

**SURVEYOR'S REPORT:**

- THIS SURVEY IS PREPARED FOR G.L. HOMES ASSIGNALE.
- THE LANDS SHOWN HEREON WERE NOT ABSOLUTE EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD.
- VISIBLE ENCROACHMENTS ARE AS SHOWN. DESCRIPTION FURNISHED BY CLIENT.
- NOTICE: THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- THIS SKETCH IS THE PROPERTY OF LAWSON, NOBLE & WEBB, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF LAWSON, NOBLE & WEBB, INC., IN WRITING.
- BEARINGS SHOWN HEREON ARE BASED ON THE EASTERLY RIGHT-OF-WAY LINE OF HAGEN RANCH ROAD WHICH BEARS N 00°54'39" E AND ALL BEARINGS ARE RELATIVE THERETO.
- BOUNDARY DIMENSIONS SHOWN ARE PER PLAT AND FIELD MEASUREMENT UNLESS OTHERWISE NOTED.

Reviewer	Agency	Date
Trinidad, Jason O	Permit Tech	05/27/2021
Carbia, Hector	Permit Tech	05/06/2021

Reviewed for compliance



# Exhibit (A)(1)

E-2021-020026-0000



SCALE: 1" = 20'

Generators maximum 4 ft high from finish grade

Generator shall be screened from right-of-way and adjacent property by existing material or new shrubs

DO NOT ENCROACH EASEMENTS

5ft min

Generator

Bushes

Existing electrical service and new ATS's

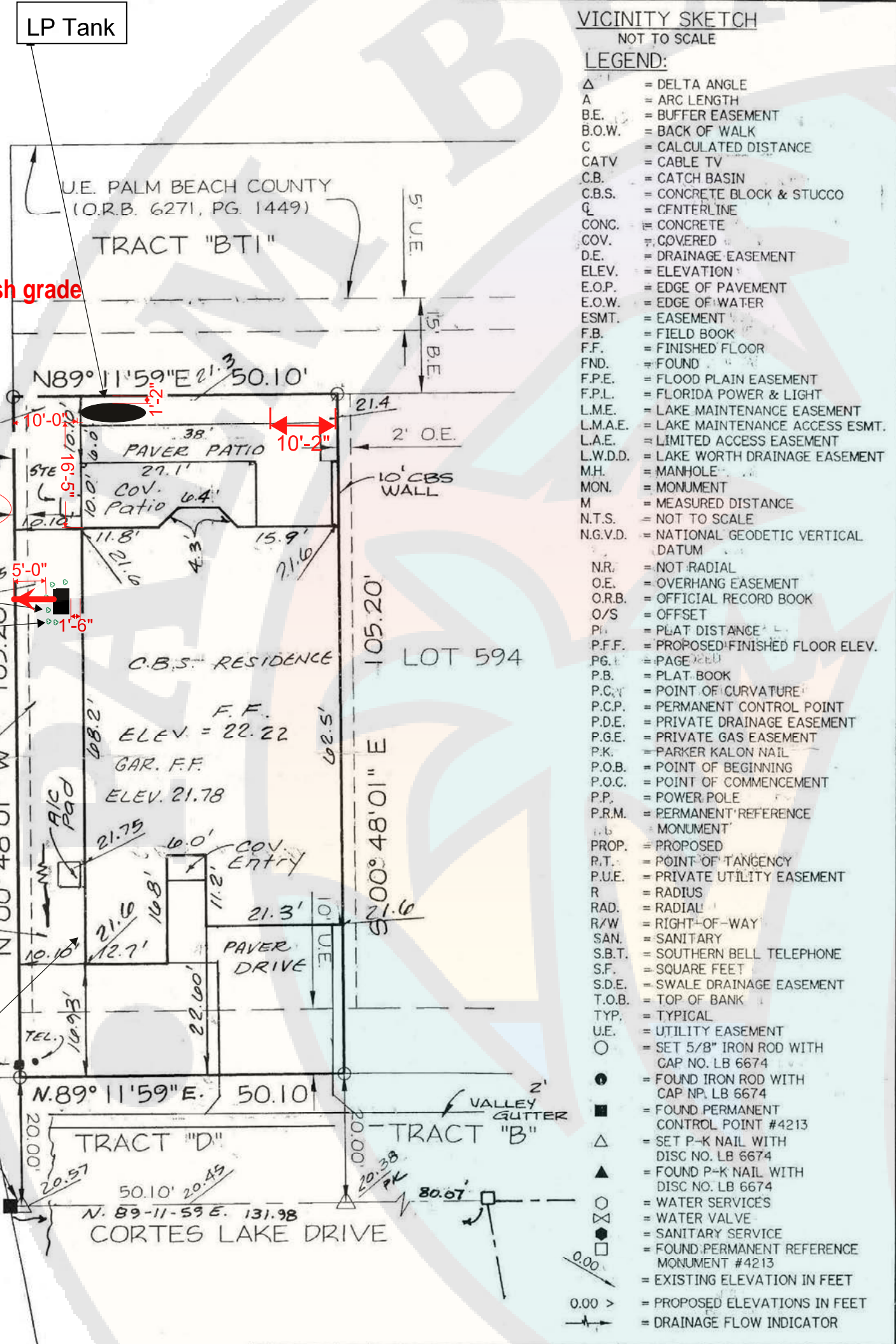
CERTIFIED TO:  
NOVA TITLE COMPANY  
COMMONWEALTH LAND TITLE INSURANCE COMPANY  
ARTHUR P. FUCHS AND CAROL A. FUCHS

