 33020
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 www.sklararchitect.com

DATE: 10-31-11
 LSC: ARI SKLAR

REVISIONS

ADDITIONAL RENOVATION TO:
COMMERCIAL BUILDINGS
1221 AND 1225 COLLINS
 1221/1225 COLLINS AVENUE
 MIAMI BEACH, FL, 33139

DESIGN BY:
 ARI SKLAR
 CHECKED BY:
 ARI SKLAR

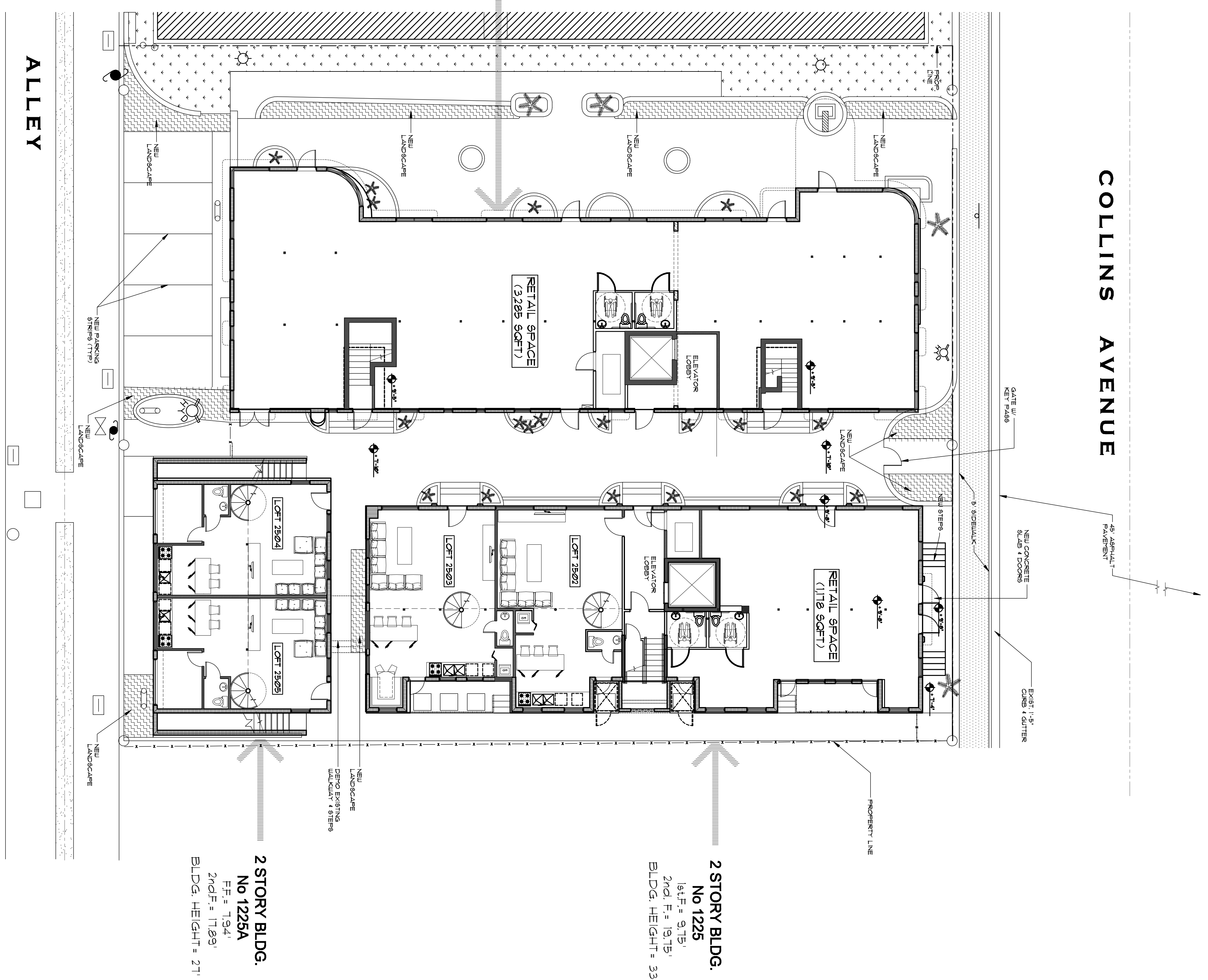
COVER SHEET

A-0

PROJECT# 11-071

DATE: 10-31-11

COLLINS AVENUE



**3 STORY BLDG.
No 1221**
1st F. = 8,34'
2nd F. = 18,51'
3rd F. = 28,98'
BLDG. HEIGHT = 42'

**2 STORY BLDG.
No 1225**
1st F. = 9,15'
2nd F. = 19,15'
BLDG. HEIGHT = 33'

**2 STORY BLDG.
No 1225A**
FF. = 7,94'
2nd F. = 17,89'
BLDG. HEIGHT = 27'

ALLEY

SITE PLAN WITH PROPOSED GROUND FLOOR LAYOUT
SCALE 1" = 20'-0"

SKLAR Architecture
DESIGN ASSOCIATES
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HOLLYWOOD, FL 33020
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FAX - (954) 525-6732
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www.sklararch.com

ADDITION & RENOVATION TO:
COMMERCIAL BUILDINGS
1221 AND 1225 COLLINS AVENUE
1221/1225 COLLINS AVENUE
MIAMI BEACH, FL, 33139

