

EXHIBIT F

INTERIOR & EXTERIOR ALTERATIONS FOR:
CASA COLLINS

1420 COLLINS AVENUE
MIAMI BEACH, FL 33139
FOLIO # 02-3234-003-0770

ARCHITECT:
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SCHEMATIC
DESIGN SET
4.28.2020

INTERIOR ALTERATIONS FOR
CASA COLLINS
1420 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33139
FOLIO # 02-3234-003-0770

DATE:	4.28.2020
DRAWN BY:	MS
REVISION:	DATE:

FRONT
COVER
SHEET

INDEX OF DRAWINGS		
ARCHITECTURAL		
A0.0	FRONT COVER SHEET	N/A
A1.1	SITE PLAN & GENERAL PROJECT DATA	AS NOTED
A1.2	SURVEY	N/A
A1.3	WALL TYPES & DETAILS	AS NOTED
A2.1	DEMOLITION PLAN	1/4" = 1'-0"
A3.1	PROPOSED FIRST & SECOND FLOOR PLANS	1/4" = 1'-0"
A3.2	FIRST & SECOND REFLECTED CEILING PLANS	1/4" = 1'-0"
A4.1	DETAILS	1/2" = 1'-0"
CIVIL		
C100	GENERAL NOTES & SPECIFICATIONS	N/A
C200	CIVIL PLANS AND DETAILS	AS NOTED
C201	PUBLIC WORKS DETAILS	AS NOTED
STRUCTURAL		
S-1.1	KEY PLAN AND FOUNDATION PLAN	AS NOTED
S-2.1	SECTIONS AND DETAILS	AS NOTED
S-3.1	CONCRETE REPAIR DETAILS	AS NOTED
MECHANICAL		
M-1.1	MECHANICAL FLOOR PLANS	1/4" = 1'-0"
M-2.1	MECHANICAL NOTES & DETAILS	N/A
ELECTRICAL		
E1.1	ELECTRICAL FLOOR PLANS	AS NOTED
E1.2	LIGHTING FLOOR PLAN & RISER DIAGRAMS	AS NOTED
E2.1	PANEL SCHEDULES AND RISER DIAGRAMS	AS NOTED
PLUMBING		
P-1.1	PLUMBING FLOOR PLANS	1/4" = 1'-0"
P-2.1	PLUMBING NOTES & DETAILS	AS NOTED

GENERAL NOTES

- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF ARCHITECT AND MAY NOT BE USED OR REPRODUCED IN ANY MANNER WITHOUT EXPRESSED WRITTEN CONSENT.
- NO DEVIATIONS FROM THESE PLANS ARE TO BE MADE, IN ANY WAY, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT. OWNER: ALTERNATE EQUIPMENT MAY ONLY BE SUBSTITUTED WITH WRITTEN APPROVAL OF THE ARCHITECT/OWNER.
- THE GENERAL CONTRACTOR (G.C.) IS TO PROVIDE, LOCATE AND BUILD INTO THE WORK ALL SUPPLEMENTARY MATERIALS (INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, PITCHES, ETC.) AS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE, AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.
- IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY MINOR CONSTRUCTION DETAIL. THE G.C. IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS REQUIRED TO COMPLETE ALL BUILDING SYSTEMS AND PROVIDE ALL NECESSARY ADJUSTMENTS FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER WITH QUALITY CRAFTSMANSHIP WITHOUT INCREASING THE CONTRACT SUM OR CONTRACT COMPLETION DATE.
- THE G.C. IS TO OBTAIN ALL REQUIRED PERMITS FOR THE CONSTRUCTION, FINISHING AND OCCUPANCY OF THE PROJECT.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2017, CITY ORDINANCES, AND COUNTY AMENDMENTS.
- ALL WORK DESCRIBED IN THESE DOCUMENTS MUST BE PERFORMED BY CONSTRUCTION PROFESSIONALS LICENSED & INSURED IN THE STATE OF FLORIDA (F.B.C. REQUIRED). ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND F.B.C., LATEST EDITION.
- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK CONFORM WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. THE G.C. SHALL NOTIFY THE ARCHITECT/ENGINEERS OF RECORD IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED BETWEEN THE DRAWINGS AND THESE REQUIREMENTS. ANY DISCREPANCIES SHALL BE RESOLVED BY THE ARCHITECT/ENGINEER, OWNER OF RECORD PRIOR TO PROCEEDING WITH THE WORK.
- STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH ARCHITECTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS TO LOCATE DEPRESSIONS, SLOPES, DRAINS, OUTLETS, RECESSES, OPENINGS, REGULATES, BOLT SETTINGS, SLEEVES, DIMENSIONS, ETC. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY AND ALL WORK.
- THESE DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS AND INFORMATION SHOWN. ALL DIMENSIONS ARE FRAME TO FRAME, TO STRUCTURE, OR TO CENTERLINE, UNLESS OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD AND REPORT ANY DISCREPANCIES TO ARCHITECT FOR ACTION.
- THE G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE STARTING ANY WORK. BRING ALL DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT BEFORE BEGINNING ANY WORK.
- THE G.C. SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF THE EXISTING OF ANY OBSERVED VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND THE APPLICABLE CODES OR ORDINANCES.
- ALL WORK DONE UNDER THE SUPERVISION OF THE G.C. SHALL BE IN A NEAT AND WORKMANLIKE MANNER IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL GOVERNING AGENCIES HAVING JURISDICTION.
- THE G.C. SHALL REPAIR ALL DAMAGE TO THE EXISTING BUILDING DURING CONSTRUCTION RESULTING FROM LACK OF CARE AND DUE DILIGENCE AND MAY NOT CLAIM MONETARY DAMAGES OR TIME DELAYS AGAINST THE CONTRACT SUM OR CONTRACT COMPLETION DATE FOR THAT WORK.
- THE G.C. SHALL COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THAT THE PROJECT IS COMPLETED BY THE CONTRACT COMPLETION DATE.
- PRIOR TO COMMENCING WORK, THE G.C. SHALL VERIFY THE LOCATION OF ALL EQUIPMENT TO BE REMOVED/RELOCATED. REMOVALS SHALL BE COORDINATED WITH THE OWNER.
- THE G.C. SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE BUILDING MANAGEMENT FOR THE DISPOSAL OF REMOVED MATERIAL/CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED PERIODICALLY TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
- THE G.C. SHALL PROVIDE THE ARCHITECT WITH REDLINE AS-BUILT DRAWINGS FOR ALL FIELD CHANGES/ADDITIONS TO THE WORK INCLUDED IN THE DRAWINGS.
- THE G.C. SHALL PROVIDE AN ITEMIZED COST BREAKDOWN OF ALL ITEMS AND PHASES OF CONSTRUCTION AT THE TIME OF BIDDING.
- THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, PROCEDURES, PRECAUTIONS OR PROGRAMS RELATED TO THIS PROJECT'S CONSTRUCTION.
- ALL WORK IS TO BE PLUMB, ALIGNED, SQUARE, AND ADEQUATELY SUPPORTED. FILL ALL VOIDS BETWEEN COMPONENTS. ALL ITEMS THAT DO NOT MEET THE ARCHITECT'S SATISFACTION AS TO GOOD TRADE PRACTICES AND QUALITY CRAFTSMANSHIP SHALL BE REMOVED AND REDONE AT THE G.C.'S EXPENSE.
- THE G.C. IS TO MAINTAIN A SAFE SITE, CLEAR OF DEBRIS AT ALL TIMES.
- THE G.C. AND ALL SUBCONTRACTORS ARE TO GUARANTEE THE QUALITY OF THEIR WORK FOR A MINIMUM PERIOD OF ONE YEAR IN WRITING, TO BE SUBMITTED WITH THE BID.
- ALL DETAILS AND SECTIONS SHOWN ON THESE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN. IT IS THE G.C.'S RESPONSIBILITY TO FORSEE ADDITIONAL CONDITIONS PRIOR TO COMMENCING THE WORK AND NOTIFY THE ARCHITECT IMMEDIATELY FOR INSTRUCTION.
- ALL ASSEMBLIES REFERRED TO AS FIRE-RATED SHALL BE A MINIMUM OF ONE HOUR UNLESS OTHERWISE INDICATED. ALL PENETRATIONS THROUGH ANY RATED ASSEMBLY SHALL BE PROVIDED W/ APPROVED PENETRATION RATED DEVICES.
- THE GENERAL CONTRACTOR SHALL REVIEW AND APPROVE THE SUBMITTED SHOP DRAWING WITH THE CONTRACT DOCUMENTS PRIOR TO SUBMISSION TO THE ARCHITECT. REJECTED SHOP DRAWING WILL BE RETURNED TO THE SUBCONTRACTOR FOR REVISION AND RE-SUBMISSION. THE ARCHITECT SHALL THEN REVIEW AND APPROVE THE SUBMITTED SHOP DRAWING FOR DESIGN INTENT ONLY. REJECTED SHOP DRAWINGS WILL BE RETURNED TO THE SUBCONTRACTOR FOR REVISION AND RE-SUBMISSION. ONCE APPROVED BY THE ARCHITECT AND CONTRACTOR, THE SUBCONTRACTOR SHALL SUBMIT THE SHOP DRAWINGS TO THE CITY BUILDING DEPARTMENT (AS APPLICABLE IF REQUIRED) FOR REVIEW AND APPROVAL PRIOR TO ANY FABRICATION AND INSTALLATION. ALL SHOP DRAWINGS SHALL BE SUBMITTED ON 24" X 36" PAPER ONLY. SUBMIT 4 (FOUR) COPIES FOR APPROVAL.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ANY EXISTING UTILITIES IN THE AREA OF PROPOSED WORK.

FOLIO NUMBER & LEGAL DESCRIPTION

FOLIO #: 02-3234-008-0770 (Miami Beach & Miami-Dade County)

LEGAL DESCRIPTION:
LOT 4, IN BLOCK 26, OF OCEAN BEACH FLA, ADDITION #2 PLAT BOOK 2, PAGE 56

LOT SIZE 50 X 140

BUILDING CODE SUMMARY

- APPLICABLE CODES:
- Florida Building Code, Existing Buildings - 2017
 - Florida Building Code - 2017
 - Florida Fire Prevention Code - 6th Edition
 - Local Codes and Ordinances
 - Miami Beach & Miami-Dade County
 - Florida Fire Prevention Code - 6th Edition

CLASSIFICATION OF WORK

ALTERATION-LEVEL II A(PER CHAPTER-5 OF THE 2017 FLORIDA BUILDING CODE - EXISTING BUILDING, 6th EDITION)

THE BUILDING SHALL REMAIN ENTIRELY UNOCCUPIED DURING CONSTRUCTION.

SCOPE OF WORK

- CHANGE OF USE FROM APARTMENT HOUSE R-2 (NON-TRANSIENT) TO HOTEL R-1 (TRANSIENT)
- NEW ADA ROOM AND BATHROOM
 - NEW ADA RAMP
 - NEW FIRE SEPARATION DOORS IN HALLWAYS
 - NEW FIRE SPRINKLER SYSTEM (UNDER SEPARATE PERMIT).

OCCUPANCY CLASSIFICATION

PREVIOUS USE: APARTMENT HOUSE, NON-TRANSIENT (R-2)
NEW OCCUPANCY: HOTEL, TRANSIENT (R-1)

PARKING REQUIREMENTS

AS PER SEC 130-31 (76) NO PARKING REQUIREMENTS SHALL APPLY FOR THIS PROJECT, DUE TO THE BUILDING HISTORIC SIGNIFICANCE. NO ADDITIONAL FLOOR AREA PROPOSED

EROSION AND SEDIMENT CONTROL NOTES

- GENERAL EROSION AND SEDIMENT CONTROL NOTES:
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS, APPLICABLE PERMITS, AND THE PREVENTION, CORRECTION, CONTROL, AND ABATEMENT OF EROSION AND WATER POLLUTION AS ACCORDING TO THE BEST MANAGEMENT PRACTICES (BMP) MANUAL. BMPs SHALL BE PLACED WHERE THEY ARE MOST EFFECTIVE TO PREVENT EROSION AND SEDIMENT CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
 - THE SITE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF BMPs TO MAKE SURE THEY ARE FUNCTIONING AS DESIGNED AT ALL TIMES.
 - THE BMP STRUCTURES SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 - CORRECTLY INSTALLED SILT FENCES WILL BE USED ALONG THE LIMITS OF CONSTRUCTION TO MINIMIZE OFFSITE SEDIMENT MIGRATION.
 - SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED AND WHERE NO ACTIVE CONSTRUCTION IS OCCURRING.
 - THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY AGENCY THAT RESULTS IN FINES BEING ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO ELIMINATE TURBID RUNOFF FROM LEAVING THE SITE AND RAISING BACKGROUND LEVELS OF TURBIDITY ABOVE EXISTING BACKGROUND LEVELS.
 - INLET PROTECTION
 - WIRE MESH SHALL BE LAID OVER THE TOP DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2" HOLES SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY THE STRIPS SHALL BE OVERLAPPED.
 - FOR 18" X 18" CONCRETE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH AS INDICATED ON DETAIL. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
 - IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PLACED AWAY FROM THE INLET, CLEANED AND REPLACED.
 - THE FILTER BARRIER SHALL BE EXTENDED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED AROUND THE INLET AND WIDTH OF A BASE. A MINIMUM DEPTH OF 6 INCHES AFTER THE BALES ARE STAKED. THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
 - BALES SHALL BE OTHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS ORIENTED AWAY FROM THE INLET.
 - BALES SHALL BE PLACED LENGTHWISE IN SINGLE ROW SURROUNDING THE INLET WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.
 - EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.
 - LOOSE STAKES SHOULD BE WEDGED BETWEEN BALES TO PREVENT WATER FROM SPREADING BETWEEN BALES.
 - TURBIDITY BARRIERS
 - FLUATING TURBIDITY BARRIERS WILL BE PLACED AT ALL OUTFALL LOCATIONS CONNECTED TO THE WORK AREA DURING ACTIVE CONSTRUCTION. IF SEDIMENT ARE PRESENT BARRIERS WILL NOT BE PLACED OVER THEM. THE FLUATING TURBIDITY BARRIERS SHALL BE INSTALLED IN A MANNER TO PREVENT MANEAT ENVELOPMENT.
 - TURBIDITY BARRIERS TO BE MARKED WITH SITE CONTRACTOR'S COMPANY NAME USING PERMANENT MARKINGS NO SMALLER THAN 3 INCHES IN HEIGHT ON THE TOP OF THE BARRIER.

40 YEAR RECERTIFICATION

- The scope of work shall include addressing all structural and electrical items mentioned in the 40 year recertification report, dated 5/8/2020, by Tabio Engineering Corporation.