**LEGAL DESCRIPTION:**  
BEING ALL OF LOT 595 ACCORDING TO THE PLAT OF VALENCIA FALLS - PLAT TEN, AS RECORDED IN PLAT BOOK 92, PAGES 90 THROUGH 99, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.  
SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

**CERTIFICATION:**  
I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON WAS PREPARED UNDER MY DIRECTION FOR THE PURPOSE OF BOUNDARY SURVEY ACCORDING TO A LEGAL DESCRIPTION FURNISHED AS SHOWN HEREON IN THE ABSENCE OF AN ABSTRACT AND THAT IT IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS, CHAPTER 61G17-6 FLORIDA ADMINISTRATIVE CODE, AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY IS ONLY VALID FOR THE PURPOSE AS STATED ABOVE, FOR WHICH IT IS INTENDED. NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

DATE OF SURVEY: 6/27/02

WILBUR F. DIVINE  
PROFESSIONAL SURVEYOR & MAPPER  
FLORIDA REGISTRATION NO. 4190



**VICINITY SKETCH**  
NOT TO SCALE

- LEGEND:**
- Δ = DELTA ANGLE
  - A = ARC LENGTH
  - B.E. = BUFFER EASEMENT
  - B.O.W. = BACK OF WALK
  - C = CALCULATED DISTANCE
  - CATV = CABLE TV
  - C.B. = CATCH BASIN
  - C.B.S. = CONCRETE BLOCK & STUCCO
  - C. = CENTERLINE
  - CONC. = CONCRETE
  - COV. = COVERED
  - D.E. = DRAINAGE EASEMENT
  - ELEV. = ELEVATION
  - E.O.P. = EDGE OF PAVEMENT
  - E.O.W. = EDGE OF WATER
  - ESMT. = EASEMENT
  - F.B. = FIELD BOOK
  - F.F. = FINISHED FLOOR
  - FND. = FOUND
  - F.P.E. = FLOOD PLAIN EASEMENT
  - F.P.L. = FLORIDA POWER & LIGHT
  - L.M.E. = LAKE MAINTENANCE EASEMENT
  - L.M.A.E. = LAKE MAINTENANCE ACCESS ESMT.
  - L.A.E. = LIMITED ACCESS EASEMENT
  - L.W.D.D. = LAKE WORTH DRAINAGE EASEMENT
  - M.H. = MANHOLE
  - MON. = MONUMENT
  - M. = MEASURED DISTANCE
  - N.T.S. = NOT TO SCALE
  - N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
  - N.R. = NOT RADIAL
  - O.E. = OVERHANG EASEMENT
  - O.R.B. = OFFICIAL RECORD BOOK
  - O/S = OFFSET
  - P. = PLAT DISTANCE
  - P.F.F. = PROPOSED FINISHED FLOOR ELEV.
  - P.G. = PAGE
  - P.B. = PLAT BOOK
  - P.C.V. = POINT OF CURVATURE
  - P.C.P. = PERMANENT CONTROL POINT
  - P.D.E. = PRIVATE DRAINAGE EASEMENT
  - P.G.E. = PRIVATE GAS EASEMENT
  - P.K. = PARKER KALON NAIL
  - P.O.B. = POINT OF BEGINNING
  - P.O.C. = POINT OF COMMENCEMENT
  - P.P. = POWER POLE