DESIGN BY:
CHECKED BY:
ARI SKLAR

**GROUND FLOOR
SITE PLAN**

S-1

PROJECT# 11-021

DATE : 10-31-11

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DEMOLITION NOTES

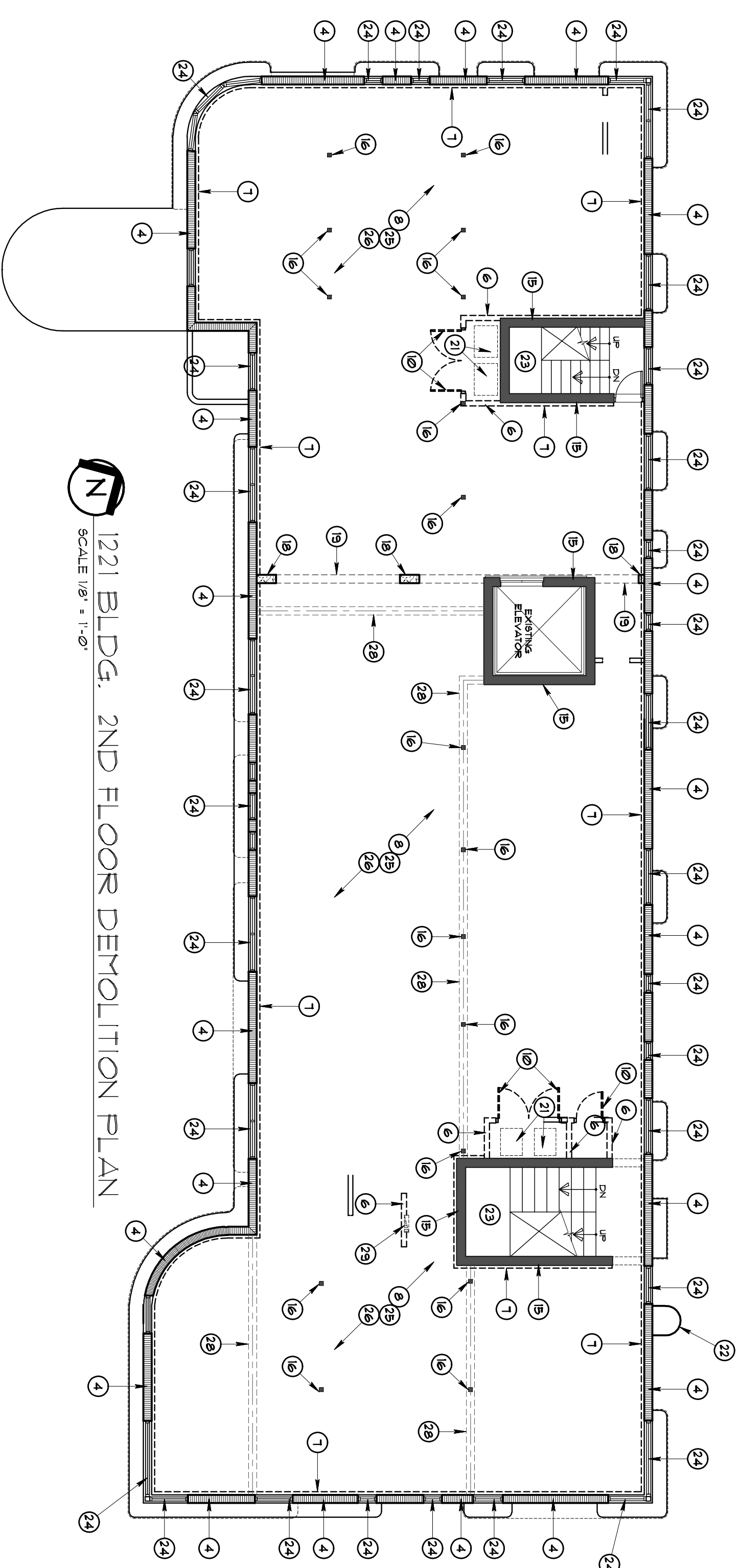
1. Provide selective demolition work as indicated by drawings, in schedules, and herein specified.
2. Partial Demolition and Removal: Items indicated to be removed with no value to Owner but of salvageable value to Contractor may be removed from structure as work progresses.
 - A) Items indicated on Drawings as 'Salvage - Deliver to Owner', carefully remove indicated items, clean, store and turn over to Owner and obtain receipt.
 3. Protections: Provide temporary barricades and other forms of protection as required to protect Owner and general public from injury due to selective demolition work.
 - A) Provide protective measures as required to provide free and safe passage of Owner and general public to and from occupied portions of building.
 - B) Erect temporary covered passageways as required by authorities having jurisdiction.
 - C) Provide interior and exterior shoring, bracing, or support to prevent movement, settlement or collapse of structure or element to be demolished, and adjacent facilities or work to remain.
 - D) Remove protections at completion of work.
 4. Utility Services: Maintain existing utilities indicated to remain, keep in service, and protect against damage during demolition operations.
 - A) Do not interrupt existing utilities serving occupied or used facilities. Provide temporary services during interruptions to existing utilities.
 - B) Provide services for effective air and water pollution controls as required by local authorities having jurisdiction.
 5. Clean-up and Repair:
 - A) Upon completion of demolition work, remove tools, equipment, and demolished materials from site. Remove protections and leave interior areas broom clean.
 - B) Repair demolition performed in excess of that required. Return structures and surfaces to remain to condition prior to commencement of selective demolition work. Repair adjacent construction of surfaces soiled or damaged by selective demolition work.
 - C) Damages: Promptly repair damages caused to adjacent facilities by demolition work at no cost to Owner.
 - D) Remove debris, rubbish and other materials resulting from demolition operations from building site. Transport and legally dispose of materials off-site.
 - E) Protect from damage existing finish work that is to remain in place and becomes exposed during demolition operations.
 - F) Protect floor with suitable coverings when necessary.
 - G) Provide temporary weather protection during interval between demolition and removal of existing construction on exterior surfaces, and installation of new construction to ensure that no water leakage or damage occurs to structure or interior areas of existing building.
 6. Explosives: The use of explosives will not be permitted.
 7. Environmental Controls: If hazardous materials are encountered during demolition operations, comply with applicable regulations, laws and ordinances concerning removal, handling and protection against exposure or environmental pollution.
 8. Beginning of demolition/ installation will be construed as acceptance of existing substrates, surfaces, and conditions.

KEY NOTES:

- 1 EXISTING BALCONY TO REMAIN
- 2 EXISTING LANDSCAPING / GRASS AREA TO REMAIN
- 3 EXISTING PALM TREE TO REMAIN
- 4 EXISTING EXTERIOR CONCRETE BLOCK WALL TO REMAIN
- 5 EXTERIOR STEPS TO REMAIN
- 6 EXISTING PERIWALL, FINISHING + INSULATION TO BE REMOVED
- 7 EXISTING FINISHING + INSULATION OVER CONC. BLOCK WALL TO BE REMOVED
- 8 EXISTING VINYL AND/OR STONE FLOOR TILES TO BE REMOVED
- 9 EXISTING ALUM. + GLASS DOORS TO REMAIN
- 10 EXISTING HTL. OR WOOD DOOR W/ FRAME TO BE REMOVED
- 11 EXISTING HTL. OR WOOD DOOR W/ FRAME TO REMAIN
- 12 EXISTING EXTERIOR METAL SOLID DOOR TO BE REMOVED OR REPLACED
- 13 EXISTING EXTERIOR METAL SOLID DOOR W/ GLASS OPENING TO REMAIN
- 14 EXISTING NON-BEARING PARTITION WALL TO REMAIN
- 15 EXISTING MASONRY BEARING WALL TO REMAIN
- 16 EXISTING METAL COLUMN TO REMAIN
- 17 EXISTING CANOPY TO REMAIN
- 18 EXISTING CONCRETE COLUMN TO REMAIN
- 19 EXISTING CONCRETE BEAM ABOVE TO REMAIN
- 20 SPANNER LINE MAIN ABOVE TO REMAIN
- 21 EXACT LOCATION TO BE FIELD VARIED
- 22 EXISTING AAU TO BE REMOVED
- 23 EXISTING SEALED FIREPLACE EXHAUST ENCLOSURE TO REMAIN
- 24 EXISTING STAIR CASE WITH LANDING TO REMAIN
- 25 EXISTING WINDOW TO REMAIN
- 26 EXISTING CLG. TILES TO BE REMOVED
- 27 REMOVE ALL A/C GRILLS/ SUPPLY + RETURN
- 28 PATCH + REPAIR EXTERIOR STUCCO AS REQUIRED
- 29 EXISTING STEEL "I" BEAM ABOVE TO REMAIN
- 30 EXISTING ELECTRICAL PANEL TO BE REMOVED/RELOCATED
- 31 EXISTING ELEVATOR MACHINE + OTHER RELATED EQPT TO REMAIN