ZONING DATA

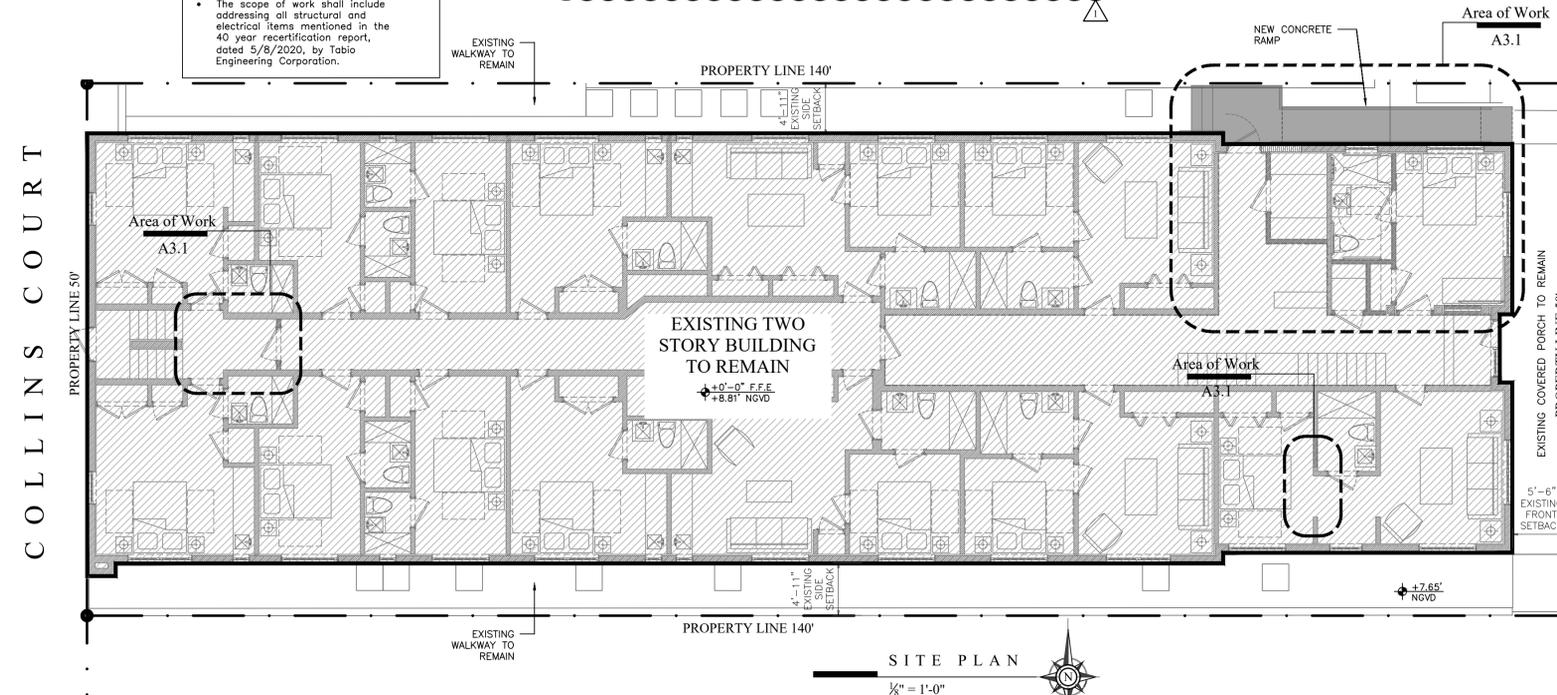
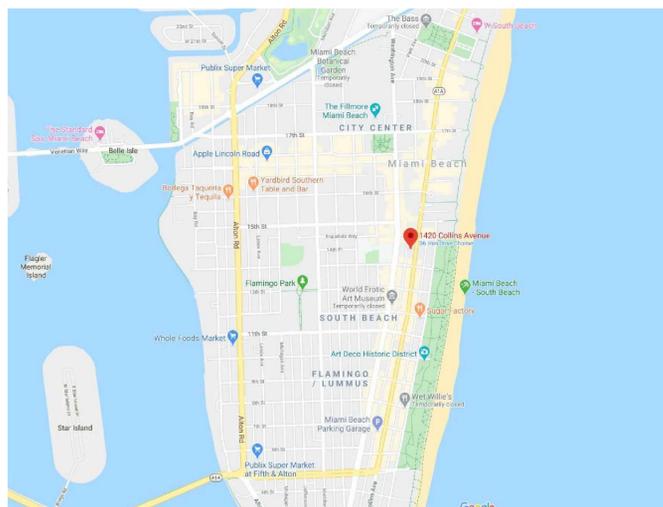
ZONING LAND USE:	CHANGE OF USE FROM R-2 TO R-1		
ZONING DESIGNATION:	MXE		
FLOOD ZONE:	A1		
BASE FLOOD ELEVATION (+1' FREE BOARD)	+8.00' NGVD + 1' = +9.00' NGVD		
PERFORMANCE STANDARDS			
	ALLOWED	EXISTING	PROPOSED
MINIMUM LOT AREA	5,750 SF	7,000 SF	EXISTING TO REMAIN
MINIMUM LOT WIDTH	50'	50'	EXISTING TO REMAIN
MAXIMUM BUILDING HEIGHT	40'		EXISTING TO REMAIN
MAXIMUM NUMBER OF STORIES	4	2	EXISTING TO REMAIN
MAXIMUM FLOOR AREA RATIO	1.75	1.47	EXISTING TO REMAIN
MINIMUM FLOOR AREA PER HOTEL UNIT	15%: 300-335 SF 85%: +335 SF	420 SF (2 UNITS) 385 SF (5 UNITS) 350 SF (4 UNITS) 240 SF (8 UNITS) 180 SF (8 UNITS)	1 NEW UNIT 220 SF
MINIMUM PARKING	N/A	N/A	N/A
SETBACK REQUIREMENTS			
FRONT	5'	5'	EXISTING TO REMAIN
SIDE INTERIOR	7.5'	5'	EXISTING TO REMAIN
REAR	5'	2'	EXISTING TO REMAIN

BURGLARY/SECURITY NOTES:

- ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND ACCORDING TO RESISTANCE STANDARDS SET FORTH IN THE F.B.C.
- ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEYPERATED FROM THE EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OR LOCKING COMBINATIONS. IF KEY-IN-THE-KNOB LOCK IS USED, THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT OR INSERTS.
- THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE THE SAME LOCK REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIRS OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MINIMUM THROW BOLTS WITH INSERTS.
- HINGES ON EXTERIOR OUT-SWING DOORS SHALL HAVE NON-EXPOSED SCREWS AND NON-REMOVABLE FINIS.
- JAMBS OF ALL EXTERIOR OFFSET TYPE IN-SWINGING DOORS SHALL BE RABBETED OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF LOCKS AND LATCHES.
- SINGLE SWINGING EXTERIOR DOORS SHALL BE SOLID CORE OF NOT LESS THAN 1-3/4" THICK.
- VISION PANELS IN EXTERIOR DOORS WITHIN 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOOSE AND SWINGING GLASS DOORS, SHALL COMPLY WITH ANSI STANDARD 297.1
- GLASS IN EXTERIOR DOORS SHALL COMPLY WITH ANSI STANDARD 297.1
- SINGLE SWING EXTERIOR DOORS CONNECTING LIVING AREAS WITH GARAGE AREA SHALL BE SECURED WITH A LATCH AND A SINGLE DEADBOLT WITH 1" MINIMUM THROW, OR A COMBINATION OF LATCH AND DEADBOLT SET WITH A LATCH THROW OF 3/4" MINIMUM AND BOLTS HAVING A THROW OF 1" MINIMUM. DOORS SHALL BE SOLID CORE OF NOT LESS THAN 1-3/4" THICK.
- FRONT DOOR TO BE PROVIDED WITH A SCOPE (PEEP-HOLE) OR VISION PANELS.
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL EFFORT.
- WINDOWS SHALL BE LOCKED WITH DEVICES ON THE INSIDE CAPABLE OF WITHSTANDING A FORCE OF 150 POUNDS APPLIED IN AN OPERABLE DIRECTION UNLESS OPENING IS PROTECTED BY INTRUSION SECURITY DEVICES AS SET FORTH HEREIN.
- WINDOWS SHALL BE CONSTRUCTED SO THAT WHEN FIXED OR LOCKED THEY CANNOT BE REMOVED AS SET FORTH HEREIN.
- WINDOWS FROM OUTSIDE UNLESS THE OPENING IS PROTECTED BY INTRUSION SECURITY DEVICES AS SET FORTH HEREIN.
- ALUMINUM WINDOWS SHALL COMPLY WITH THE FOLLOWING INSTITUTE SPECIFICATIONS: AA-A 1302.3 - 1972 & ANSI 134.1 - 1972

NOTES:

- RAINWATER DRAINAGE: THE G.C. SHALL PROVIDE FINAL GRADING AS PER CIVIL DRAWINGS. SITE TO BE GRADED TO MAINTAIN ALL RAINWATER WITHIN PROPERTY LINES. THE G.C. SHALL SITE VERIFY ALL BERM AND SWALE LOCATIONS WITH THE ARCHITECT AND OWNER PRIOR TO ANY WORK.
- EXISTING SOIL: AFTER REMOVAL OF ANY TOPSOIL, DEBRIS AND ORGANIC OR DELETERIOUS MATERIAL, COMPACT EXISTING MATERIAL WITH A HEAVY SELF-PROPELLED VIBRATORY ROLLER (MIN. STATIC WEIGHT OF 10 TONS) WITH A MINIMUM OF 1 PASS OVERLAPPING 6". MATERIAL EXCAVATED FROM THE SITE MAY BE REUSED FOR FILL PROVIDED IT IS FREE FROM BLACKTOP, ORGANIC, OR DELETERIOUS MATERIAL AND IS COMBINED WITH LIME ROCK FILL TO GIVE A SUITABLE FILL MATERIAL OF MINIMUM DRY DENSITY OF 110 POUNDS PER CUBIC FOOT AND WILL COMPACT TO 95%.
 - FILL MATERIAL: ALL FILL MATERIAL TO BE CLEAN COURSE SAND AND CRUSHED LIME ROCK, FREE OF ORGANIC OR DELETERIOUS MATERIAL, OF A MINIMUM DRY DENSITY OF 110 POUNDS PER CUBIC FEET. FILL AND BACK FILL TO BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED BY THE STANDARD PROCTOR TEST. SEE STRUCTURAL DRAWINGS FOR FURTHER DETAILS.
 - TERMITE PROTECTION: PER FBC R-4409.13.5: ALL BUILDINGS SHALL HAVE A PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS AND PESTICIDES APPLIED TO WOOD, OR OTHERS APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION ACCORDING TO FBC R-318. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS ACCORDING TO RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED ACCORDING TO FBC 2017 R-317 & R-4409.13, AND AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE.



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SCHMATIC DESIGN SET
4.28.2020

INTERIOR ALTERATIONS FOR
CASA COLLINS
1420 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33139
TEL: 305.361.9535 / 305.361.9486

SITE PLAN

DATE:	4.28.2020
DRAWN BY:	MS
REVISOR:	DATE:

PLANS REVIEW COMMENTS PAGE 01

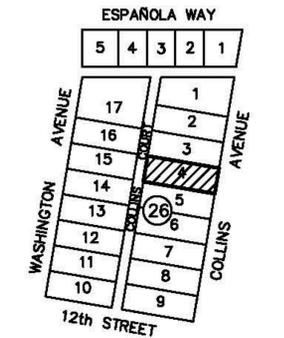
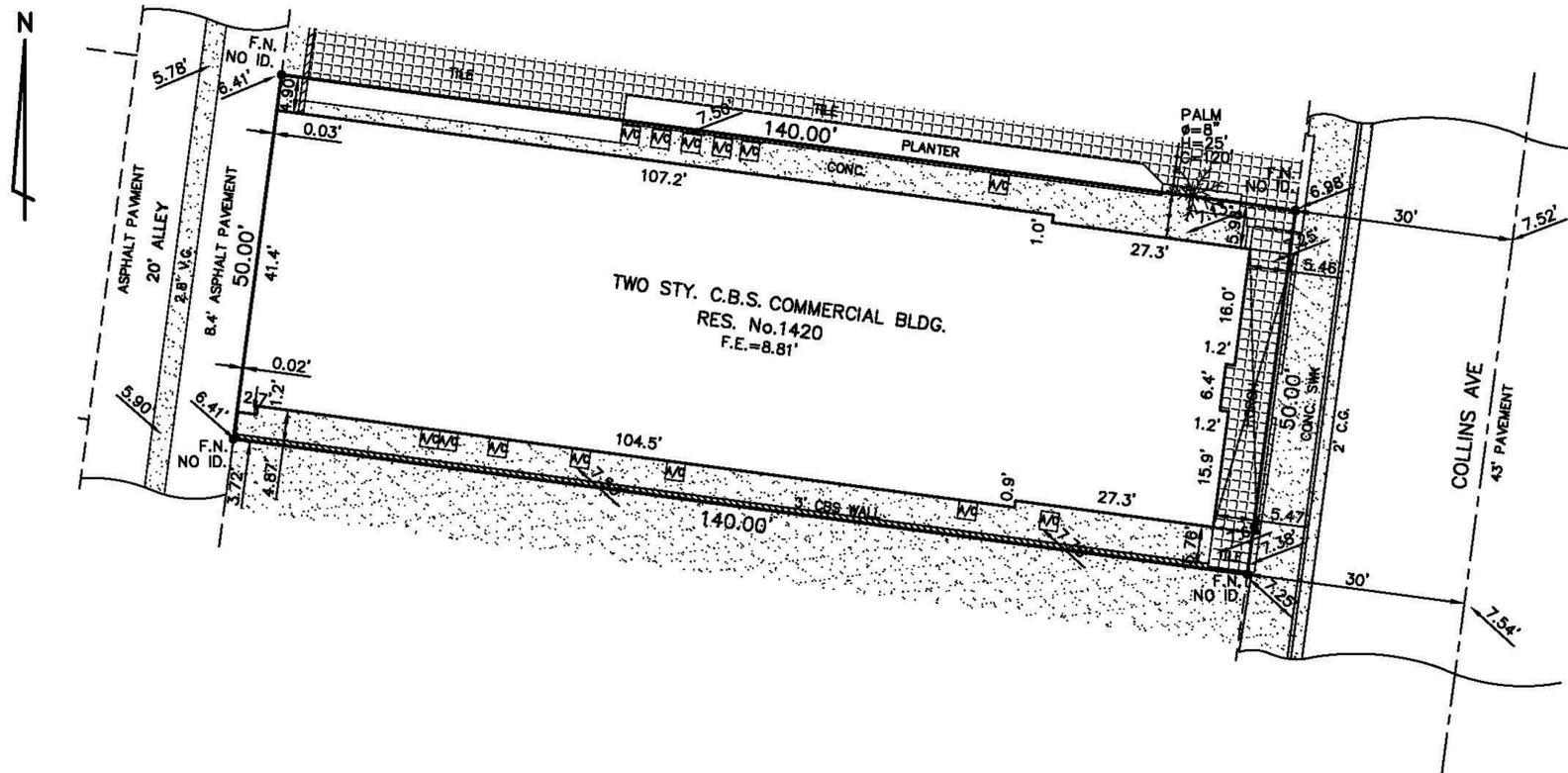
A1.1

BOUNDARY AND TOPOGRAPHIC SURVEY

PROPERTY ADDRESS:
1420 COLLINS AVENUE, MIAMI BEACH, FLORIDA 33139

LEGAL DESCRIPTION

LOT 4, IN BLOCK 26, OF OCEAN BEACH FLA, ADDITION No.2,
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT
PAGE 56, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



LOCATION SKETCH
N.T.S.