  - P.R.M. = PERMANENT REFERENCE MONUMENT
  - PROP. = PROPOSED
  - P.T. = POINT OF TANGENCY
  - P.U.E. = PRIVATE UTILITY EASEMENT
  - R = RADIUS
  - RAD. = RADIAL
  - R/W = RIGHT-OF-WAY
  - SAN. = SANITARY
  - S.B.T. = SOUTHERN BELL TELEPHONE
  - S.F. = SQUARE FEET
  - S.D.E. = SWALE DRAINAGE EASEMENT
  - T.O.B. = TOP OF BANK
  - TYP. = TYPICAL
  - U.E. = UTILITY EASEMENT
  - = SET 5/8" IRON ROD WITH CAP NO. LB 6674
  - = FOUND IRON ROD WITH CAP NO. LB 6674
  - = FOUND PERMANENT CONTROL POINT #4213
  - ▲ = SET P-K NAIL WITH DISC NO. LB 6674
  - ▲ = FOUND P-K NAIL WITH DISC NO. LB 6674
  - = WATER SERVICES
  - = WATER VALVE
  - = SANITARY SERVICE
  - = FOUND PERMANENT REFERENCE MONUMENT #4213
  - = EXISTING ELEVATION IN FEET
  - = PROPOSED ELEVATIONS IN FEET
  - = DRAINAGE FLOW INDICATOR

LP Tank



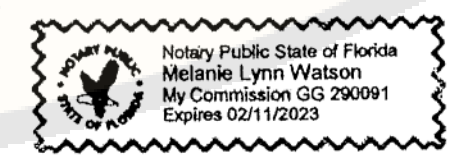
7409 Cortes Lake Dr

- Not to scale
- New 500 gallon underground propane tank
  - Minimum 10' from the vehicular traffic or natural barrier
  - Minimum 10' from adjoining property line that can be built upon
  - Minimum 10' from source of ignition
  - Minimum 10' from a structure that's occupied
- New 22 KW Generator
  - Mounted on a precast concrete pad 31"x 54"x 4"
  - Base of generator above base flood elevation
  - Minimum 5' from adjoining property line
  - Minimum 5' exhaust from any intake opening
  - Bushes will obscure view from adjoining Property line

Contractor  
Henry and Co.  
State Licensed Electrical and Gas Contractor  
Qualifiers  
Henry Karp EC0001322  
John Cramer 30853 / CC#15-CLPSI-19593-R  
757 SE 17 ST #176 Fort Lauderdale FL 33318 OFF 954 630 3880  
Designed by Henry and Co. FS  
489.113(9)(b)(2),471.003(2)(h),471.037(2)  
Customer / Job address  
FUCHS  
7409 CORTES LAKE DR DELRAY BEACH FL 33446

TYPE OF SURVEY: BOUNDARY SURVEY					
7409 CORTES LAKE DRIVE					
CLIENT: G.L. HOMES					
<b>Lawson, Noble &amp; Webb, Inc.</b> ENGINEERS PLANNERS SURVEYORS 420 COLUMBIA DRIVE LB 6674 WEST PALM BEACH, FL 33409 (561) 684-6686					
REVISION	FB/PG	DATE	BY	CK'D	DATE: 10-25-01
BLDG. S/D	17	4/8/02	FRED	RF	BY: JH / M.H.
FORM TIE-IN	18	2/28/02	RICKI	RF	CK'D: RF
FINAL TIE-IN	19	3/20/02	RICKI	RF	F.B.:
ADD CERT		7-8-02	MM	TL	
					JOB NO.: A223-10
					LOT NO.: 595 B