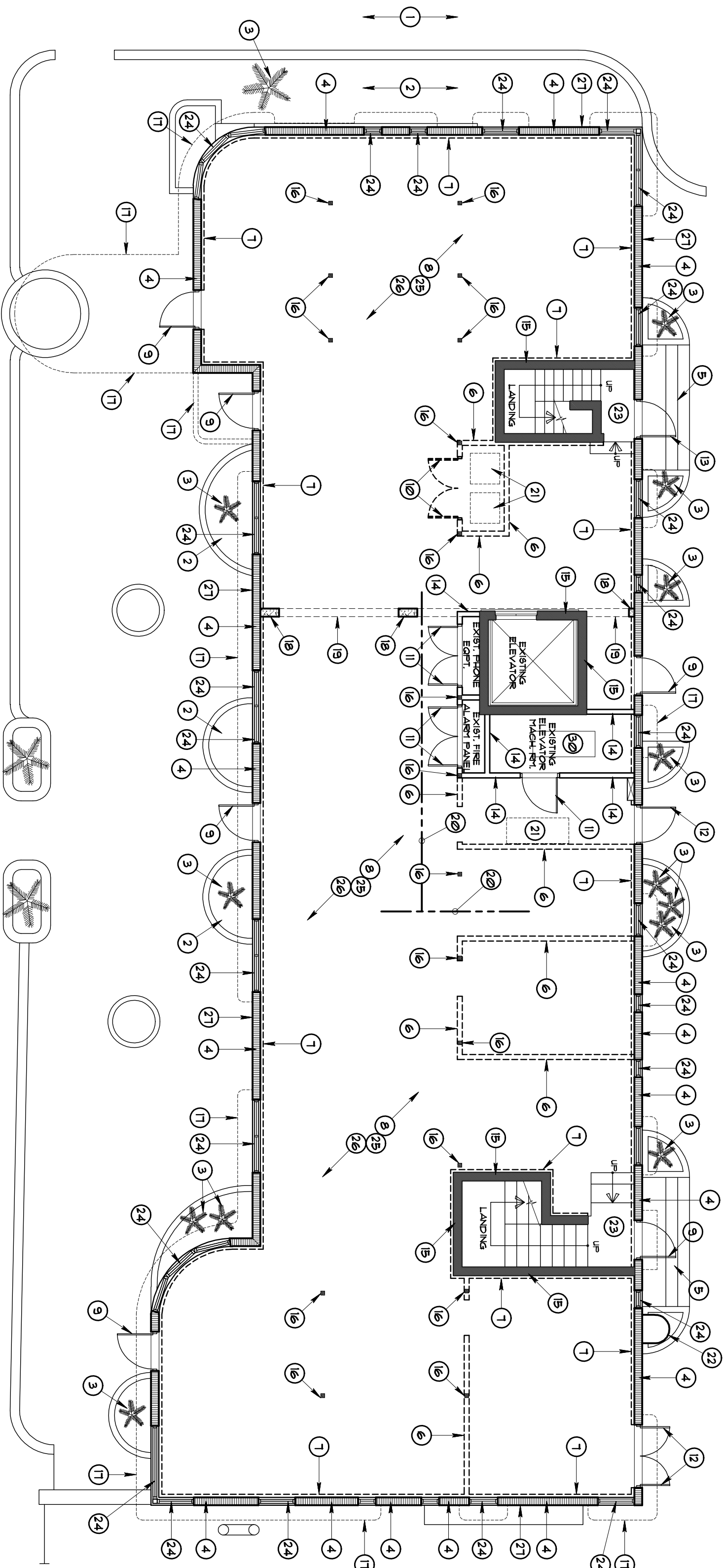
WALL KEY

	EXISTING WALL OR PARTITION
	EXISTING WALL OR PARTITION TO BE REMOVED
	EXISTING WALL OR PARTITION TO BE REPAIR
	EXISTING CONCRETE OR DEPOSITED
	EXISTING EXTERIOR CONCRETE WALL TO REMAIN



2221 BLDG. 2ND FLOOR DEMOLITION PLAN

SCALE 1/8" = 1'-0"



1221 BLDG. 1ST FLOOR DEMOLITION PLAN

SCALE 1/8" = 1'-0"

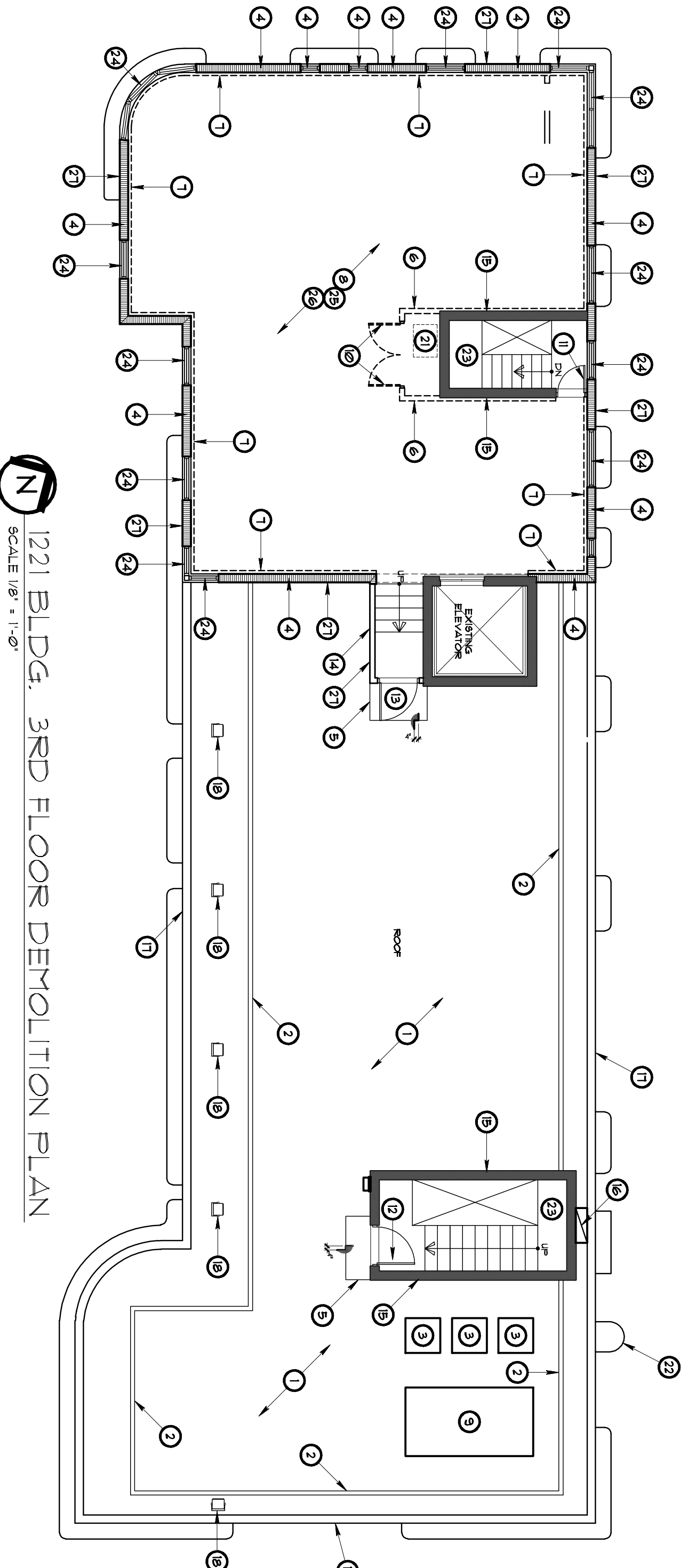
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 - A) Provide protective measures as required to provide free and safe passage of Owner and general public to and from occupied portions of building.
 - B) Erect temporary covered passageways as required by authorities having jurisdiction.
 - C) Provide interior and exterior shoring, bracing, or support to prevent movement, settlement or collapse of structure or element to be demolished, and adjacent facilities or work to remain.
 - D) Remove protections at completion of work.
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 - A) Do not interrupt existing utilities serving occupied or used facilities. Provide temporary services during interruptions to existing utilities.
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 - B) Repair demolition performed in excess of that required. Return structures and surfaces to remain to condition prior to commencement of selective demolition work. Repair adjacent construction of surfaces soiled or damaged by selectively demolition work.
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 - F) Protect floor with suitable coverings when necessary.
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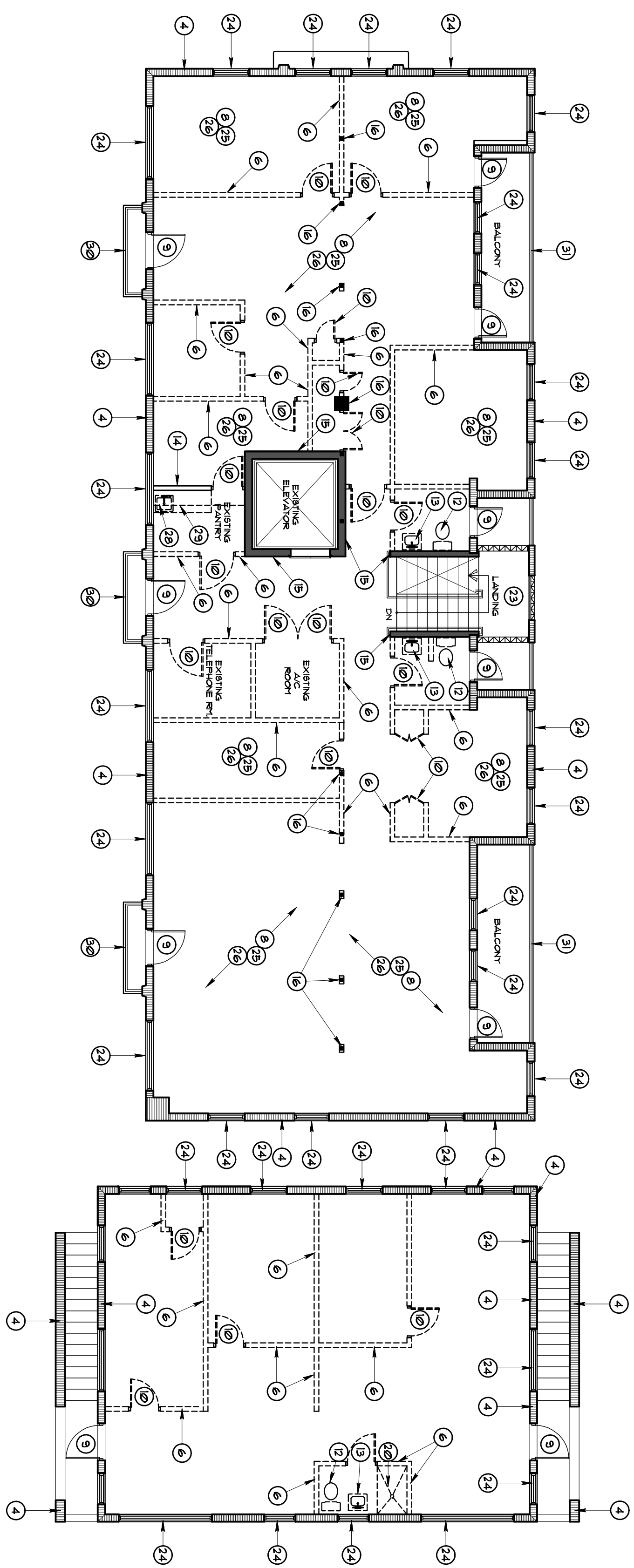
KEY NOTES:

- 1 EXISTING ROOFTOP FINISH TO BE REMOVED
- 2 EXISTING PERIMETRAL ROOF RAILING TO REMAIN
- 3 EXISTING A/C EQUIPMENT TO BE REMOVED/REPLACED
- 4 EXISTING EXTERIOR CONCRETE BLOCK WALL TO REMAIN
- 5 EXTERIOR STEP TO REMAIN
- 6 EXISTING DRYWALL, FURNISH & INSULATION TO BE REMOVED
- 7 EXISTING BRICK & INSULATION OVER CONC. BLOCK WALL TO BE REMOVED
- 8 EXISTING VINYL AND/OR STONE FLOOR TILES TO BE REMOVED
- 9 EXISTING GENERATOR TO REMAIN
- 10 EXISTING HT/L OR WOOD DOOR W/ FRAME TO BE REMOVED
- 11 EXISTING HT/L OR WOOD DOOR W/ FRAME TO REMAIN
- 12 EXISTING EXTERIOR METAL SOLID DOOR TO BE REMOVED OR REPLACED
- 13 EXISTING EXTERIOR METAL SOLID DOOR W/ GLASS OPENING TO REMAIN
- 14 EXISTING NON-BEARING PARTITION WALL TO REMAIN TO BE REPAIRED
- 15 EXISTING HANGOUT BEARING WALL TO REMAIN
- 16 EXISTING EXHAUST CHASE TO REMAIN
- 17 EXISTING ROOF PARAPET TO REMAIN
- 18 EXISTING SPOOT-LIGHT TO REMAIN
- 19 EXISTING FLAT ROOF TO REMAIN
- 20 EXISTING OBLIQUE ROOF TO REMAIN
- 21 EXISTING ADAJ TO BE REMOVED
- 22 EXISTING SEALED FIRE/RACE EXHAUST ENCLOSURE TO REMAIN
- 23 EXISTING STAIR CASE WITH LANDING TO REMAIN
- 24 EXISTING WINDOW TO REMAIN
- 25 EXISTING CLD. TILES TO BE REMOVED
- 26 REMOVE ALL A/C GRILLS/ SUPPLY & RETURN REMOVE ALL EXISTING DUCTWORK
- 27 PATCH & REPAIR EXTERIOR STUCCO AS REQUIRED

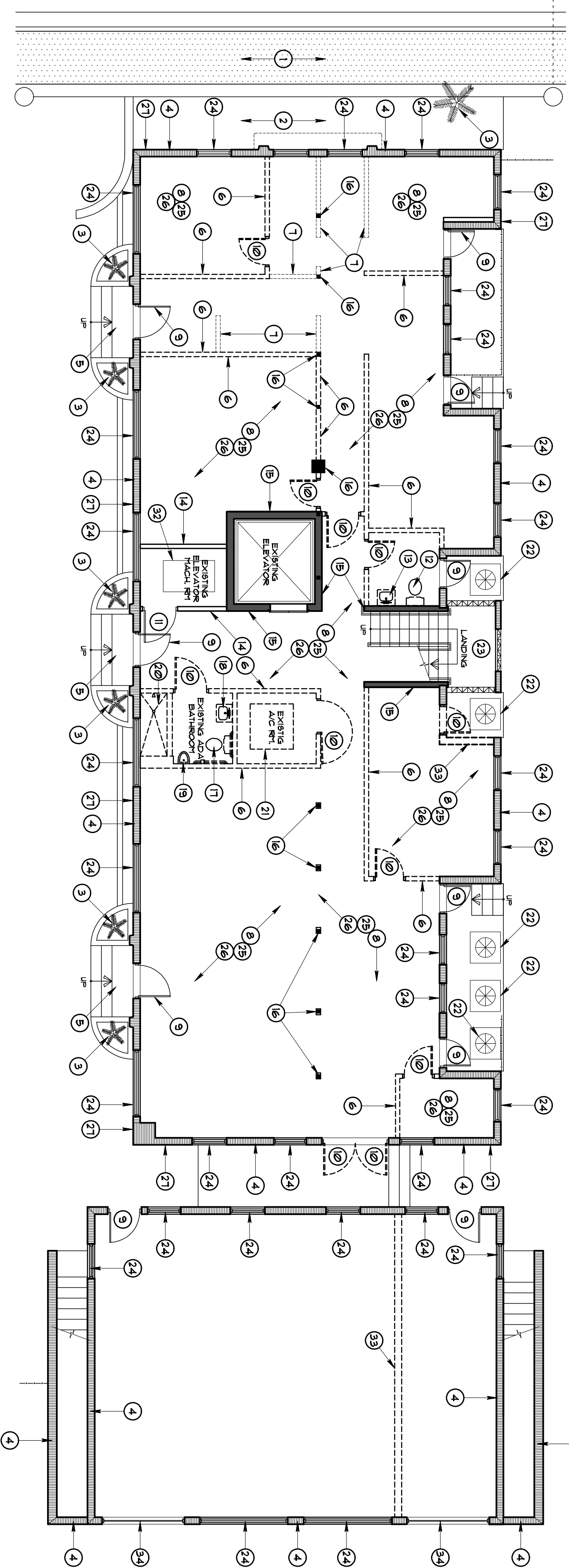
WALL KEY	
	EXISTING WALL OR PARTITION TO REMAIN
	EXISTING WALL OR PARTITION TO BE DEMOLISHED
	EXISTING NON-BEARING PARTITION BEARING WALL TO REMAIN
	EXISTING NON-BEARING PARTITION BEARING WALL TO BE DEMOLISHED
	EXISTING STAIR OR EXISTING EXTERIOR CONC. BLOCK WALL TO REMAIN



1221 BLDG. 3RD FLOOR DEMOLITION PLAN
SCALE 1/8\"/>



1225/1225A BLDGS. DEMOLITION 2ND FLOOR PLAN
SCALE 1/8" = 1'-0"



1225/1225A BLDGS. DEMOLITION 1ST FLOOR PLAN
SCALE 1/8" = 1'-0"

KEY NOTES:

- 1) EXISTING BALCONY TO REMAIN
- 2) EXISTING LANDSCAPING / GLASS AREA TO REMAIN
- 3) EXISTING PALM TREE TO REMAIN
- 4) EXISTING EXTERIOR CONCRETE BLOCK WALL TO REMAIN
- 5) ENTRY PORCH WITH STEPS TO REMAIN
- 6) EXISTING DRYPULL, FURNISH & INSULATION TO BE REMOVED
- 7) EXISTING LOW WALL TO BE REMOVED
- 8) EXISTING VINTL AND/OR STONE FLOOR TILES TO BE REMOVED
- 9) EXISTING ALUM. & GLASS DOORS TO REMAIN
- 10) EXISTING HTL. OR WOOD DOOR W/ FRAME TO BE REMOVED
- 11) EXISTING HTL. OR WOOD DOOR W/ FRAME TO REMAIN
- 12) EXISTING TOILET TO BE REMOVED. CAP OFF ALL PLUMBING LINES
- 13) EXISTING LAVATORY TO BE REMOVED. CAP OFF ALL PLUMBING LINES
- 14) EXISTING NON-BEARING PARTITION WALL TO REMAIN
- 15) EXISTING MASONRY BEARING WALL TO REMAIN
- 16) EXISTING METAL COLUMN TO REMAIN
- 17) EXISTING HC TOILET TO REMAIN
- 18) EXISTING HC LAVATORY TO BE REMOVED
- 19) EXISTING HC URINAL TO BE REMOVED
- 20) EXISTING HC SHOWER TO BE REMOVED
- 21) EXISTING SHU TO BE REMOVED
- 22) EXISTING ACUS ON RISED PATIO SLAB TO BE REMOVED
- 23) EXISTING STAIR CASE WITH LANDING TO REMAIN
- 24) EXISTING WINDOW TO REMAIN
- 25) EXISTING CLG. TILES TO BE REMOVED
- 26) REMOVE ALL A/C GRILLS/ SUPPLY & RETURN
- 27) PATCH & REPAIR EXTERIOR STUCCO AS REQUIRED
- 28) EXISTING SINK WITH COUNTER TO BE REMOVED
- 29) EXISTING WOOD SHELVES TO BE REMOVED
- 30) EXISTING BALCONY WITH RAILING TO REMAIN
- 31) EXISTING METAL RAILING TO REMAIN
- 32) EXISTING ELEVATOR MACHINE TO REMAIN
- 33) EXISTING CONC. BLOCK WALL TO BE DEMOLISHED
- 34) EXISTING ROLL-UP DOOR TO REMAIN