NOTES:

- THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN THE STANDARDS OF PRACTICE (51-17 FAC), IS "COMMERCIAL". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 10,000 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- WELL IDENTIFIED FEATURES AS DEPICTED ON THIS SKETCH WERE MEASURED TO AND ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.1 FEET.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED, THEREFORE THIS SURVEY IS SUBJECT TO EASEMENTS, RIGHT OF WAYS, AND OTHERS MATTERS WHICH MIGHT BE REFLECTED IN A SEARCH OF TITLE TO THE SUBJECT LANDS.
- NO ATTEMPT WAS MADE TO LOCATE UNDERGROUND FOOTINGS OF ANY STRUCTURE.
- THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITY (ENTITIES) NAMED HEREON IN THE CERTIFICATION AND DOES NOT EXTEND TO ANY UNNAMED PARTY.
- ELEVATIONS ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM (1929)
- MIAMI-DADE COUNTY BENCHMARK No.A-371; ELEVATION=5.38'

FLOOD ELEVATION INFORMATION:
DATE OF FIRM: 09-11-09
COMMUNITY No: 120651
PANEL: 0317 SUFFIX: L
ZONE: AE BASE FLOOD ELEVATION: 8'

ABBREVIATIONS AND LEGEND

A/C = AIR CONDITIONING PAD	E.T.P.= ELECTRIC TRANSFORMER PAD	MEAS. = MEASURED	PL. = PLANTER	V.G. = VALLEY GUTTER
A = ARC DISTANCE	F.E. = FLOOR ELEVATION	M.S. = METAL SHED ON CONCRETE	R. = RADIUS	CL = CENTER LINE
BLDG. = BUILDING	F.H. = FIRE HYDRANT	N.T.S.= NOT TO SCALE	RES. = RESIDENCE	ML = MONUMENT LINE
C.B. = CATCH BASIN	F.I.P.= FOUND IRON PIPE	NO ID.= NO IDENTIFICATION NUMBER	S.I.P.= SET IRON PIPE No. LS. 5184	CA = CENTRAL ANGLE
C.B.S.= CONCRETE BLOCK STRUCTURE	F.N. = FOUND NAIL	O.E.L.= OVERHEAD ELECTRIC LINE	S.R. = SET ROD No. LS. 5184	WF = WOOD FENCE
C.G. = CURB & GUTTER	F.N.D.= FOUND NAIL & DISK	P.B. = PLAT BOOK	STY. = STORY	CLF = CHAIN LINK FENCE
CH. = CHORD DISTANCE	F.R. = FOUND REBAR	PG. = PAGE	SWK. = SIDEWALK	C.B.S. WALL
CONC. = CONCRETE	L.P. = LIGHT POLE	P.O.B.= POINT OF BEGINNING	U.E. = UTILITY EASEMENT	EE = EXISTING ELEVATION
C.S. = CONCRETE SLAB	M.D.E.= MAINTENANCE & DRAINAGE EASEMENT	P.O.C.= POINT OF COMMENCEMENT	U.P. = UTILITY POLE	Ø = DIAMETER

NOSTER, LLC

LAND SURVEYORS LAND PLANNERS

1842 S.W. 124th Place, Miami, Florida 33175
Phone: (305) 221-3040 Fax: (305) 221-9040
nosterllc@gmail.com

I HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY OF THE PROPERTY DESCRIBED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION. THIS SURVEY COMPLIES WITH THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 427.027 FLORIDA STATUTES.

ANTONIO FIORE, PSM
PROFESSIONAL SURVEYOR AND MAPPER No. 5184
STATE OF FLORIDA

LB. 8251

SCALE: 1"=20'	DRAWN BY: F.A.L.	REFERENCE:	FIELD BOOK: 20-0047	DATE: 01-31-20
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BOUNDARY SURVEY
N.T.S.

NOTE:
FOR REFERENCE ONLY. SEE
ATTACHED CERTIFIED COPY.

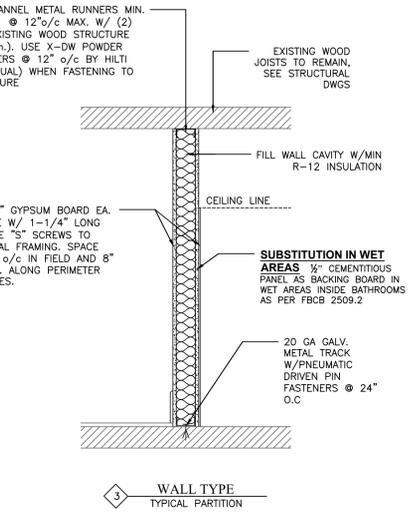
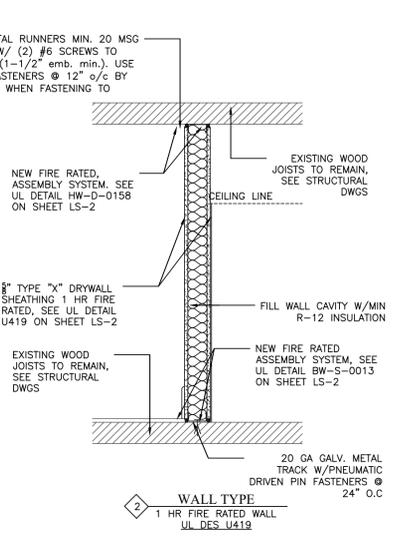
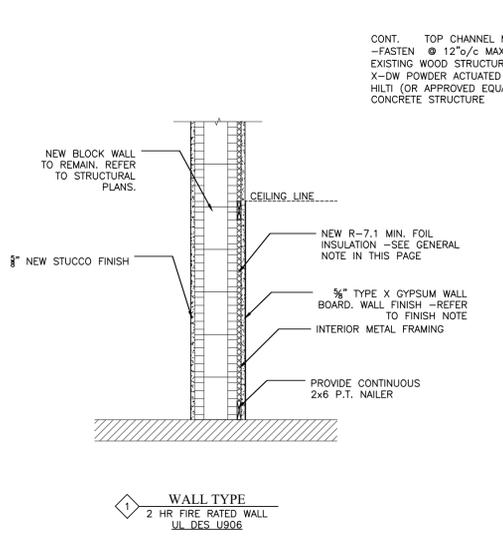
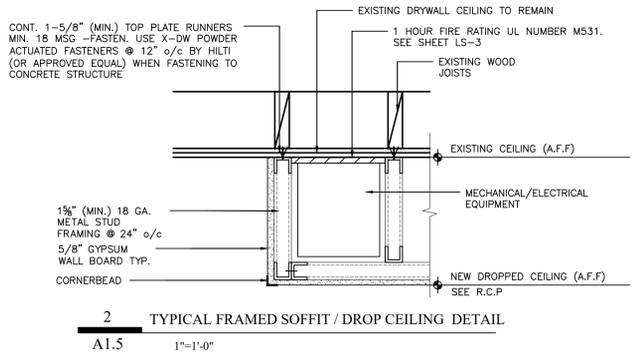
THOMAS F. WEBER
ARCHITECT
A00072

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LAZARUS
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www.weberstudio.com
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INTERIOR + EXTERIOR ALTERATIONS FOR:
CASA OCEAN
334 OCEAN DRIVE
MIAMI BEACH, FL 33139

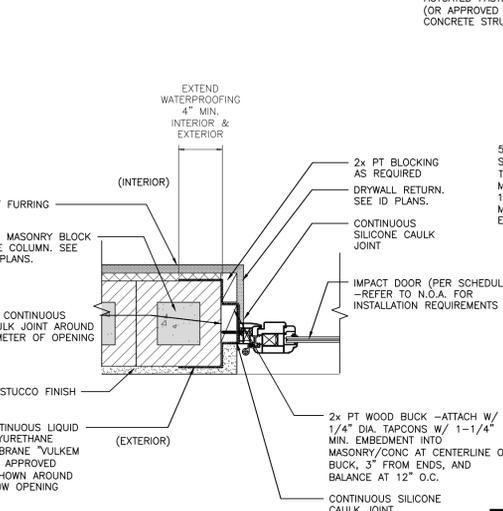
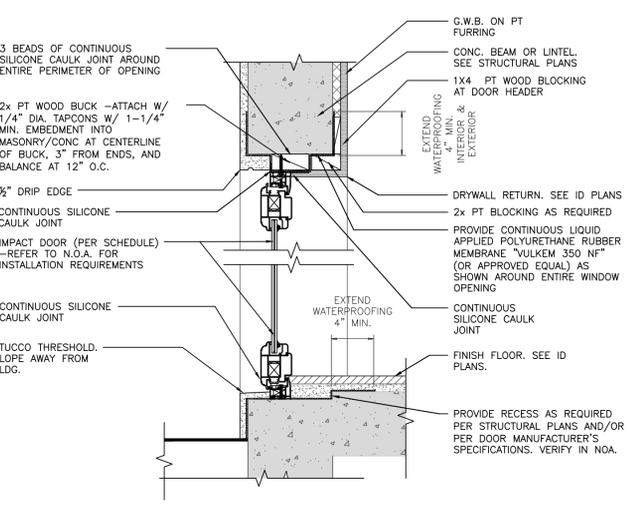
BOUNDARY SURVEY

DATE:	11.21.2019
DRAWN BY:	PA
REVISION:	DATE



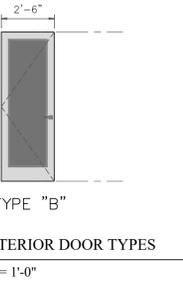
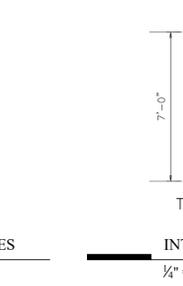
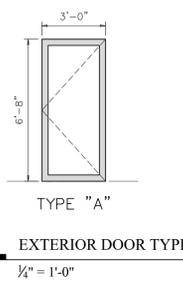
WALL TYPE NOTES

1. PROVIDE FIRE RATED GYPSUM BOARD ON ALL WALLS INDICATED TO BE FIRE RATED.
2. PROVIDE CONTINUOUS FIRE RATED SEALANT AT THE PERIMETERS OF ALL FIRE RATED WALLS AND CHASES INCLUDING THE TOP, BOTTOM AND SIDE EDGES ON BOTH SIDES OF WALL OF GYPSUM BOARD PARTITIONS.
3. PROVIDE CONTINUOUS NON-HARDENING ACOUSTICAL SEALANT AT TOP, SIDES AND EDGES ON BOTH SIDES OF WALL AT ALL NON-FIRE RATED GYPSUM BOARD PARTITIONS.
4. ALL WALL PENETRATIONS SHALL BE SLEEVED AND PACKED AIRTIGHT WITH SAFING INSULATION AND SEALANT PROVIDE MOISTURE RESISTANT (MR) GYPSUM WALL BOARD AT ALL WET AREAS SUCH AS TOILETS, SINKS, ETC.
5. PROVIDE WALL REINFORCEMENT BETWEEN STUDS WHERE REQUIRED BY INSTALLATION OF MILLWORK AND/OR WALL HUNG EQUIPMENT.
6. PROVIDE BACKING FOR ITEMS SUCH AS TOILETS, DOOR STOPS, HANDRAILS ETC.
7. PROVIDE 1X4 PT HORIZONTAL FIRE-STOP AT ALL EXTERIOR WALLS, 8"-0" A.F.F. (TYPICAL).



DOOR NOTES

1. Exterior doors - see elevation sheets for door wind design pressures per individual unit.
2. All interior doors shall be flush panel, solid core, concealed soss hinges. Provide shop drawings for review and approval.
3. Every closet door latch shall be such that children can open the door from inside the closet.
4. Every bathroom door lock shall be designed to permit the opening of from the outside in case of an emergency.
5. Glazing installed in hazardous locations as defined by the FBC shall be provided with a manufacturer's or installer's label, designating the type and thickness of glass and the safety glazing standard with which it complies, which is visible in the final installation. The label shall be acid etched, sandblasted, ceramic-fired, embossed mark, or shall be of a type which once applied cannot be removed without being destroyed.
6. The GC shall field verify all rough opening sizes prior to fabrication. Report any discrepancies to Architect.
7. The GC shall provide shop drawings to Architect for review/approval prior to fabrication.
8. All exterior doors specified are to be high velocity impact resistant and shall have a valid Florida Product Approval, or Miami-Dade County Approval (NOA).
9. The GC shall provide glass samples to Owner/Architect for review/approval prior to purchasing.
10. Provide continuous liquid applied polyurethane rubber membrane "Vulkem 350 NF" by Tremco" (or approved equal) around entire opening. The GC shall provide a product submittal to Architect for review/approval prior to installation.
11. The glass shall comply with the SHGC and U-Factor values as specified in the Energy Calculations. SHGC = 0.5 U-Factor = 0.9
12. Impact resistant glass shall be Category II safety glass, per FBC R308.4.