Henry Karp



melanie Lynn Watson

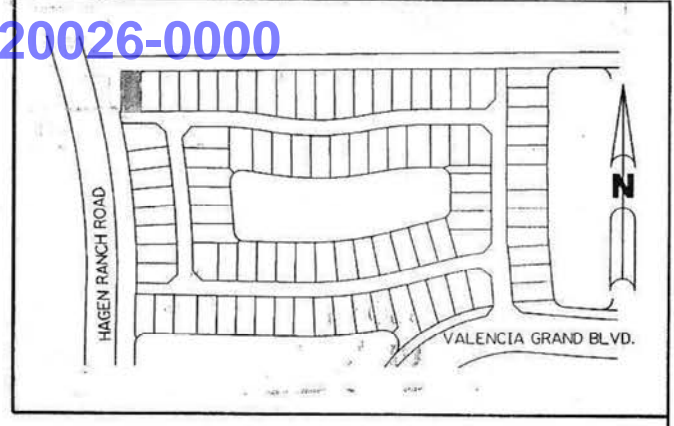
(SP1)

SURVEYOR'S REPORT  
 Reviewer: Trinidad, Jason Q. Agency: Permit Tech Date: 05/27/2021

E-2021-020026-0000

- THIS SURVEY IS PREPARED FOR G.L. HOMES AND IS NOT ASSIGNABLE.
- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF THAT OF RECORD.
- VISIBLE ENCROACHMENTS ARE AS SHOWN.
- DESCRIPTION FURNISHED BY CLIENT.
- NOTICE: THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- THIS SKETCH IS THE PROPERTY OF LAWSON, NOBLE & WEBB, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF LAWSON, NOBLE & WEBB, INC., IN WRITING.
- BEARINGS SHOWN HEREON ARE BASED ON THE EASTERLY RIGHT-OF-WAY LINE OF HAGEN RANCH ROAD WHICH BEARS N 00°54'39" E AND ALL BEARINGS ARE RELATIVE THERETO.
- BOUNDARY DIMENSIONS SHOWN ARE PER PLAT AND FIELD MEASUREMENT UNLESS OTHERWISE NOTED.

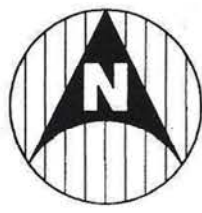
- ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC DATUM ADJUSTMENT OF 1929.
- THE LANDS SHOWN HEREON LIE WITHIN ZONE "B" ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL NO. 120192-0200-A, DATED FEBRUARY 1, 1979.
- INUNDATION ELEVATION BASED ON 100 YEAR, 3 DAY RAINFALL, ASSUMING ZERO DISCHARGE IS 21.73 FEET. ELEVATION OF THE 3 YEAR 24 HOUR RAINFALL, ASSUMING ZERO DISCHARGE IS 17.54 FEET. MINIMUM FLOOR ELEVATION IS 21.90
- BENCHMARK - PALM BEACH COUNTY BRASS DISK HRR 3-A LOCATED IN THE NORTHWEST WINGWALL OF THE BRIDGE ON HAGEN RANCH ROAD OVER THE LAKE WORTH DRAINAGE DISTRICT L-31 CANAL. ELEVATION = 20.49