WALL KEY	
	EXISTING WALL WITH PARTITIONS TO REMAIN
	EXISTING WALL WITH CORE DEMOLISHED
	EXISTING MASONRY BEARING WALL TO REMAIN
	EXISTING LOW WALL TO BE DEMOLISHED
	EXISTING CONC. BLOCK WALL TO REMAIN

DEMOLITION NOTES

1. Provide selective demolition work as indicated by drawings, in schedules, and herein specified.
2. Partial Demolition and Removal: Items indicated to be removed with no value to Owner but of salvageable value to Contractor may be removed from structure as work progresses.
 - A) Where indicated on Drawings as 'Salvage - Deliver to Owner', carefully remove indicated items, clean, store and turn over to Owner and obtain receipt.
 3. Protections: Provide temporary barricades and other forms of protection as required to protect Owner and general public from injury due to selective demolition work.
 - A) Provide protective measures as required to provide free and safe passage of Owner and general public to and from occupied portions of building.
 - B) Erect temporary covered passageways as required by authorities having jurisdiction.
 - C) Provide interior and exterior shoring, bracing, or support to prevent movement, settlement or collapse of structure or element to be demolished, and adjacent facilities or work to remain.
 - D) Remove protections at completion of work.
 4. Utility Services: Maintain existing utilities indicated to remain, keep in service, and protect against damage during demolition operations.
 - A) Do not interrupt existing utilities serving occupied or used facilities. Provide temporary services during interruptions to existing utilities.
 - B) Provide services for effective air and water pollution controls as required by local authorities having jurisdiction.
 5. Clean-up and Repair:
 - A) Upon completion of demolition work, remove tools, equipment, and demolished materials from site. Remove protections and leave interior areas broom clean.
 - B) Repair demolition performed in excess of that required. Return structures and surfaces to remain to condition prior to commencement of selective demolition work. Repair adjacent construction of surfaces soiled or damaged by selective demolition work.
 - C) Damages: Promptly repair damages caused to adjacent facilities by demolition work at no cost to Owner.
 - D) Remove debris, rubbish and other materials resulting from demolition operations from building site. Transport and legally dispose of materials off-site.
 - E) Protect from damage existing finish work that is to remain in place and becomes exposed during demolition operations.
 - F) Protect floor with suitable coverings when necessary.
 - G) Provide temporary weather protection during interval between demolition and removal of existing construction on exterior surfaces, and installation of new construction to ensure that no water leakage or damage occurs to structure or interior areas of existing building.
 6. Explosives: The use of explosives will not be permitted.
 7. Environmental Controls: If hazardous materials are encountered during demolition operations, comply with applicable regulations, laws and ordinances concerning removal, handling and protection against exposure or environmental pollution.
 8. Beginning of demolition/ installation will be construed as acceptance of existing substrates, surfaces, and conditions.

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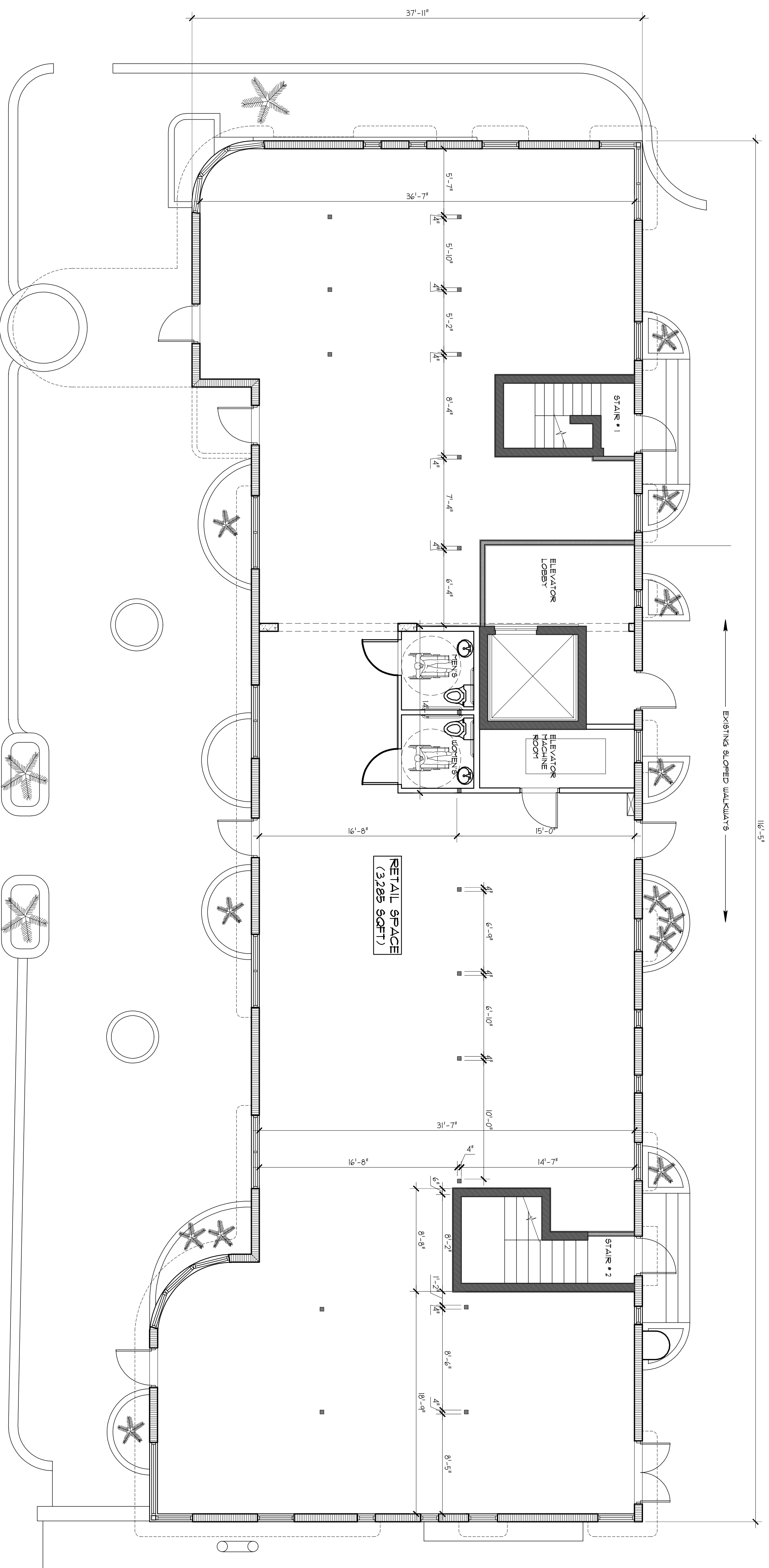
ADDITION & RENOVATION TO:
COMMERCIAL BUILDINGS
1221 AND 1225 COLLINS
1221/1225 COLLINS AVENUE
MIAMI BEACH, FL, 33139