ALL EXTERIOR DOORS SHALL REQUIRE SEPARATE PERMIT

EXTERIOR DOOR SCHEDULE

NOTE: ALL EXTERIOR DOORS SHALL REQUIRE SEPARATE PERMIT

#	DESCRIPTION	TYPE	LOCATION	MATERIAL	UNIT DIMENSIONS (W x H)	MANUFACTURER	N.O.A. #	REMARKS
109	OUTSWING ENTRY DOOR	A	LOBBY/EXTERIOR (RAMP)	ALUMINUM/GLASS	3'-0" x 6'-8"	ES WINDOWS	T.B.D.	ADA ACCESSIBLE THRESHOLD AND HARDWARE

INTERIOR DOOR SCHEDULE

#	DESCRIPTION	TYPE	LOCATION	MATERIAL	UNIT DIMENSIONS (W x H)	MANUFACTURER	HARDWARE	REMARKS
109	OUTSWING DOOR	B	LOBBY/STORAGE	WOOD - SOLID CORE	3'-0" x 6'-8"	T.B.D.	PRIVACY	
109	OUTSWING DOOR	B	HALLWAY/STORAGE	WOOD - SOLID CORE	2'-8" x 6'-8"	T.B.D.	PASSAGE	
109	INSWING DOOR	B	HALLWAY/ROOM #111	WOOD - SOLID CORE	3'-0" x 6'-8"	T.B.D.	PRIVACY	ADA ACCESSIBLE THRESHOLD AND HARDWARE
109	OUTSWING DOOR	B	ROOM #111/CLOSET	WOOD - SOLID CORE	3'-0" x 6'-8"	T.B.D.	PASSAGE	ADA ACCESSIBLE THRESHOLD AND HARDWARE
109	INSWING DOOR	B	ROOM #111/BATHROOM	WOOD - SOLID CORE	3'-0" x 6'-8"	T.B.D.	PASSAGE	ADA ACCESSIBLE THRESHOLD AND HARDWARE
109	OUTSWING DOOR	B	HALLWAY/REAR STAIR HALL	WOOD - SOLID CORE	3'-0" x 6'-8"	T.B.D.	PASSAGE	ADA ACCESSIBLE THRESHOLD AND HARDWARE. MAGNETIC DOOR HOLDER
209	OUTSWING DOOR	B	HALLWAY/REAR STAIR HALL	WOOD - SOLID CORE	3'-0" x 6'-8"	T.B.D.	PASSAGE	ADA ACCESSIBLE THRESHOLD AND HARDWARE. MAGNETIC DOOR HOLDER

GENERAL NOTES

1. EXTERIOR DOORS & WINDOWS: ALL EXTERIOR DOORS & WINDOWS ARE UNDER SEPARATE PERMIT AND SHALL BE IN ACCORDANCE WITH FBC 2017. PROVIDE PT BLOCKING AT ALL SIDES IN ACCORDANCE WITH PRODUCT NOA; SEE ATTACHED NOA SPECIFICATIONS. PROVIDE 3/4" DIAMETER TAPCONS WITH MINIMUM EMBEDMENT AS SPECIFIED IN PRODUCT NOA INTO SOLID MASONRY/CONCRETE, 3" FROM ENDS AND @ 12" O.C. TYPICAL. CONTRACTOR TO PROVIDE ENGINEERED MANUFACTURER SHOP DRAWINGS/PRODUCT NOA TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ANY PURCHASE, FABRICATION OR INSTALLATION. PROVIDE CONTINUOUS LIQUID APPLIED POLYURETHANE RUBBER MEMBRANE "VULKEM 350 NF" BY TREMCO" (OR APPROVED EQUAL) AROUND ENTIRE OPENING.
2. SILLING: EXTERIOR STUCCO SHALL BE IN ACCORDANCE WITH FBC 2017 AND APPLICATION STANDARDS OF ASTM C926. ALL EXTERIOR SURFACES SHALL RECEIVE A MINIMUM 3/8" SCRATCH & COAT TO FINISH COAT. ALL EXTERIOR STUCCO TO BE A TYPE OF MINIMUM 1/2" THICK, SMOOTH/SANDED TEXTURE. PROVIDE FIBERGLASS "F" CORNER BEAD AT ALL CORNERS WHERE APPLICABLE. THE GC SHALL PROVIDE SAMPLE BOARDS TO OWNER/ARCHITECT FOR APPROVAL PRIOR TO ANY WORK. PROVIDE COMPLETE VISUAL INSPECTION OF ALL EXISTING STUCCO. REPAIR ANY AREAS THAT ARE DELAMINATED, OR IN NEED OF REPAIR. REPORT TO OWNER/ARCHITECT FOR ACTION.
3. EXTERIOR PAINT: ALL EXTERIOR AREAS OF THE BUILDING ARE TO BE PAINTED: ONE (1) PRIMER COAT MINIMUM WITH THREE (3) FINISH COATS, MINIMUM. COLORS AS SELECTED BY OWNER OR INTERIOR DESIGN CONSULTANT. THE GC SHALL PROVIDE SAMPLES TO ARCHITECT/OWNER FOR APPROVAL PRIOR TO ANY WORK. THE GC SHALL PROVIDE, APPLY, AND PERFORM ALL ASSOCIATED MEANS FOR APPLICATION.
3. EXTERIOR STONE FINISH: ALL AREAS TO RECEIVE EXTERIOR STONE OR TILE FINISH ARE TO BE INSPECTED BY THE GC FOR LEVEL, FLUSH, AND IN GOOD CONDITIONS. IF CONDITIONS ARE NOT CONDUCTIVE FOR PROPER INSTALLATION, THE GC IS RESPONSIBLE FOR ALL CORRECTIONS. THE GC SHALL REPORT TO THE OWNER/ARCHITECT FOR ACTION PRIOR TO ANY FINISH INSTALLATION. EXTERIOR FINISHES SPECIFIED AS STONE OR TILE SHALL BE SPECIFIED BY OWNER OR INTERIOR DESIGN CONSULTANT, IF APPLICABLE. THE GC SHALL PROVIDE SAMPLES TO THE OWNER/ARCHITECT FOR APPROVAL PRIOR TO ANY PURCHASE OR INSTALLATION. PROVIDE 6-MIL VAPOR BARRIER, SOUND BARRIER (WHISPERMAT HW+ BY PROTECO-WRAP OR APPROVED EQUAL), (2) LAYERS OF 3/4" PLYWOOD SET PERPENDICULAR-ADHERE AND SCREW TOGETHER WITH #4 x 8" WOOD SCREW AT 12" O.C. AT EDGES AND INTERMEDIATE, OR AS SPECIFIED BY MANUFACTURER. WOOD PLANK SPECIES, SIZE AND LAYOUT TO BE SPECIFIED BY OWNER/INTERIOR DESIGN CONSULTANT. THE GC TO PROVIDE SHOP DRAWINGS TO THE ARCHITECT/OWNER FOR REVIEW AND APPROVAL PRIOR TO ANY PURCHASE. THE GC SHALL SUPPLY AND INSTALL, TYPICAL. PROVIDE SOLID CONTINUOUS CAULKING AT ALL WOOD FLOOR AND DRYWALL CONNECTIONS, BEHIND BASEBOARDS (WHERE APPLICABLE), TYPICAL.
4. FLASHING & COUNTER-FLASHING: ALL FLASHINGS/COUNTERFLASHINGS SHALL BE IN ACCORDANCE WITH FBC 2017. METAL FLASHING SHALL BE INSTALLED AT ALL ROOF PENETRATIONS, ROOF OPENINGS & EDGES, AND ROOF VALLEYS. ALL JOINTS ARE TO BE LAPPED, SOLDERED OR CAULKED. ALL FASTENERS ARE TO BE CORROSION RESISTANT, AND SIMILAR OR COMPATIBLE MATERIALS. METAL FLASHING SHALL BE 16 GAUGE, MINIMUM.
5. HOSE BIBS: ALL HOSE BIBS SHALL BE QUICK RELEASE VALVE. COORDINATE WITH OWNER/ARCHITECT FOR EXACT LOCATIONS PRIOR TO ROUGH PLUMBING.
6. INTERIOR FRAMING: ALL INTERIOR NON-BEARING PARTITIONS, FURRING CHANNELS, AND SOFFIT FRAMING SHALL BE LIGHT GAUGE METAL FRAMING: 7/8" @ 16" O.C. FURRING CHANNELS OR 2-FURRING CHANNELS @ EXTERIOR CMU WALLS, AND 3-5/8", 5-1/2" OR 6" @ 16" O.C. STUDS (SIZE OF PARTITIONS AS INDICATED IN PLAN). PROVIDE BOTTOM AND TOP TRACKS WITH 1-1/2" SOREW @ 12" O.C. TYPICAL OR 1-1/2" TAPCON TO PROVIDE FIRE BLOCKING SHALL BE PROVIDED IN ACCORDANCE WITH FBC 2017. PROVIDE 1X4 PT HORIZONTAL, CONTINUOUS @ ALL FLOOR AND CEILING AREAS WITH 3-1/2" TAPCONS @ 12" O.C. TO MASONRY WALLS OR 3" WOOD SCREW (2) PER STUD, TYPICAL. WHERE WALL MOUNTED BUILT-IN CABINETS AND BUILT-IN CLOSET SYSTEMS SHALL BE LOCATED, METAL FRAMING SHALL BE DOUBLE OR 18 GAUGE, AND REINFORCED WITH PT LUMBER. ALL INTERIOR METAL FRAMING SHALL ALSO COMPLY WITH FBC R-4411.4.5.1.1.
7. INSULATION: ALL BUILDING THERMAL ENVELOPE COMPONENTS SHALL MEET THE EFFICIENCY REQUIREMENTS OF FBC 2017 ENERGY CONSERVATION 402 AND SHALL BE IN ACCORDANCE WITH THE ATTACHED ENGINEERED ENERGY CALCULATIONS.
 - 7.1. NEW EXTERIOR MASONRY WALLS: ALL EXTERIOR MASONRY WALLS SHALL BE LINED AT INTERIOR SIDE WITH "VR-PLUS SHIELD" BY "FI-FOLL" TRIPLE LAYER REFLECTIVE INSULATION SHEETS, R-7.1 MIN.
 - 7.2. NEW INTERIOR PARTITIONS: INTERIOR PARTITIONS SHALL RECEIVE R-15 (3.5" PARTITION) OR R-23 (5.5" PARTITION) MINERAL WOOL INSULATION "TEMPCONTROL MINERAL WOOL" BY "JOHNS MANVILLE" @ EACH STUD, CONTINUOUS OR APPROVED EQUAL. VERIFY WITH OWNER FOR EXACT INTERIOR PARTITIONS TO RECEIVE INSULATION.
8. FLAME SPREAD INDEX: ALL INTERIOR FINISHES INCLUDING FACINGS, SUCH AS VAPOR RETARDERS AND VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES AND ATTIC SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E-84 AND/OR UL 72. EXCEPTIONS: 1) WHEN SUCH MATERIALS ARE INSTALLED IN CONCEALED SPACES, THE FLAME SPREAD INDEX SAND SMOKE DEVELOPED INDEX LIMITATION DO NOT APPLY TO THE FACINGS, PROVIDED THAT THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR OR WALL FINISH. 2) CELLULOSE LOOSE-FILL INSULATION, WHICH IS NOT SPRAY APPLIED, COMPLYING WITH THE REQUIREMENTS OF SECTION FBC R-302.10.3, SHALL ONLY BE REQUIRED TO MEET THE SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
8. FLAME SPREAD INDEX: ALL INTERIOR FINISHES SHALL COMPLY WITH FBC-R302.9. FLAME SPREAD AND SMOKE INDEX FOR WALL AND CEILING FINISHES SHALL BE IN ACCORDANCE WITH FBC R-302.9. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200. WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450. TESTING FOR FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX SHALL BE MADE IN ACCORDANCE WITH ASTM E 84 OR UL 723 OR NFPA 288.
9. FIRE-STOPPING: FIRE-STOPPING SHALL BE IN ACCORDANCE WITH FBC 4409.7. FIRE-STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT SPACES BOTH VERTICAL AND HORIZONTAL FIRE-STOPS SHALL FORM EFFECTIVE FIRE BARRIERS BETWEEN STORIES AND BETWEEN A STORY AND ROOF SPACE. FIRE-STOPPING SHALL BE TIGHTLY AND SECURELY FITTED INTO PLACE. DRAFT-STOPPING MATERIALS SHALL BE NOT LESS THAN 3/8 INCH PLYWOOD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. REQUIRED FIRE-STOPS AND DRAFT-STOPS SHALL BE CONTINUOUS, AND SUCH CONTINUITY SHALL BE MAINTAINED THROUGHOUT. PENETRATIONS OF FIRE-STOPS OR DRAFT-STOPS SHALL BE SEALED OR PROTECTED IN AN APPROVED MANNER. VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED IN ACCORDANCE WITH FBC R4409.13.3.2.
10. WATERPROOFING: ALL WATERPROOFING MEMBRANES SHALL BE IN ACCORDANCE WITH FBC 2017. PROVIDE "CEMENTITIOUS CRYSTALLINE WATERPROOFING" BY "XYPEX CHEMICAL CORP." (OR APPROVED EQUAL) FOR CONCRETE WATERPROOFING. PROVIDE CONTINUOUS LIQUID APPLIED POLYURETHANE RUBBER MEMBRANE "VULKEM 350 NF" BY "TREMCO" (OR APPROVED EQUAL) FOR CONCRETE WATERPROOFING. PROVIDE SHOP DRAWINGS FOR DETAILS. THE GC SHALL INSTALL AS PER RECOMMENDED MANUFACTURER INSTRUCTIONS ONLY. THE GC TO PROVIDE PRODUCT NOA TO ARCHITECT AND BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ANY PURCHASE, FABRICATION OR INSTALLATION. ALL CONCRETE SLABS SHALL HAVE A MINIMUM 6 MIL VAPOR RETARDANT BARRIER BETWEEN SLABS AND SUB-GRADE. SEE STRUCTURAL SHEETS FOR ADDITIONAL DETAILS. PROVIDE WATERPROOFING ON OUTSIDE FACE OF FOUNDATION STEM WALLS WHEN OUTSIDE GRADE IS HIGHER THAN CRAWL SPACE GRADE.
11. TERMITE PROTECTION: PER FBC R-4409.13.5, ALL BUILDINGS SHALL HAVE A PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOL APPLIED PESTICIDES, BAITING SYSTEMS AND PESTICIDES APPLIED TO WOOD, OR OTHERS APPROVED METHODS OF TERMITE PROTECTION FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION IN ACCORDANCE WITH FBC 2017. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE SERVICES. ALL DECAY BASED PRODUCTS FROM THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH FBC 2017 R-317 & R-4409.13, AND AWA UT FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE.
12. GYPSUM WALL BOARD: ALL GYPSUM WALL-BORD, MOISTURE RESISTANT WALL-BORD, AND CEMENT WALL-BORD (DUROCK) SHALL BE IN ACCORDANCE WITH FBC R-4411.4.3, AND INSTALLED IN AREAS AS INDICATED WITHIN THE FINISH SCHEDULE. MOISTURE RESISTANT GYPSUM WALL BOARD SHALL BE INSTALLED IN ALL SEMI-WET AREAS, DOURCK SHALL BE INSTALLED IN ALL SHOWER AREAS, AND AREAS TO RECEIVE A TILE OR STONE WALL/CEILING FINISH. THE SURFACE SHALL BE A SMOOTH, LEVEL 5 FINISH. THE GC SHALL SUPPLY AND INSTALL TYPICAL SCREWS FOR ATTACHING TO LIGHT GAUGE METAL FRAMING SHALL BE TYPE "S" IN ACCORDANCE WITH ASTM C 1002 WITH A MAXIMUM SPACING OF 12" O.C. @ EDGES AND INTERMEDIATE. MINIMUM 5/8" PENETRATION INTO STUD. TYPICAL APPLICATIONS SHALL BE 5/8" GYPSUM WALL BOARD FOR ALL WALLS AND 1/2" GYPSUM WALL BOARD FOR ALL CEILINGS. BATHUB AND SHOWER SPACES (FLOORS AND WALLS) ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE (I.E. TILE), AS PER FBC R-307.2, ON CEMENT WALL BOARD (DUROCK). SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR FINISH. PROVIDE SHOP DRAWINGS FOR EXACT SPREADS AND HEIGHT OF NONABSORBENT SURFACE. AHU CLOSETS SHALL BE FINISHED WITH MOISTURE RESISTANT GYPSUM WALL BOARD AND SOUND ATTENUATION MATERIAL WITHIN PARTITIONS.
13. PAINT: ALL INTERIOR AREAS OF THE BUILDING ARE TO BE PAINTED: ONE (1) PRIMER COAT MINIMUM WITH THREE (3) FINISH COATS, MINIMUM. COLORS AS SELECTED BY OWNER OR INTERIOR DESIGN CONSULTANT. THE GC SHALL PROVIDE SAMPLES TO ARCHITECT/OWNER FOR APPROVAL PRIOR TO ANY WORK. THE GC SHALL PROVIDE, APPLY, AND PERFORM ALL ASSOCIATED MEANS FOR APPLICATION.
14. SUB FLOORS: ALL SUB FLOORS ARE TO BE INSPECTED BY THE GC FOR LEVEL, FLUSH, AND IN GOOD CONDITIONS. IF CONDITIONS ARE NOT CONDUCTIVE FOR PROPER INSTALLATION OF FINISH FLOORING, THE GC IS RESPONSIBLE FOR ALL CORRECTIONS. THE GC SHALL REPORT TO THE OWNER/ARCHITECT FOR ACTION PRIOR TO ANY FINISH INSTALLATION. INTERIOR FLOOR FINISHES SPECIFIED AS STONE OR TILE FLOORING SHALL BE SPECIFIED BY OWNER OR INTERIOR DESIGN CONSULTANT, IF APPLICABLE. THE GC SHALL PROVIDE SAMPLES TO THE OWNER/ARCHITECT FOR APPROVAL PRIOR TO ANY PURCHASE OR INSTALLATION. PROVIDE 3/4" LEVEL MORTAR BED, OR THINSET, OR AS SPECIFIED BY MANUFACTURER. FLOAT FLOOR SURFACE IF REQUIRED. STONE/TILE LAYOUT, GROUT DIMENSIONS AND COLOR TO BE SPECIFIED BY OWNER/INTERIOR DESIGN CONSULTANT. THE GC SHALL SUPPLY AND INSTALL, TYPICAL. PROVIDE SOLID CONTINUOUS CAULKING AT ALL STONE/TILE FLOOR AND DRYWALL CONNECTIONS, BEHIND BASEBOARDS (WHERE APPLICABLE), TYPICAL.
15. WOOD FLOORS: ALL SUB FLOORS ARE TO BE INSPECTED BY THE GC FOR LEVEL, FLUSH, AND IN GOOD CONDITIONS. IF CONDITIONS ARE NOT CONDUCTIVE FOR PROPER INSTALLATION OF FINISH FLOORING, THE GC IS RESPONSIBLE FOR ALL CORRECTIONS. THE GC SHALL REPORT TO THE OWNER/ARCHITECT FOR ACTION PRIOR TO ANY FINISH INSTALLATION. INTERIOR FLOOR FINISHES SPECIFIED AS WOOD SHALL BE SPECIFIED BY OWNER OR INTERIOR DESIGN CONSULTANT, IF APPLICABLE. THE GC SHALL PROVIDE SAMPLES TO THE OWNER/ARCHITECT FOR APPROVAL PRIOR TO ANY PURCHASE OR INSTALLATION. PROVIDE 6-MIL VAPOR BARRIER, SOUND BARRIER (WHISPERMAT HW+ BY PROTECO-WRAP OR APPROVED EQUAL), (2) LAYERS OF 3/4" PLYWOOD SET PERPENDICULAR-ADHERE AND SCREW TOGETHER WITH #4 x 8" WOOD SCREW AT 12" O.C. AT EDGES AND INTERMEDIATE, OR AS SPECIFIED BY MANUFACTURER. WOOD PLANK SPECIES, SIZE AND LAYOUT TO BE SPECIFIED BY OWNER/INTERIOR DESIGN CONSULTANT. THE GC TO PROVIDE SHOP DRAWINGS TO THE ARCHITECT/OWNER FOR REVIEW AND APPROVAL PRIOR TO ANY PURCHASE. THE GC SHALL SUPPLY AND INSTALL, TYPICAL. PROVIDE SOLID CONTINUOUS CAULKING AT ALL WOOD FLOOR AND DRYWALL CONNECTIONS, BEHIND BASEBOARDS (WHERE APPLICABLE), TYPICAL.
16. INTERIOR DOORS: ALL INTERIOR DOORS SHALL BE SOLID CORE, RECESSED PANEL, PAINT GRADE WOOD, PRE-HUNG, OR AS SPECIFIED IN THE DOOR SCHEDULE. THE OWNER OR INTERIOR DESIGN CONSULTANT SHALL SPECIFY ALL ASSOCIATED HARDWARE. THE GC SHALL PROVIDE AND INSTALL ALL INTERIOR DOORS AND ASSOCIATED HARDWARE. THE GC SHALL PROVIDE MANUFACTURER SHOP DRAWINGS TO THE ARCHITECT/OWNER FOR APPROVAL PRIOR TO ANY PURCHASE, FABRICATION OR INSTALLATION. FINISH SHALL BE PAINT INCLUDING ONE (1) PRIMER COAT AND THREE (3) FINISH COATS MINIMUM. COLOR TO BE SPECIFIED BY THE OWNER OR INTERIOR DESIGN CONSULTANT. THE GC SHALL SUPPLY AND INSTALL, TYPICAL.
17. INTERIOR MILLWORK: ALL INTERIOR MILLWORK, INCLUDING CABINETS, BUILT-IN, BASEBOARDS, CROWN MOLDINGS, DOOR/WINDOW CASINGS/SILLS/PLINTH BLOCKS, SHALL BE SOLID, PAINT GRADE, SELECT #1 KNOT-FREE HARDWOOD, POPULAR OR APPROVED EQUAL. FINISH NAIL @ 12" O.C. AND ADHERE TO WALLBOARD, PLUG AND SAND ALL HOLES AND CONNECTIONS. ALL BUILT-IN CABINETS AND BUILT-IN CLOSET SYSTEMS SHALL BE SPECIFIED BY THE OWNER OR INTERIOR DESIGN CONSULTANT. THE GC SHALL PROVIDE ADDITIONAL WOOD BLOCKING AS NOTED ABOVE, IN ALL BUILT-IN CABINETS AREAS, AS REQUIRED PER THE 2017 FBC R4411.4.5.1.1. FINISH SHALL BE PAINT INCLUDING ONE (1) PRIMER COAT AND THREE (3) FINISH COATS MINIMUM. COLOR TO BE SPECIFIED BY THE OWNER OR INTERIOR DESIGN CONSULTANT. THE GC SHALL PROVIDE MANUFACTURER SHOP DRAWINGS TO THE OWNER/ARCHITECT FOR APPROVAL PRIOR TO ANY PURCHASE, FABRICATION OR INSTALLATION. THE GC SHALL SUPPLY AND INSTALL, TYPICAL.
18. COUNTERTOPS: COUNTERTOPS AND BACK-SPLASHES FOR THE KITCHEN AND VANITIES SHALL BE STONE, OR AS SPECIFIED BY OWNER AND INTERIOR DESIGN CONSULTANT. STONE/TILE LAYOUT, GROUT DIMENSIONS AND COLOR TO BE SPECIFIED BY OWNER/INTERIOR DESIGN CONSULTANT. THE GC SHALL SUPPLY AND INSTALL, TYPICAL.
19. GLAZING: GLAZING AT ALL INTERIOR SLIDING/SWINGING DOORS AND IN ALL SHOWER/TUB ENCLOSURES INCLUDING ANY GLAZING 60" AFF IN WALLS SURROUNDING ANY TUB OR SHOWER ENCLOSURE, SHALL BE MINIMUM 1/4" THICK, FRAMELESS, TEMPERED, CLASS II SAFETY GLAZING, IN ACCORDANCE WITH FBC 2017. ALL ENCLOSURES TO HAVE PIVOT HINGES AND TRANSPARENT WATER BLOCKS, OR AS SPECIFIED BY OWNER/INTERIOR DESIGNER.
20. MECHANICAL UNITS: ALL MECHANICAL (AHU) CLOSETS SHALL BE IN ACCORDANCE WITH FBC 2017. AIR HANDLERS WITHIN COMPARTMENTS OR ALCOVES SHALL HAVE A MINIMUM WORKING SPACE CLEARANCE OF 4" ALONG THE SIDES, BACK AND TOP WITH A TOTAL WIDTH OF THE ENCLOSING SPACE BEING AT LEAST 12" WIDER THAN THE FURNACE OR AIR HANDLER. ALL UNITS SHALL BE INSTALLED AT OR ABOVE BFE, OR 12" ABOVE GRADE, WHICHEVER IS HIGHER. EACH CLOSET SHALL BE FINISHED WITH MOISTURE RESISTANT GYPSUM WALL BOARD AND SOUND ATTENUATION MATERIAL WITHIN PARTITIONS. ALL AHU CLOSET DOORS SHALL HAVE A RUBBER GASKET AT JAMBS, TYPICAL.
21. EXHAUST FANS: ALL EXHAUST FANS & DUCTS SHALL BE SIZED PER THE MECHANICAL PLANS. VERIFY IN FIELD LOCATION OF EXISTING EXHAUST VENT STACK, AND REPORT TO ARCHITECT. ALL EXHAUST FANS SHALL BE THE "QUIET" TYPE, IN ORDER TO MINIMIZE UNWANTED NOISE. THE GC SHALL SUPPLY AND INSTALL, TYPICAL.
22. SOUND ATTENUATION MATERIAL: ALL AHU CLOSETS SHALL HAVE SOUND ATTENUATION MATERIAL BETWEEN METAL FRAMING AND DRYWALL. PROVIDE "NOISE-BLOK PRO ACOUSTIGUARD" BY "WILREP, LTD.", OR APPROVED EQUAL. THE GC SHALL PROVIDE A MANUFACTURER SPEC SHEET SUBMITTAL TO ARCHITECT FOR APPROVAL, PRIOR TO PURCHASING AND INSTALLATION. THE GC SHALL SUPPLY AND INSTALL, TYPICAL.
23. FINISH PLUMBING: ALL FINISH PLUMBING FIXTURES SHALL BE SPECIFIED BY THE OWNER OR INTERIOR DESIGN CONSULTANT. THE GC SHALL SUPPLY AND INSTALL, TYPICAL.
24. FINISH ELECTRICAL: ALL DECORATIVE ELECTRICAL FIXTURES (LIGHTS AND FANS) SHALL BE SPECIFIED BY THE OWNER OR INTERIOR DESIGN CONSULTANT. ALL INTERIOR SWITCHES SHALL BE ON DIMMERS (OR AS INDICATED IN TABLED ELECTRICAL PLANS AND LIGHTING/AV CONSULT). ALL GENERAL INTERIOR RECEPTACLES SHALL BE INSTALLED HORIZONTALLY AT 10" AFF. ALL INTERIOR RECEPTACLES AT BEDSIDE NIGHTSTANDS SHALL HAVE USB CONNECTIONS. THE GC SHALL SUPPLY AND INSTALL, TYPICAL.
25. HARDWARE: ALL BATHROOM/KITCHEN HARDWARE/ACCESSORIES SHALL BE SPECIFIED BY THE OWNER OR INTERIOR DESIGN CONSULTANT. THE GC SHALL SUPPLY AND INSTALL, TYPICAL.
26. APPLIANCES: ALL APPLIANCES SHALL BE SPECIFIED BY THE OWNER OR INTERIOR DESIGN CONSULTANT. THE GC SHALL SUPPLY AND INSTALL, TYPICAL.
27. ATTIC ACCESS: ALL ATTIC ACCESSES SHALL BE IN ACCORDANCE WITH FBC 2017. ATTIC ACCESSES SHALL HAVE A TRIM-LESS EDGE. SEE PLANS FOR ALL LOCATIONS OF ATTIC ACCESSES. THE GC SHALL LOCATE IN FIELD ALL ACCESSES WITH THE ARCHITECT PRIOR TO ANY INSTALLATION. SEE STRUCTURAL SHEETS FOR ALL APPLICABLE ITEMS.