VICINITY SKETCH  
NOT TO SCALE

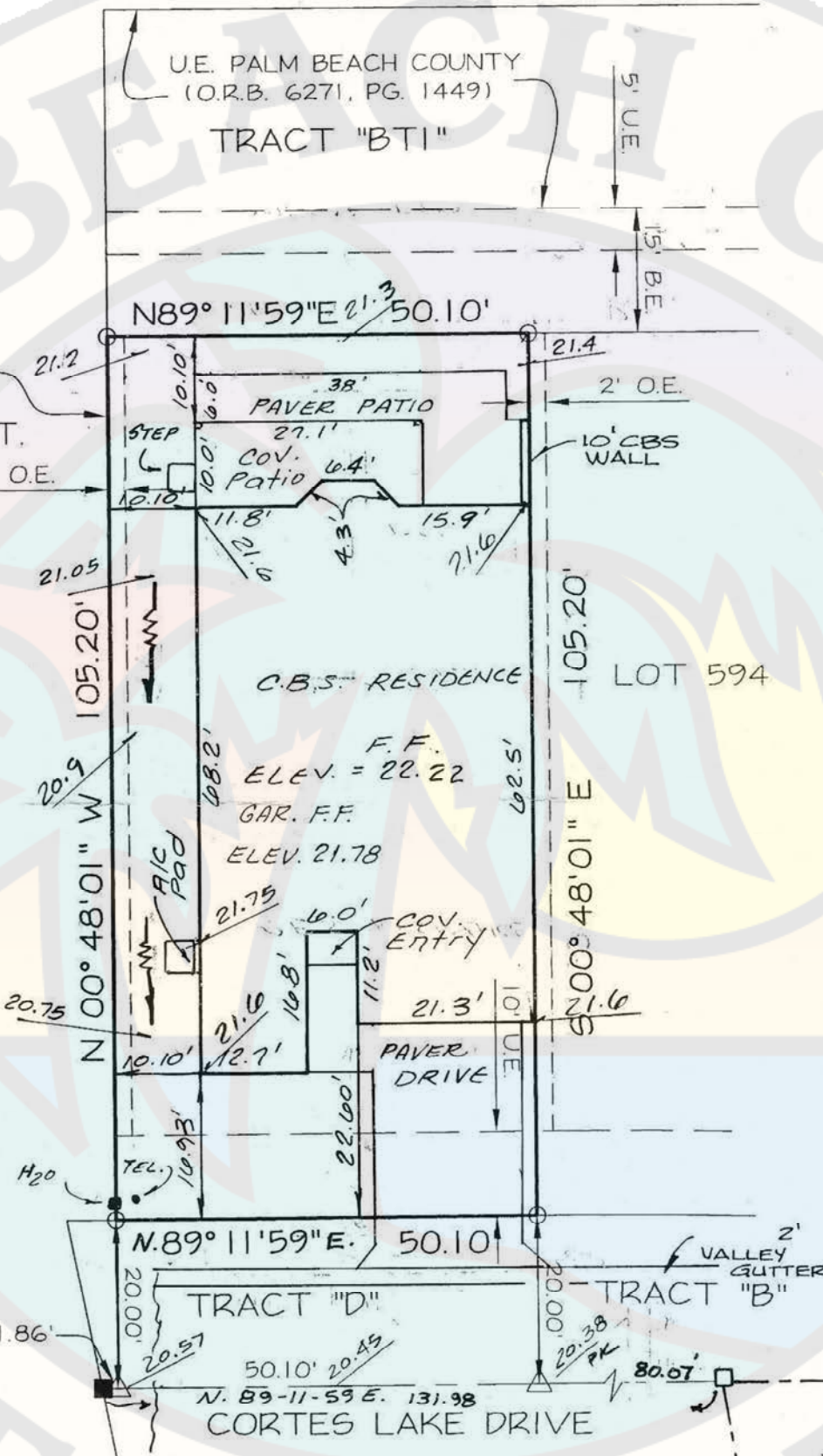
LEGEND:

- Δ = DELTA ANGLE
- A = ARC LENGTH
- B.E. = BUFFER EASEMENT
- B.O.W. = BACK OF WALK
- C = CALCULATED DISTANCE
- CATV = CABLE TV
- C.B. = CATCH BASIN
- C.B.S. = CONCRETE BLOCK & STUCCO
- CL = CENTERLINE
- CONC. = CONCRETE
- COV. = COVERED
- D.E. = DRAINAGE EASEMENT
- ELEV. = ELEVATION
- E.O.P. = EDGE OF PAVEMENT
- E.O.W. = EDGE OF WATER
- ESMT. = EASEMENT
- F.B. = FIELD BOOK
- F.F. = FINISHED FLOOR
- FND. = FOUND
- F.P.E. = FLOOD PLAIN EASEMENT
- F.P.L. = FLORIDA POWER & LIGHT
- L.M.E. = LAKE MAINTENANCE EASEMENT
- L.M.A.E. = LAKE MAINTENANCE ACCESS ESMT.
- L.A.E. = LIMITED ACCESS EASEMENT
- L.W.D.D. = LAKE WORTH DRAINAGE EASEMENT
- M.H. = MANHOLE
- MON. = MONUMENT
- M = MEASURED DISTANCE
- N.T.S. = NOT TO SCALE
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- N.R. = NOT RADIAL
- O.E. = OVERHANG EASEMENT
- O.R.B. = OFFICIAL RECORD BOOK
- O/S = OFFSET
- Pi = PLAT DISTANCE
- P.F.F. = PROPOSED FINISHED FLOOR ELEV.
- PG. = PAGE
- P.B. = PLAT BOOK
- P.C.P. = POINT OF CURVATURE
- P.C.P. = PERMANENT CONTROL POINT
- P.D.E. = PRIVATE DRAINAGE EASEMENT
- P.G.E. = PRIVATE GAS EASEMENT
- P.K. = PARKER KALON NAIL
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- P.P. = POWER POLE
- P.R.M. = PERMANENT REFERENCE MONUMENT
- PROP. = PROPOSED
- R.T. = POINT OF TANGENCY
- P.U.E. = PRIVATE UTILITY EASEMENT
- R = RADIUS
- RAD. = RADIAL
- R/W = RIGHT-OF-WAY
- SAN. = SANITARY
- S.B.T. = SOUTHERN BELL TELEPHONE
- S.F. = SQUARE FEET
- S.D.E. = SWALE DRAINAGE EASEMENT
- T.O.B. = TOP OF BANK
- TYP. = TYPICAL
- U.E. = UTILITY EASEMENT
- = SET 5/8" IRON ROD WITH CAP NO. LB 6674
- = FOUND IRON ROD WITH CAP NO. LB 6674
- = FOUND PERMANENT CONTROL POINT #4213
- △ = SET P-K NAIL WITH DISC NO. LB 6674
- ▲ = FOUND P-K NAIL WITH DISC NO. LB 6674
- = WATER SERVICES
- ⊗ = WATER VALVE
- ⊕ = SANITARY SERVICE
- ⊞ = FOUND PERMANENT REFERENCE MONUMENT #4213
- 0.00 = EXISTING ELEVATION IN FEET
- 0.00 > = PROPOSED ELEVATIONS IN FEET
- = DRAINAGE FLOW INDICATOR



SCALE: 1" = 20'

See site plan for generator setback



CERTIFIED TO:  
 NOVA TITLE COMPANY  
 COMMONWEALTH LAND TITLE INSURANCE COMPANY  
 ARTHUR P. FUCHS AND CAROL A. FUCHS

**LEGAL DESCRIPTION:**  
 BEING ALL OF LOT 595 ACCORDING TO THE PLAT OF VALENCIA FALLS - PLAT TEN, AS RECORDED IN PLAT BOOK 92, PAGES 90 THROUGH 99, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.  
 SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

**CERTIFICATION:**  
 I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON WAS PREPARED UNDER MY DIRECTION FOR THE PURPOSE OF BOUNDARY SURVEY ACCORDING TO A LEGAL DESCRIPTION FURNISHED AS SHOWN HEREON IN THE ABSENCE OF AN ABSTRACT AND THAT IT IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS, CHAPTER 61G17-6 FLORIDA ADMINISTRATIVE CODE, AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY IS ONLY VALID FOR THE PURPOSE AS STATED ABOVE, FOR WHICH IT IS INTENDED. NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

*(Signature)*  
 WILBUR F. DIVINE  
 PROFESSIONAL SURVEYOR & MAPPER  
 FLORIDA REGISTRATION NO. 4190

DATE OF SURVEY: 6/27/02

TYPE OF SURVEY: BOUNDARY SURVEY		7409 CORTES LAKE DRIVE	
CLIENT: G.L. HOMES		Lawson, Noble & Webb, Inc. ENGINEERS PLANNERS SURVEYORS 420 COLUMBIA DRIVE LB 6674 WEST PALM BEACH, FL 33409 (561) 684-6686	
REVISION	FB/PG	DATE	BY
BLDG. SIO	17	4/8/12	FRED
FORM TIE-IN	105	2/3/08	4/16/12 RICKI
FINAL TIE-IN	105	3/30/12	6/27/12 RICKI
ADD CERT		7-8-02	MAN
DATE: 10-25-01		BY: JH / M.H.	
CK'D: RF		F.B.:	
JOB NO.: A223-10		LOT NO.: 595 B	