DESIGN BY:
CHECKED BY:
ART SKLAR

EXISTING/ DEMO
FLOOR PLAN

D-3

PROJECT 11-071
DATE: 10-31-11



1221 BLDG. 1ST FLOOR PROPOSED PLAN
 SCALE 3/16" = 1'-0"

ADDITION & RENOVATION TO:
COMMERCIAL BUILDINGS
 1221 AND 1225 COLLINS AVENUE
 MIAMI BEACH, FL, 33139

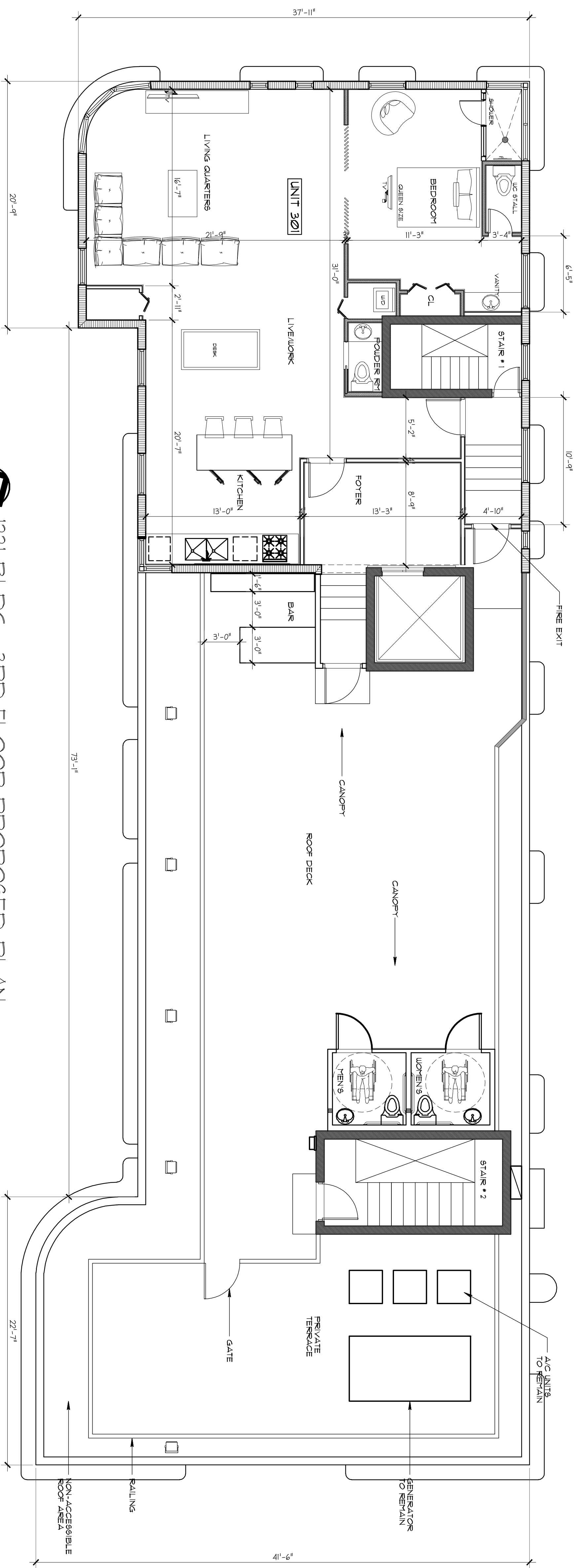
DESIGN BY:
 SKLAR
 CHECKED BY:
 ARI SKLAR

NEW 1ST LEVEL
 FLOOR PLAN

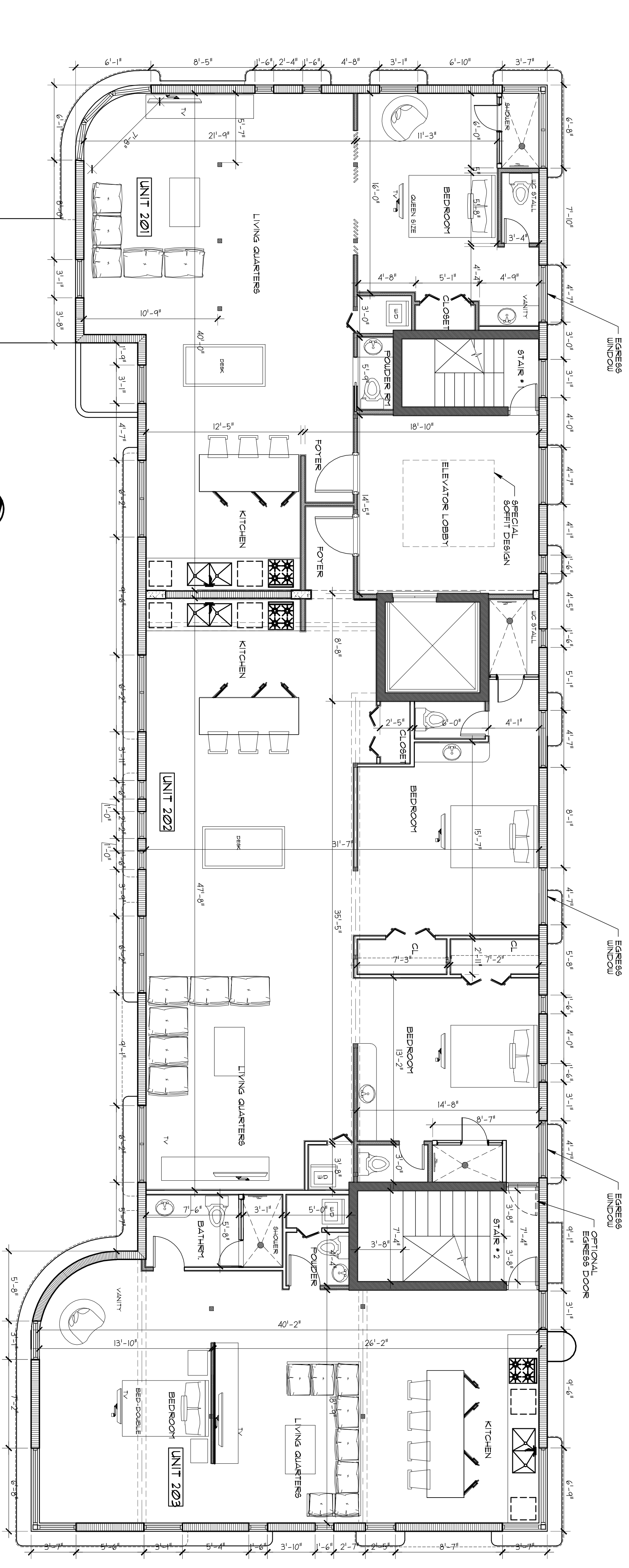
A-1

PROJECT# 11-0271

DATE : 0-31-11



1221 BLDG. 3RD FLOOR PROPOSED PLAN



1221 BLDG. 2ND FLOOR PROPOSED PLAN

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DATE
ARI L. SKLAR
LICENSE # A64173