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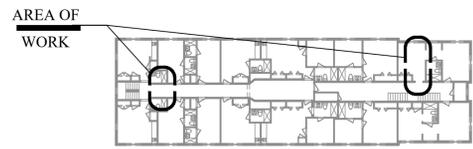
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4.28.2020

INTERIOR ALTERATIONS FOR
CASA COLLINS
1420 COLLINS AVENUE
MIAMI BEACH FLORIDA 33139
PH: 305.591.9636

WALL TYPES & NOTES

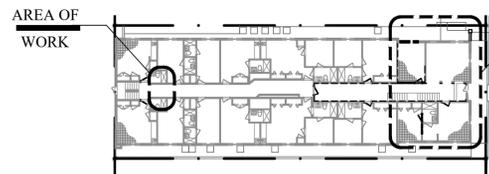
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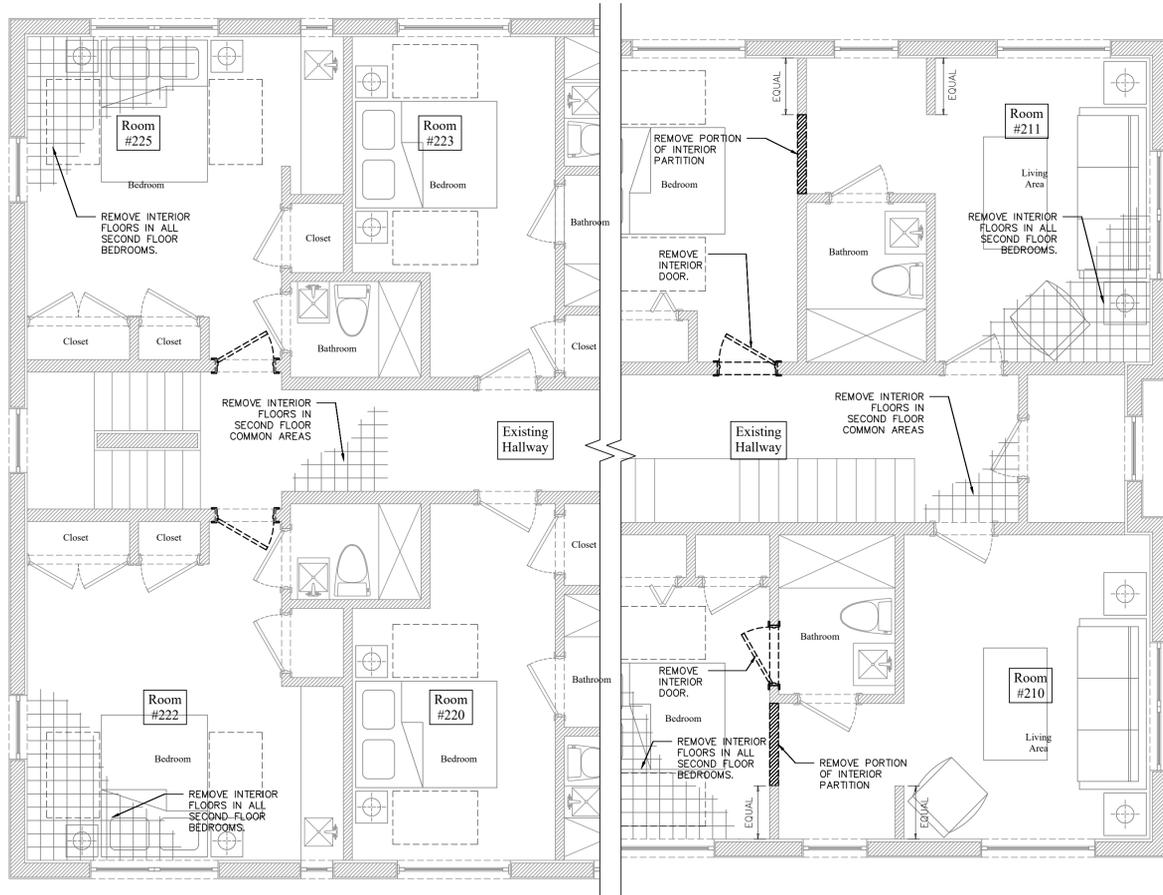
KEY PLAN
SECOND FLOOR