REVISIONS

ADDITION & RENOVATION TO:
COMMERCIAL BUILDINGS
1221 AND 1225 COLLINS AVENUE
MIAMI BEACH, FL, 33139

DESIGN BY:
CHECKED BY:
ARI SKLAR

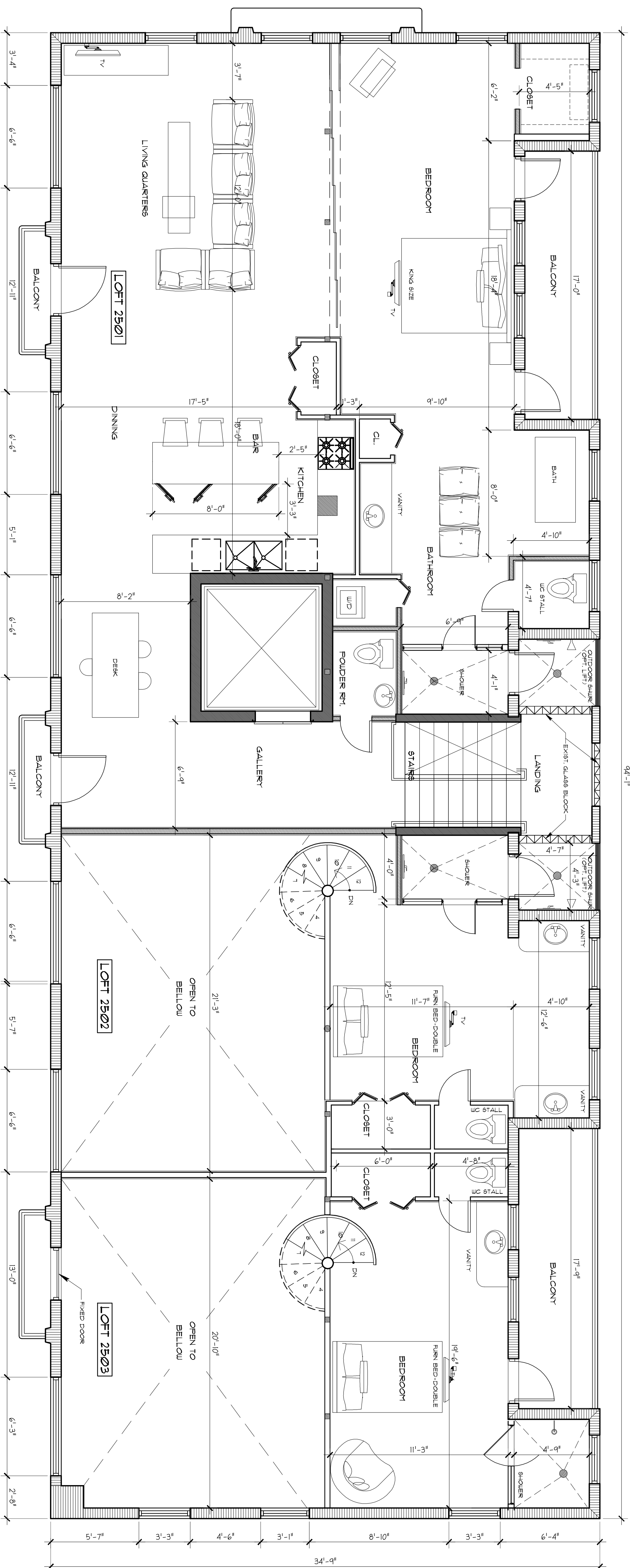
NEW 2ND & 3RD
FLOOR PLAN

A-2

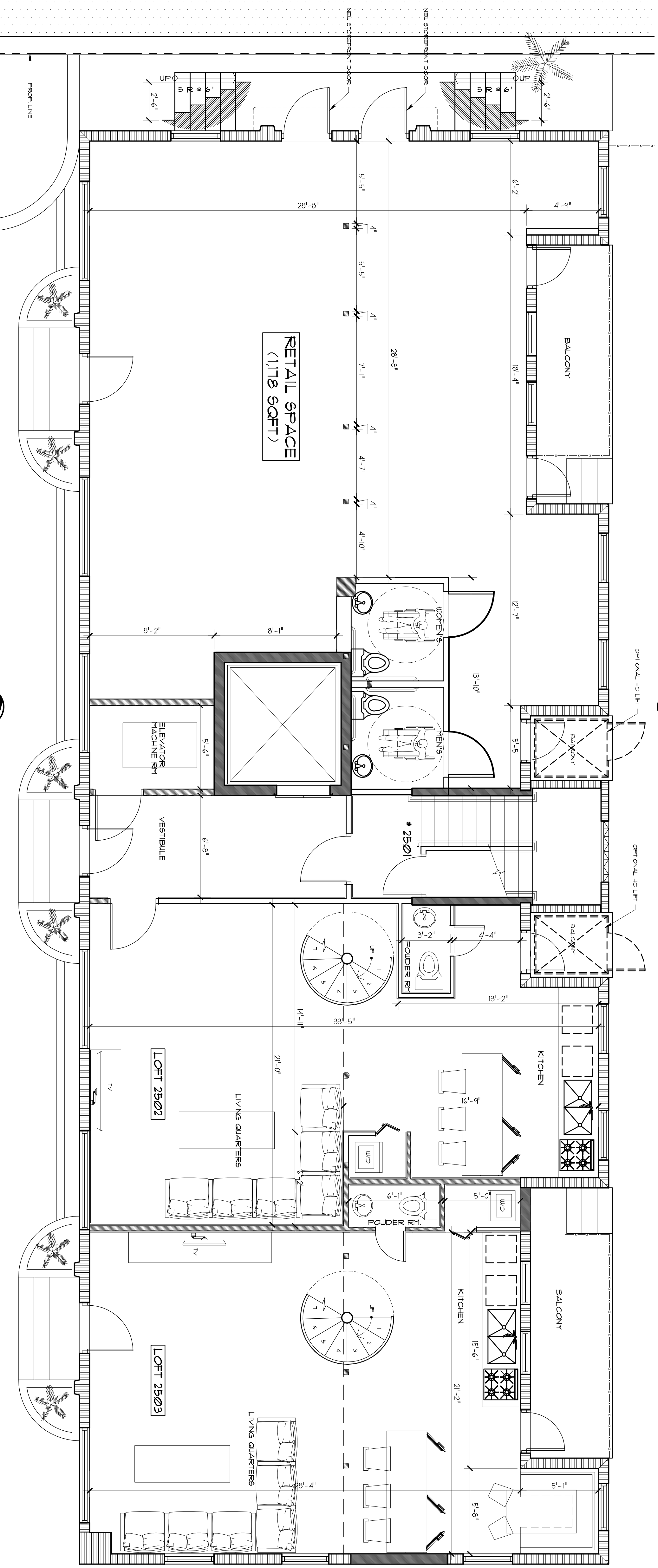
PROJECT# 11-071

DATE : 10-31-11

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1225 BLDG. 2ND FLOOR PROPOSED PLAN
 SCALE 1/4" = 1'-0"



1225 BLDG. 1ST FLOOR PROPOSED PLAN
 SCALE 1/4" = 1'-0"

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ADDITION & RENOVATION TO:
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DESIGN BY:
 CHECKED BY:
 ARI SKLAR

NEW 1ST & 2ND FLR
 FLOOR PLAN

A-3

PROJECT# 11-071
 DATE : 10-31-11

ADDITION & RENOVATION TO:
COMMERCIAL BUILDINGS
 1221 AND 1225 COLLINS AVENUE
 MIAMI BEACH, FL, 33139

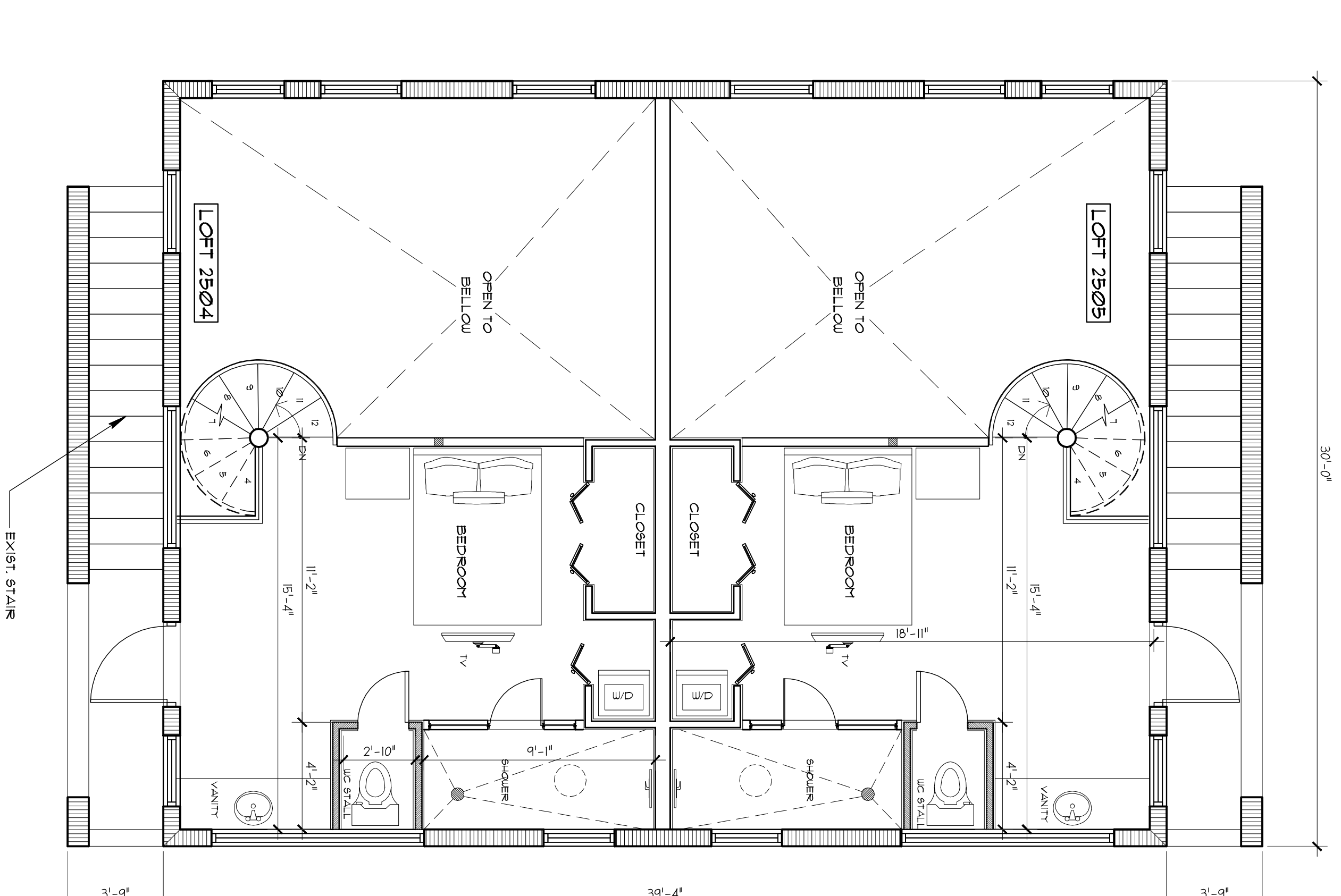
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NEW 1ST & 2ND FLR
 FLOOR PLAN