1/4" = 1'-0"



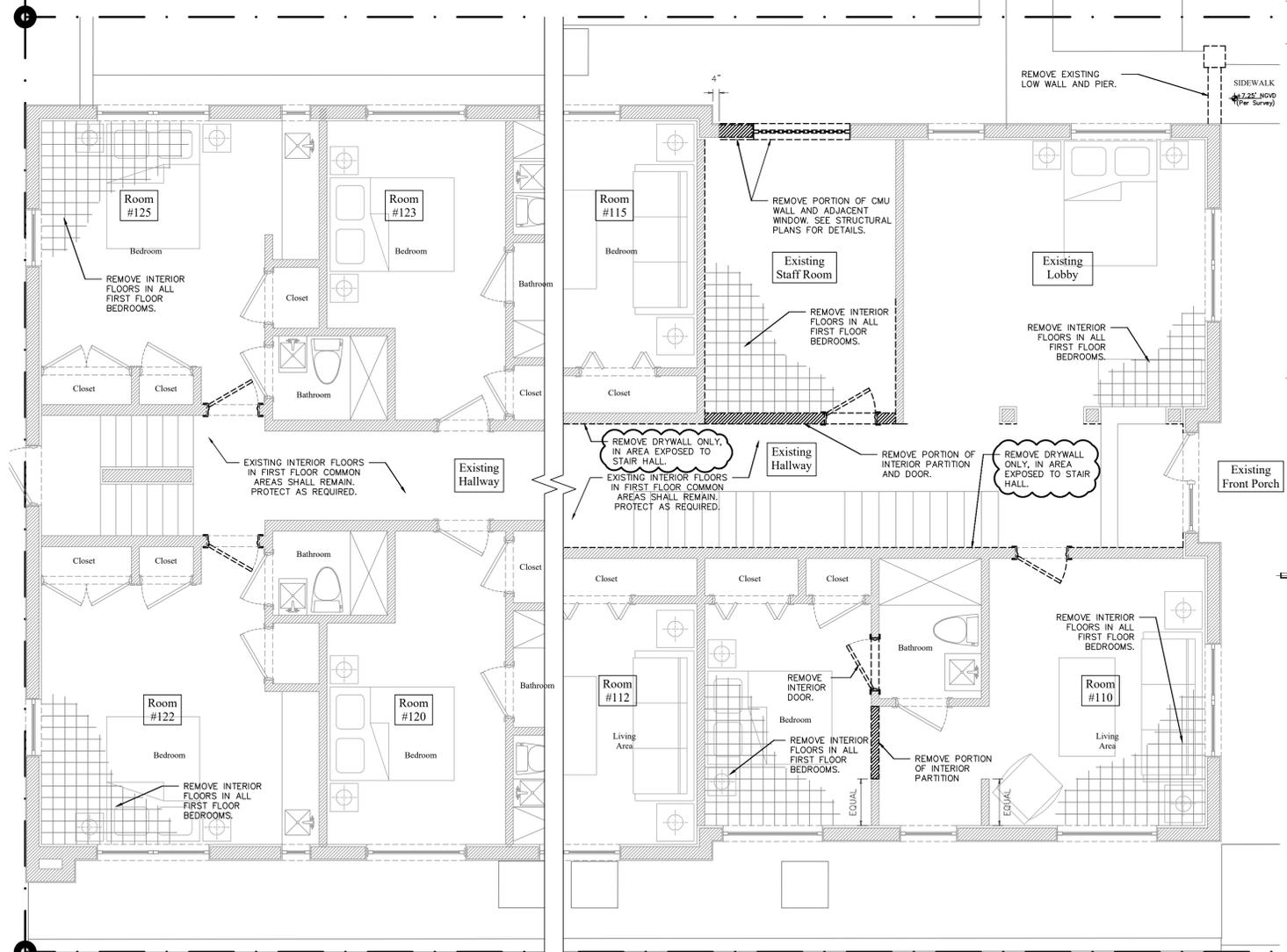
KEY PLAN
FIRST FLOOR

1/4" = 1'-0"



DEMOLITION PLAN
PARTIAL SECOND FLOOR

1/4" = 1'-0"



DEMOLITION PLAN
PARTIAL FIRST FLOOR

1/4" = 1'-0"



GENERAL DEMOLITION NOTES

- REMOVE ALL SPECIFIC ITEMS INDICATED ON THESE DRAWINGS AND ALSO REMOVE ANY OTHER ITEMS OR CONSTRUCTION AS REQUIRED TO ACHIEVE DESIRED RESULTS. TAKE CARE IN REMOVING ANY EXISTING STRUCTURAL AND/OR UTILITARIAN CONCEALED CONSTRUCTION. REPAIR OF DAMAGES TO THE EXISTING BUILDING DURING DEMOLITION RESULTING FROM LACK OF CARE AND DUE DILIGENCE IS THE COMPLETE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND MAY NOT BE CLAIMED AS MONETARY DAMAGES NOR AS TIME DELAYS AGAINST THE CONTRACT SUM OR CONTRACT TIME TO PERFORM THE WORK.
- ALL SALVAGEABLE MATERIAL & EQUIPMENT SHALL REMAIN THE PROPERTY OF THE OWNER. THE OWNER WILL PROVIDE A LOCATION FOR STORAGE OF SALVAGEABLE ITEMS. OWNER TO PROVIDE A CONTAINER TO STORE AND ORGANIZE ALL EXISTING EQUIPMENT AND FIXTURES FOR REUSE. NON-SALVAGEABLE MATERIAL AND EQUIPMENT, I.E. CONSTRUCTION DEBRIS, SHALL BE DISPOSED OF OFF SITE IN A LEGAL AND SAFE MANNER, BY THE GENERAL CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- PROTECT EXISTING ADJACENT FINISH MATERIALS, FIXTURES, EQUIPMENT AND LANDSCAPING FROM DAMAGE DURING DEMOLITION WORK. ALL DAMAGE WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING IN ORDER TO ACCESS EXISTING PLUMBING, ELECTRICAL, MECHANICAL, AND STRUCTURAL CONDITIONS WITHIN CONCEALED SPACES. REPAIR ALL WORK THAT IS VISIBLE IN SUCH A MANNER SO AS TO LEAVE IT IN THE SAME OR BETTER CONDITION THAN BEFORE WORK COMMENCED.
- THE GENERAL CONTRACTOR SHALL TEMPORARILY SHUT DOWN ALL SERVICES SUCH AS ELECTRICAL, MECHANICAL AND PLUMBING, AS MAY BE REQUIRED TO PERFORM THE WORK. THE GENERAL CONTRACTOR IS TO NOTIFY THE OWNERS IN ADVANCE OF ALL SERVICE INTERRUPTIONS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO IDENTIFY ANY STRUCTURAL COMPONENTS DURING DEMOLITION, AND SHALL TEMPORARY SHORING IF REQUIRED.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROTECT EXISTING MECHANICAL, ELECTRICAL, PLUMBING, AND/OR FIRE PROTECTION SYSTEMS THAT MAY RUN THROUGH THE UNIT (VERIFY).

DEMOLITION LEGEND

- EXISTING MASONRY (CMU) BLOCK WALL TO REMAIN
- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING INTERIOR PARTITION TO BE REMOVED

NOTE

NO STRUCTURAL OR LOAD-BEARING WALLS ARE TO BE REMOVED

LIFE SAFETY NOTES

AS PER NFPA 1,16, 4

- THIS BUILDING SHALL BE UNOCCUPIED WHILE DEMOLITION OPERATIONS ARE ONGOING
- LIFE SAFETY SYSTEMS SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES DURING DEMOLITION PROGRESSES
- COMBUSTIBLE FORMS OF LUMBER SHALL COMPLY WITH NFPA 1,16,1.1
- THIS BUILDING IS UNSPRINKLERED, AND HAS A FIRE ALARM SYSTEM.

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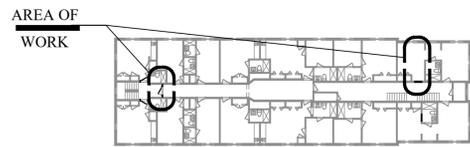
INTERIOR ALTERATIONS FOR
CASA COLLINS
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PH: 305.673.2144 / 305.673.2178

DEMOLITION PLANS

DATE: 4.28.2020
DRAWN BY: MS
REVISOR: DATE:

PLANS REVIEW
COMMENTS
4/30/2020

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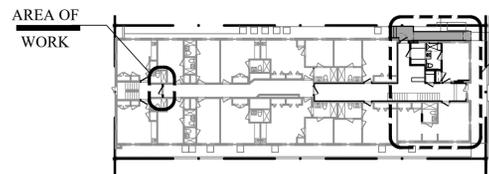
KEY PLAN
SECOND FLOOR

1/4" = 1'-0"



FLOOR PLAN LEGEND

- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING MASONRY BLOCK WALL TO REMAIN
- NEW FRAMED PARTITION
- NEW REINFORCED MASONRY WALL OR CONCRETE COLUMN
- NEW 1 HR FIRED RATED PARTITION
- GUEST ROOM W/ COMMUNICATION FEATURES FOR THE HEARING IMPAIRED
 - FIRE ALARM SYSTEM SHALL HAVE A PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARM COMPLYING W/ NFPA 72
 - VISIBLE NOTIFICATION DEVICES SHALL BE PROVIDED TO ALERT ROOM OCCUPANTS OF INCOMING TELEPHONE CALLS & DOOR KNOCK/BELL
 - NOTIFICATION DEVICES SHALL NOT BE CONNECTED TO VISIBLE ALARM SIGNAL APPLIANCES
 - TELEPHONES SHALL HAVE VOLUME CONTROLS COMPATIBLE W/ THE TELEPHONE SYSTEM & SHALL BE SERVED BY AN ELECTRICAL OUTLET LOCATED WITHIN 48" OF THE TELEPHONE TO FACILITATE THE USE OF A TV
- FINISHED FLOOR ELEVATION
- GRADE OR FIN, FLOOR ELEVATION IN NVD
- INDICATES DIRECTION OF SLOPE FOR DRAINAGE
- SECTION / ELEVATION TAG
- WINDOW TAG
- DOOR TAG
- WALL TYPE
- A.D.A. GUEST ROOM



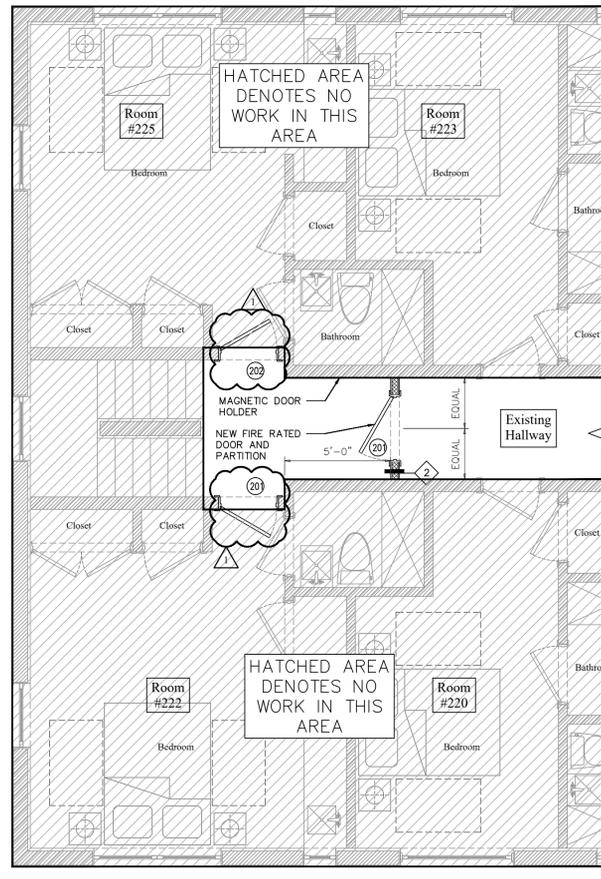
KEY PLAN
FIRST FLOOR

1/4" = 1'-0"



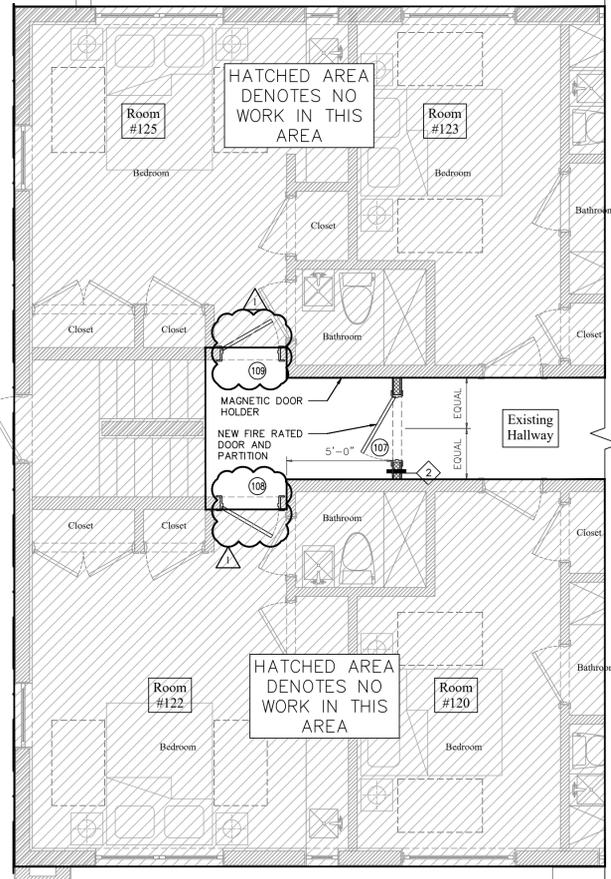
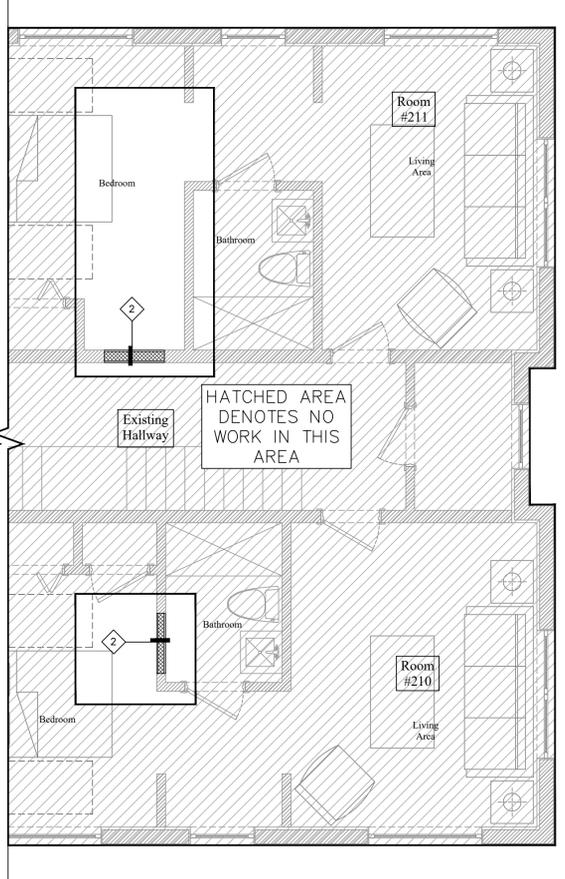
FIRESTOPPING NOTE

- FIRESTOPPING SHALL BE INSTALLED (WOOD FRAME CONSTRUCTION)
- IN CONCEALED SPACES OF STUD WALLS & PARTITIONS (INCLUDED FURRED SPACES @ CEILING & FLOOR LEVELS TO LIMIT MAX DIMENSION OF ANY CONCEALED SPACE TO 8FT)
 - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS
 - AT OPENINGS AROUND VENT PIPES & DUCTS
 - IN CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FOR THE FULL DEPTH OF THE JOISTS AT THE ENDS AND OVER THE SUPPORT
 - AROUND TOP, BOTTOM & SIDES OF DOOR POCKETS.



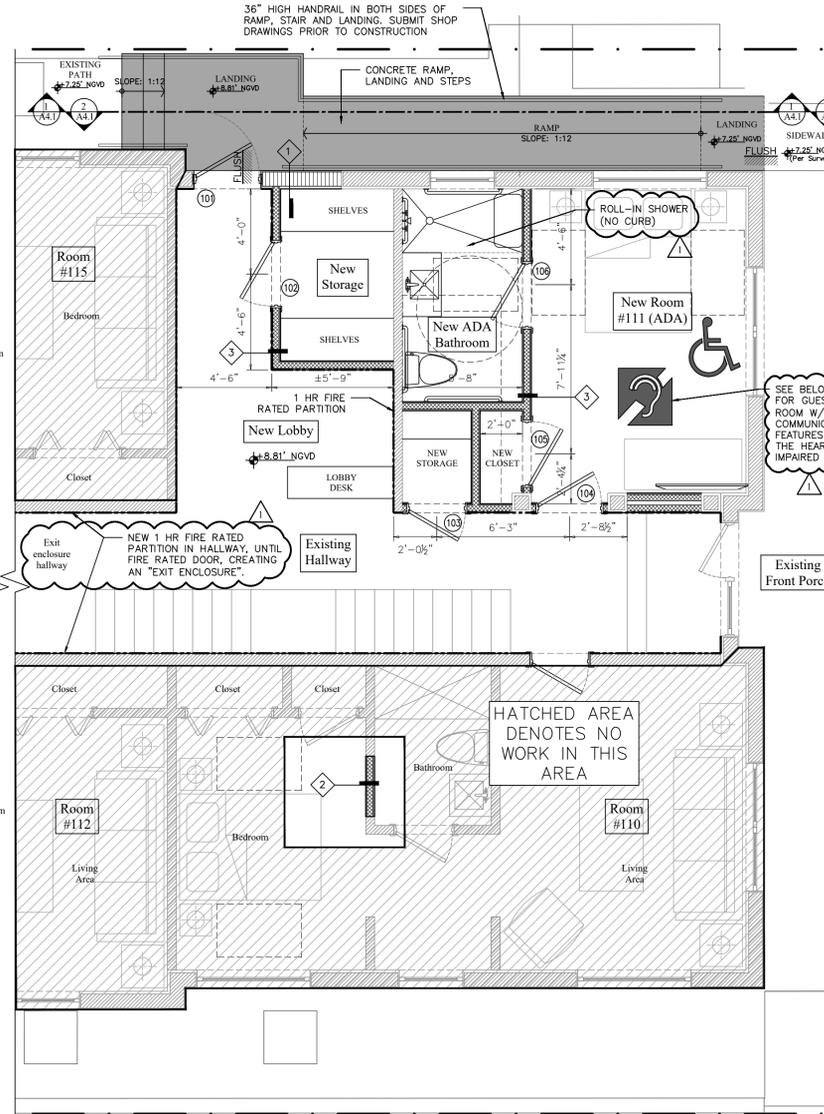
PROPOSED PARTIAL
SECOND FLOOR PLAN

1/4" = 1'-0"



PROPOSED PARTIAL
FIRST FLOOR PLAN

1/4" = 1'-0"



INTERIOR FINISHES

FINISHES AT WET AREAS:
PROVIDE IMPERMEABLE MATERIAL IN WET AREAS TO 6 FEET MINIMUM ABOVE FLOOR IN COMPLIANCE WITH FBCR 302.2
GLAZING IN HAZARDOUS LOCATIONS (per FBC Section 308):
EXCEPT AS INDICATED IN SECTION R308.1.1 EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED IN SECTION R308.4 SHALL BE PROVIDED WITH A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, DESIGNATING THE TYPE OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, WHICH IS VISIBLE IN THE FINAL INSTALLATION. THE DESIGNATION SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC-FIRED, LASER ETCHED, EMBOSSED, OR BE OF A TYPE THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED. A LABEL SHALL BE PERMITTED IN LIEU OF THE MANUFACTURER'S DESIGNATION.

EXCEPTIONS:
1. FOR OTHER THAN TEMPERED GLASS, MANUFACTURER'S DESIGNATIONS ARE NOT REQUIRED PROVIDED THAT THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THIS CODE.
2. TEMPERED SPANDREL GLASS IS PERMITTED TO BE IDENTIFIED BY THE MANUFACTURER WITH A REMOVABLE PAPER DESIGNATION.

FIRE RESISTANCE:
R302.9.FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX FOR WALL AND CEILING FINISHES.
FLAME SPREAD AND SMOKE DEVELOPED INDEXES FOR WALL AND CEILING FINISHES SHALL BE IN ACCORDANCE WITH SECTIONS R302.9.1 THROUGH R302.9.4.
R302.9.1.FLAME SPREAD INDEX.
WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.
EXCEPTION: FLAME SPREAD INDEX REQUIREMENTS FOR FINISHES SHALL NOT APPLY TO TRIM DEFINED AS PICTURE MOLDS, CHAIR RAILS, BASEBOARDS AND HANDRAILS; TO DOORS AND WINDOWS OR THEIR FRAMES; OR TO MATERIALS THAT ARE LESS THAN 1/28 INCH (0.91 MM) IN THICKNESS CEMENTED TO THE SURFACE OF WALLS OR CEILINGS IF THESE MATERIALS EXHIBIT FLAME SPREAD INDEX VALUES NOT GREATER THAN THOSE OF PAPER OF THIS THICKNESS CEMENTED TO A NONCOMBUSTIBLE BACKING.
R302.9.2.SMOKE-DEVELOPED INDEX.
WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.

FLAME SPREAD INDEX

- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200
- INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS & VAPOR PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25.

SMOKE INDEX

- WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450
- INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS & VAPOR PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723.

40 YEAR RECERTIFICATION

- The scope of work shall include addressing all structural and electrical items mentioned in the 40 year recertification report, dated 5/8/2020, by Tabio Engineering Corporation.

NOTES

- ALL ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT MUST BE AT OR ABOVE BASE FLOOD ELEVATION (B.F.E) +8.0' NGVD
- ALL NEW CONSTRUCTION MATERIALS BELOW +8.0' NGVD SHALL BE FLOOD-DAMAGE RESISTANT MATERIALS
- LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE WITHIN 15" MIN AND 48" MAX HIGH ABOVE FINISHED FLOOR
- SHOWER/TUB ENCLOSURES/DOORS SHALL BE CATEGORY II SAFETY GLASS
- WALL HUNG CABINETS TO BE ANCHORED TO HORIZONTAL MEMBER (20GA MIN) SECURELY FASTENED TO MIN (2) 20GA STUDS, TYPICAL
- THRESHOLDS AT ALL DOORS SHALL NOT EXCEED 1" MAXIMUM AND SHALL BE LEVELED AT EACH SIDE OF DOOR
- REPLACE EXISTING CORRODED PLUMBING LINES WITH NE P.V.D AS NECESSARY. GC SHALL VERIFY EXISTING CONDITIONS IN FIELD AND NOTIFY ARCHITECT PRIOR TO PERFORMING THE WORK
- ALL WOOD ELEMENTS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- SMOOTH SURFACE, NON-ABSORBANT, SLIP RESISTANT CERAMIC TILED FLOORS & WALLS (70" HIGH MIN) SHALL BE PROVIDED AT ALL NEW SHOWERS, TYPICAL
- PATCH AND PAINT EXISTING DRYWALL AS REQUIRED
- REFER TO INTERIOR DESIGN DRAWINGS FOR ALL INTERIOR FINISHES, FIXTURES, BASEBOARDS, MILLWORK, HARDWARE AND APPLIANCES.
- ALL NEW EXTERIOR DOORS AND WINDOWS SHALL BE UNDER SEPARATE PERMIT.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO PURCHASING ANY FINISH MATERIALS (TILE ETC)
- ALL THRESHOLDS MUST BE MAX 1/2" MAX

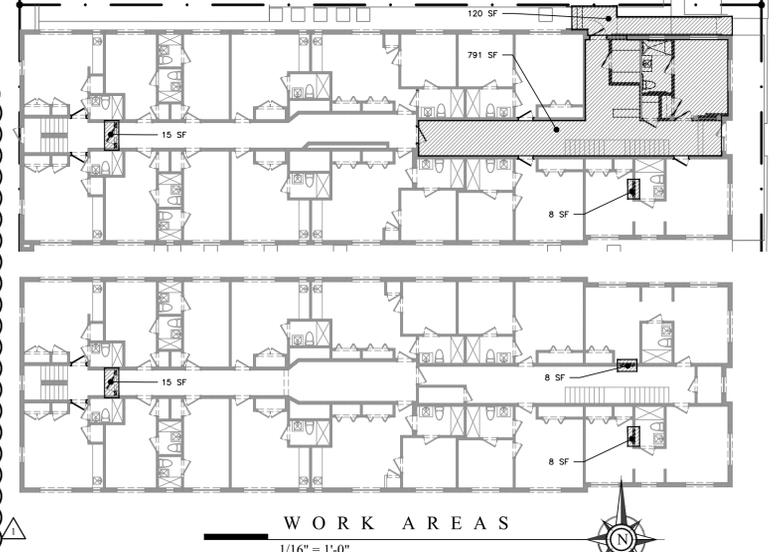
LEVEL II : Area of Work Calculations

CRITERIA	BREAKDOWN	TOTAL
FIRST FLOOR	791 120 15 8	934 SF
SECOND FLOOR	15 8 8	31 SF
TOTAL AREA OF WORK		965 SF
TOTAL BUILDING AREA		10,740 SF
50%		5,370 SF

Area of work is less than 50% of the total area of the building, therefore this is classified as a **Level II renovation**.

New flooring area

FIRST FLOOR	5,370 SF
SECOND FLOOR	5,370 SF
TOTAL	10,740 SF



WORK AREAS

1/16" = 1'-0"

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THE WEBER STUDIO

SCHEMATIC DESIGN SET
4.28.2020

INTERIOR ALTERATIONS FOR
CASA COLLINS
1420 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33139
PH: 305.531.2148 / 305.531.2178

PROPOSED FIRST FLOOR PLAN
DATE: 4.28.2020
DRAWN BY: MS
REVISION: DATE:
PLANS REVIEW COMMENTS TRACKING

A3.1



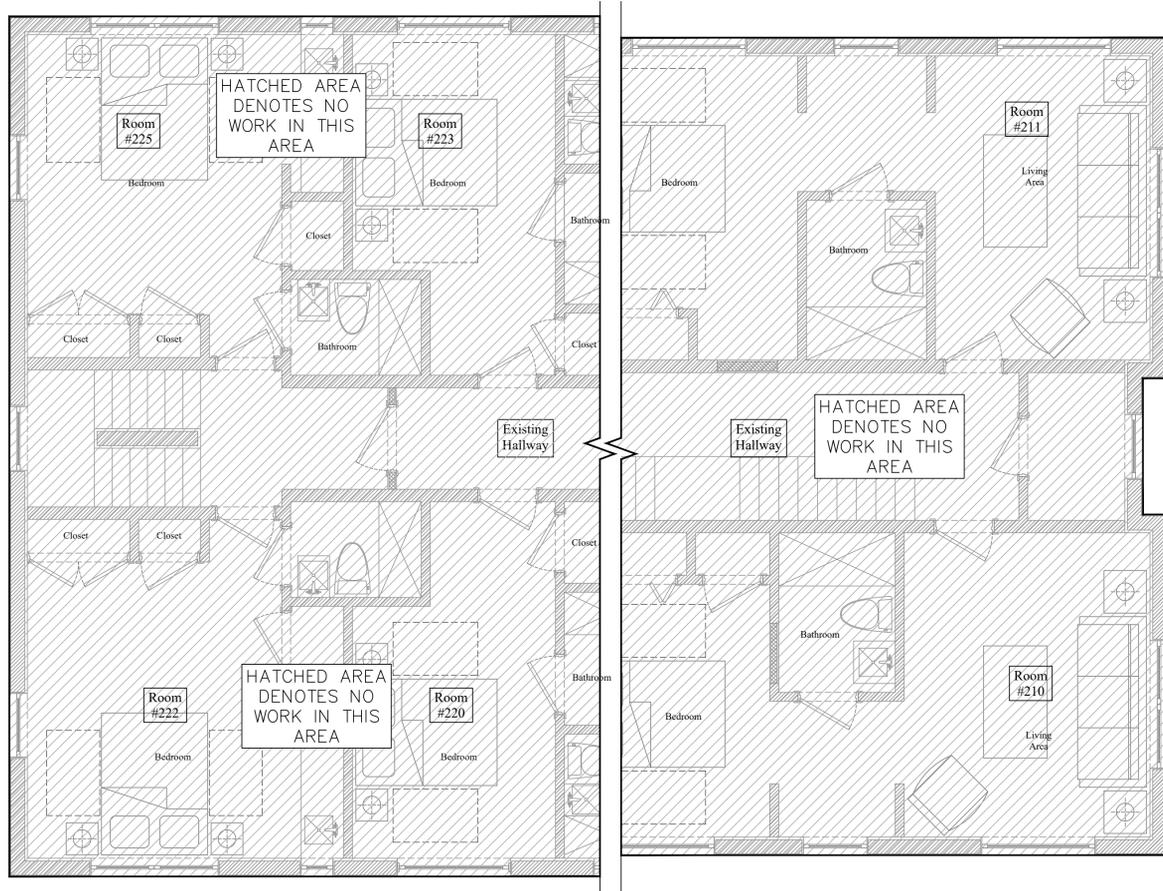
KEY PLAN
SECOND FLOOR

1/4" = 1'-0"