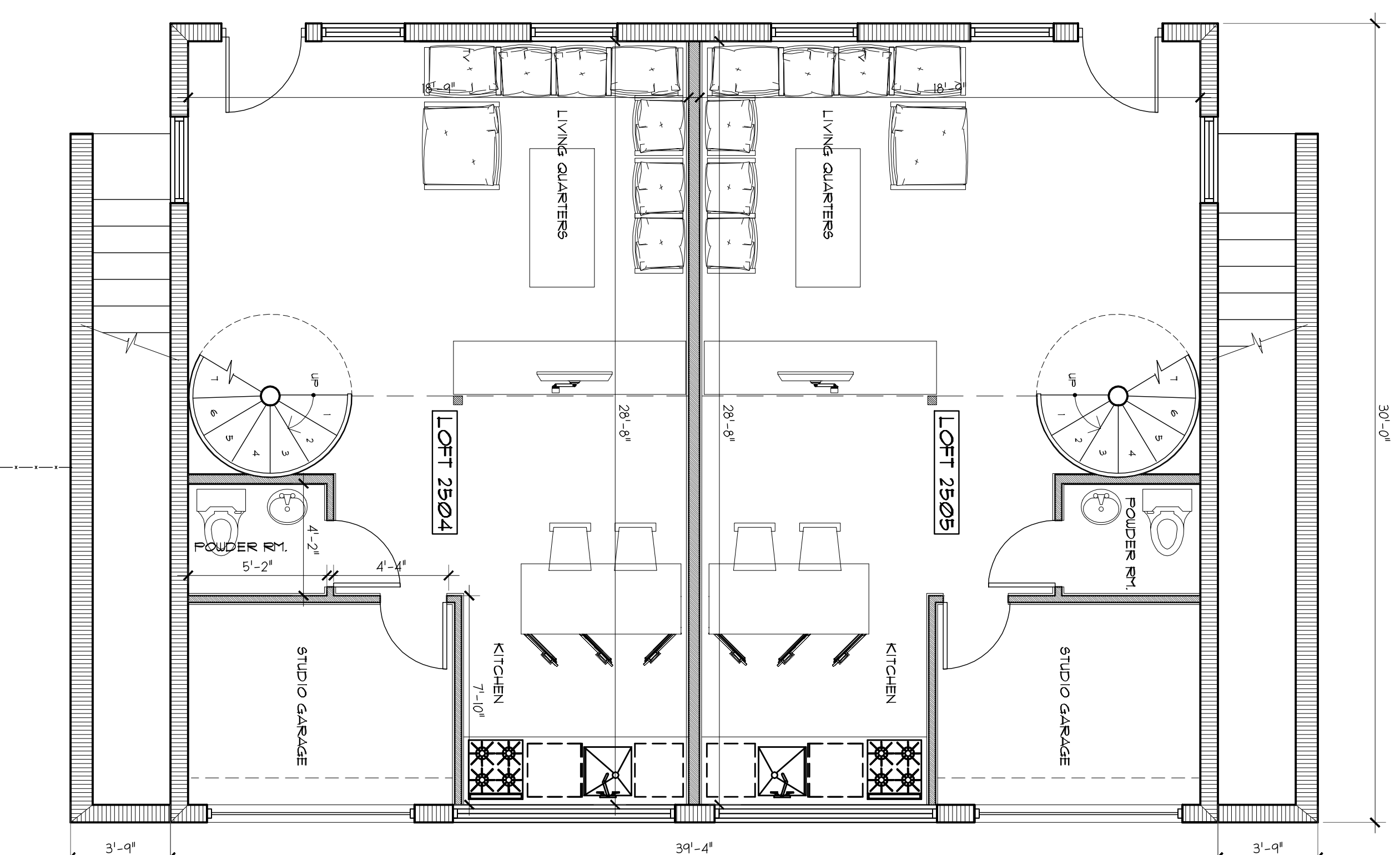
PROJECT# 11-071

A-4

DATE : 10-31-11



1225A BLDG. 2ND FLOOR PROPOSED PLAN
 SCALE 1/4" = 1'-0"

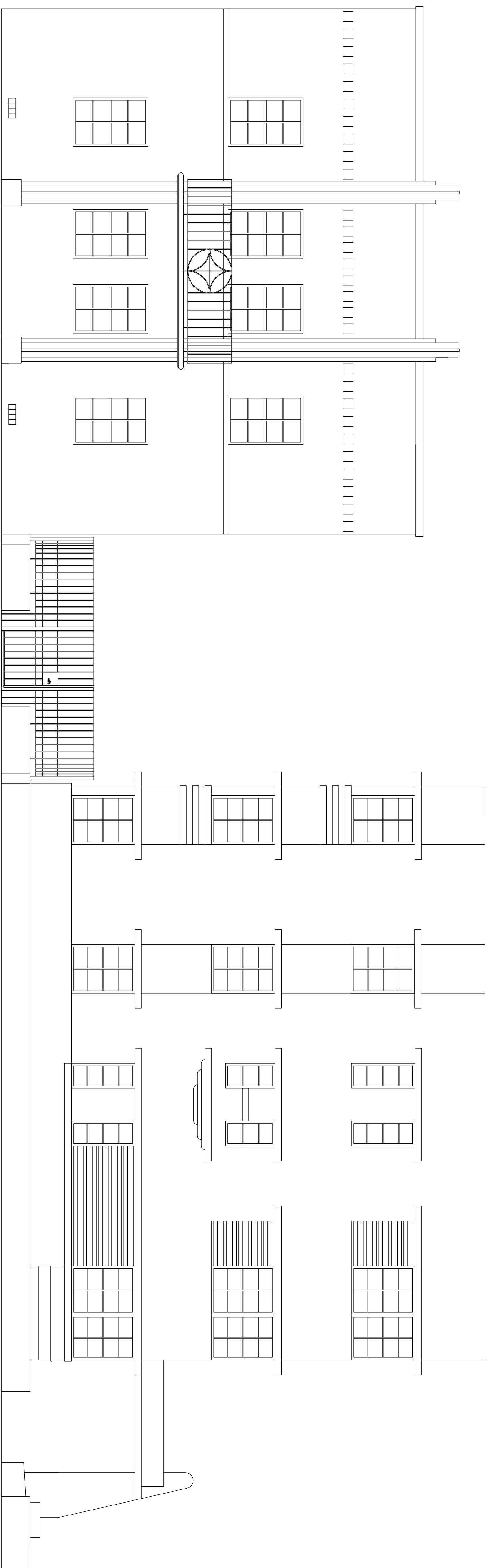


1225A BLDG. 1ST FLOOR PROPOSED PLAN
 SCALE 1/4" = 1'-0"

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SKLAR
 ARI L. SKLAR
 LICENSE # 48413

REVISIONS



EXISTING WEST ELEVATION
 SCALE 1/4" = 1'-0"

ADDITION & RENOVATION TO:
COMMERCIAL BUILDINGS
 1221 AND 1225 COLLINS
 1221/1225 COLLINS AVENUE
 MIAMI BEACH, FL, 33139

DRAWN BY:
 FL
 CHECKED BY:
 ARI SKLAR

WEST
 ELEVATION PLAN

A-5

PROJECT# 11-021

DATE : 0-31-11