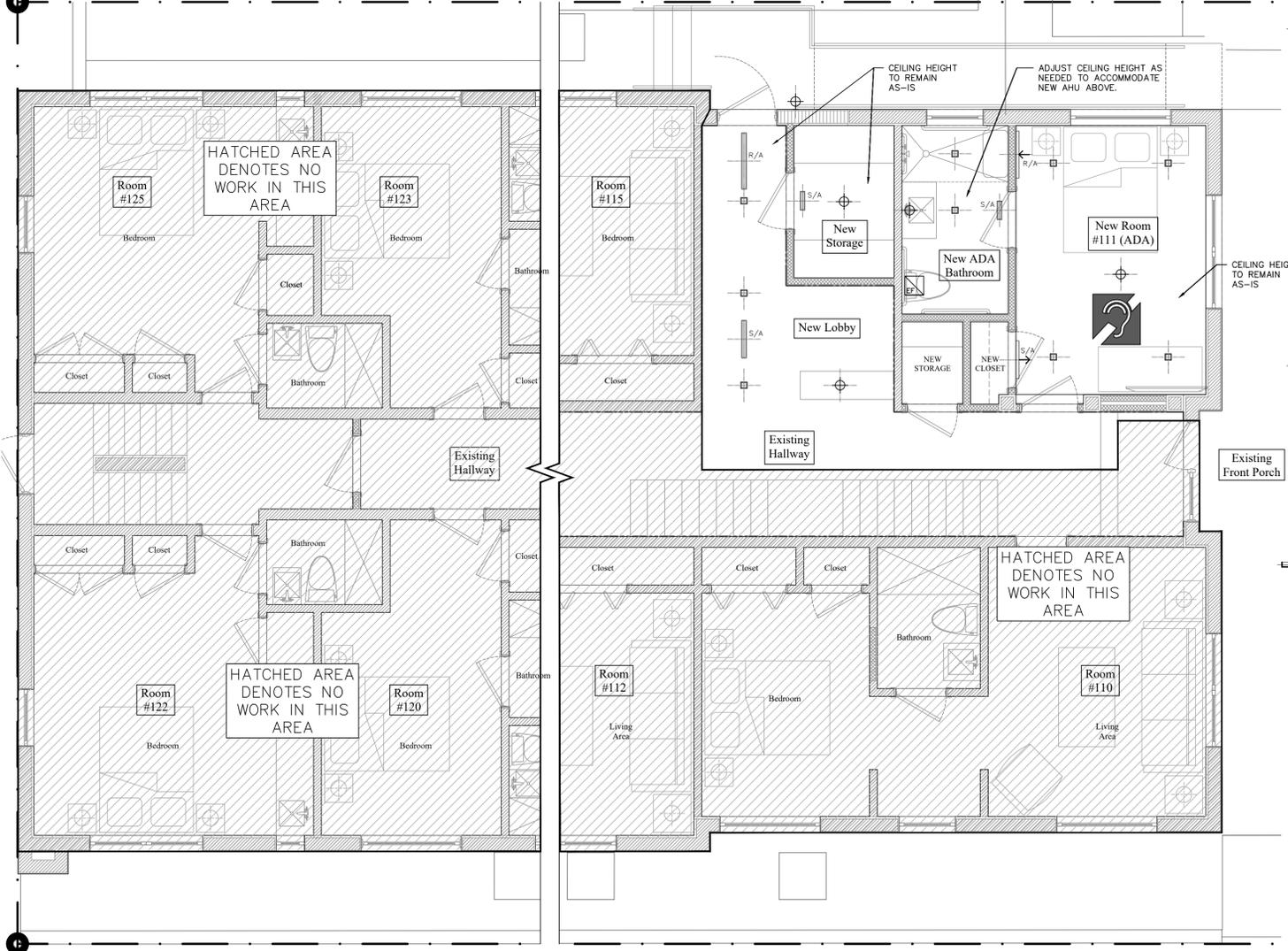
KEY PLAN
FIRST FLOOR

1/4" = 1'-0"



PROPOSED PARTIAL
SECOND FLOOR RCP

1/4" = 1'-0"



PROPOSED PARTIAL
FIRST FLOOR RCP

1/4" = 1'-0"



LEGEND	
	NEW VAPOR RESISTANT RECESSED LIGHT TO REMAIN
	NEW RECESSED LIGHT
	NEW SURFACE MOUNTED LIGHT
	NEW SMOKE DETECTOR
	NEW LED MIRROR LIGHT
	NEW SOFFIT
	EXISTING CEILING TO REMAIN, PROVIDE 1 HOUR FR ATTACHED TO EXISTING CEILING. SEE NOTE ON THIS SHEET
	EXISTING CEILING TO REMAIN
	EXHAUST FAN
	S/A SUPPLY AIR
	R/A RETURN AIR
	WALL MOUNTED RETURN AIR
	WALL MOUNTED RETURN AIR
	CEILING SPRINKLER UNDER SEPARATE PERMIT
	WALL SPRINKLER UNDER SEPARATE PERMIT
	NEW ACCESS PANEL FOR AC EQUIPMENT, COORDINATE WITH MECHANICAL PLANS

- NOTES
1. PROVIDE 1 HOUR FIRE RATING BETWEEN FLOOR TO FLOOR. UL NUMBER M531. (SEE DETAIL ON SHEET LS-3) THROUGH PENETRATION FIRESTOP SYSTEMS: USE UL DETAIL F-C8001 (SEE DETAIL ON SHEET LS-3)
 2. ALL DIMENSIONS OF FIXTURES, DEVICES, SPRINKLER HEADS, ETC. ARE TO CENTERLINE OF FIXTURE O.U.N. WHERE ITEMS ARE IN LINE, CENTERLINE OF ITEMS OR GROUP ITEMS TO ALIGN U.O.N
 3. ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS, OR IN CONFLICT WITH MEP-FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
 4. CONTRACTOR TO COORDINATE LOCATION OF ALL CEILING ELEMENTS AND PROVIDE COMPLETE COORDINATION DRAWINGS FOR THE ARCHITECT, INTERIOR DESIGNER AND ENGINEER'S REVIEW FOR APPROVAL
 5. REFER AND COORDINATE WITH I.D DRAWINGS FOR FINISHES
 6. COORDINATE LOCATION OF CEILING ACCESS PANELS WITH LOCATION OF AC UNITS ABOVE CEILING.

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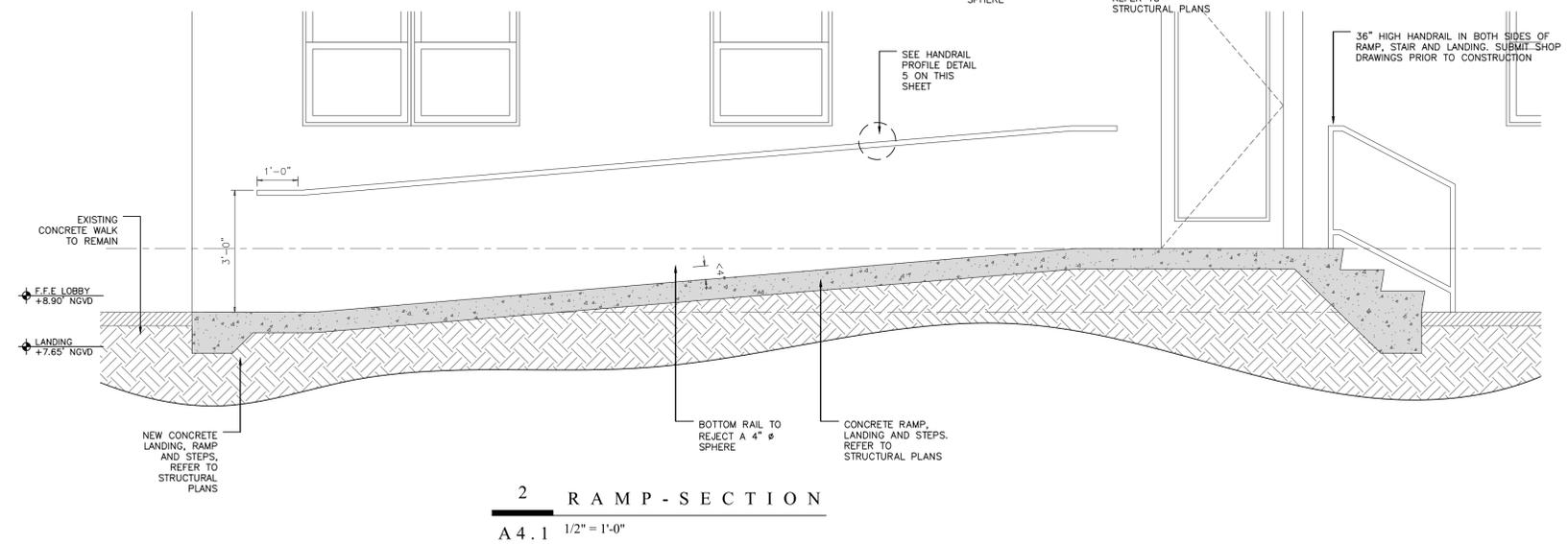
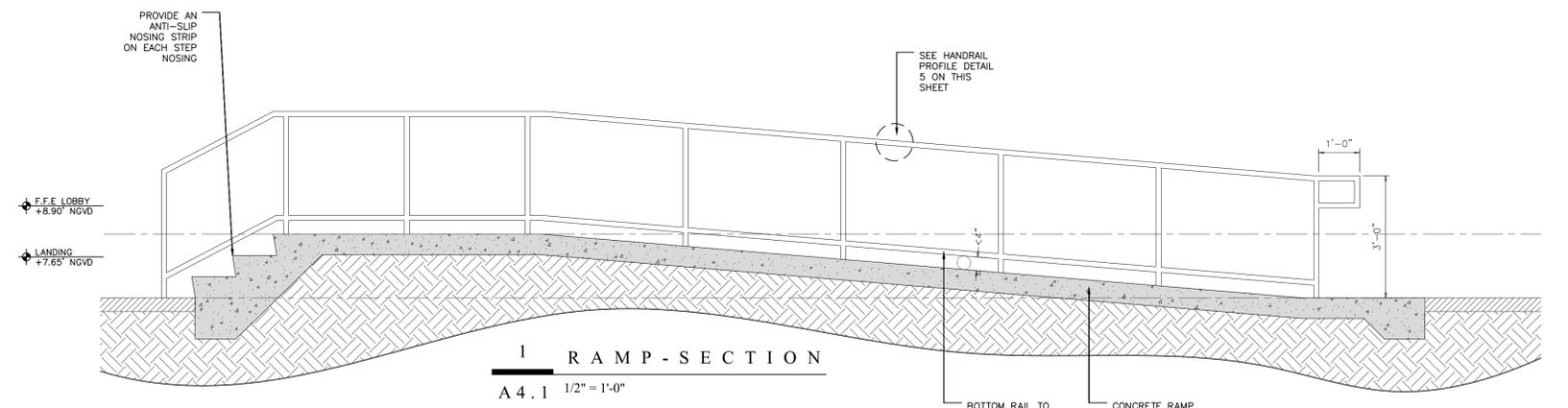
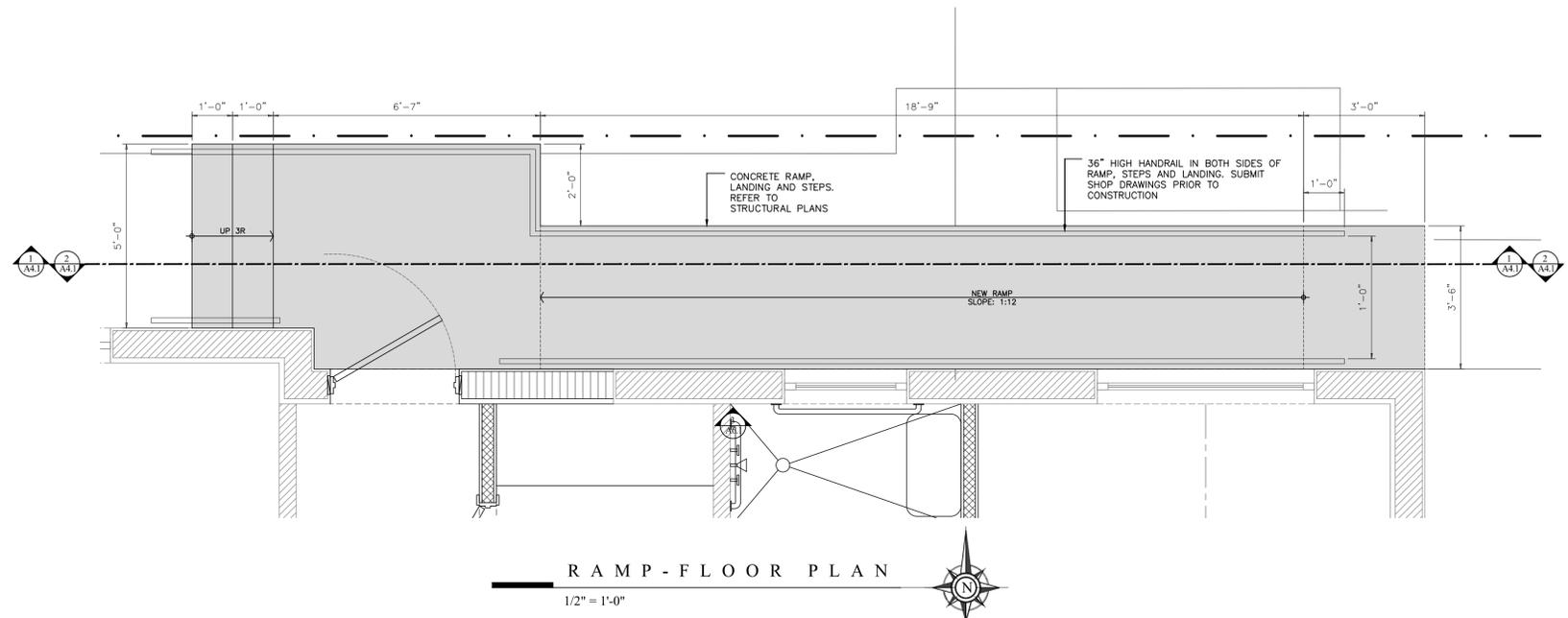
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INTERIOR ALTERATIONS FOR
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1420 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33139
PH: 305.531.1148 / 305.531.1149

PROPOSED FIRST FLOOR PLAN

DATE:	4.28.2020
DRAWN BY:	MS
REVISION:	DATE:

A3.1



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INTERIOR ALTERATIONS FOR
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DETAILS

DATE:	4.28.2020
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REVISION:	DATE

A6.1

