

Reviewer	Agency	Date
Mruk, Anita P	Permit Tech	06/05/2020
Miller, Roger H	PE-E	06/22/2020
Reviewed for compliance		

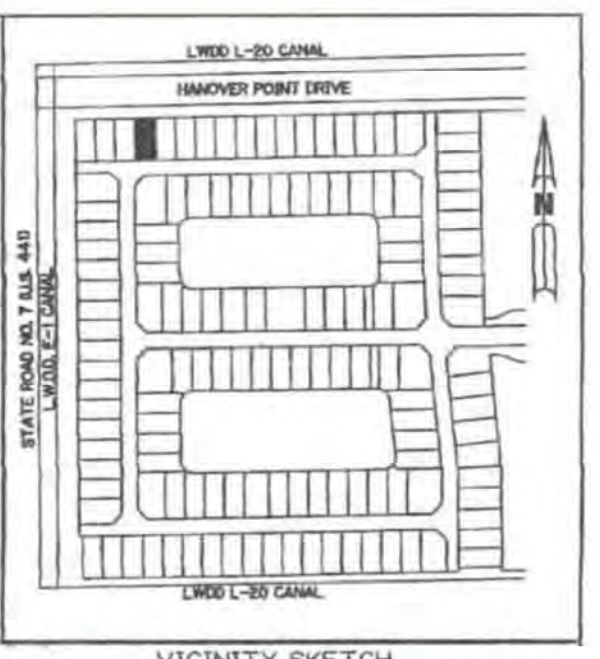
Exhibit (B)(1)



Contractor
Henry and Co.
State Licensed Electrical and Gas Contractor
Qualifiers
Henry Karp EC0001322
John Cramer 30853 / CC#15-CLPSI-19593-R
757 SE 17 ST #176 Fort Lauderdale FL 33318 OFF
954 630 3880
Designed by Henry and Co. FS
489.113(9)(b)(2), 471.003(2)(h), 471.037(2)
Customer / Job address
WATTENBERG
9907 CHANTILLY POINT LN LAKE WORTH FL 33467

E-2020-018252-0000

- SURVEYOR'S REPORT:**
- THIS SURVEY IS PREPARED FOR G.L. HOMES AND IS NOT ASSIGNABLE.
 - THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD. VISIBLE ENCROACHMENTS ARE AS SHOWN.
 - DESCRIPTION FURNISHED BY CLIENT.
 - NOTICE: THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
 - THIS SKETCH IS THE PROPERTY OF LAWSON, NOBLE & WEBB, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF LAWSON, NOBLE & WEBB, INC., IN WRITING.
 - BEARINGS SHOWN HEREON ARE BASED ON THE SOUTHERLY LINE OF VALENCIA SHORES PLAT - FIVE WHICH BEARS S 89°56'42" W AND ALL BEARINGS ARE RELATIVE THERETO. BOUNDARY DIMENSIONS SHOWN ARE PER PLAT AND FIELD MEASUREMENT UNLESS OTHERWISE NOTED.
 - ELEVATIONS SHOWN HEREON ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM ADJUSTMENT OF 1929.
 - LANDS SHOWN HEREON LIE WITHIN ZONE "B" ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL NO. 120192-0200-A, DATED FEBRUARY 1, 1979.
 - FOUNDATION ELEVATION BASED ON 100 YEAR, 3 DAY RAINFALL, ASSUMING ZERO DISCHARGE IS 20.80 FEET. ELEVATION OF THE 3 YEAR 24 HOUR RAINFALL, ASSUMING ZERO DISCHARGE IS 18.00 FEET. MINIMUM FLOOR ELEVATION IS 20.80.
 - GEN-MARK - PALMA BEACH COUNTY BRASS DISK HRR 3-A LOCATED IN THE NORTHWEST CORNER OF THE BRIDGE ON HAGEN RANCH ROAD OVER THE LAKE WORTH DRAINAGE DISTRICT L-31 CANAL. ELEVATION = 20.49

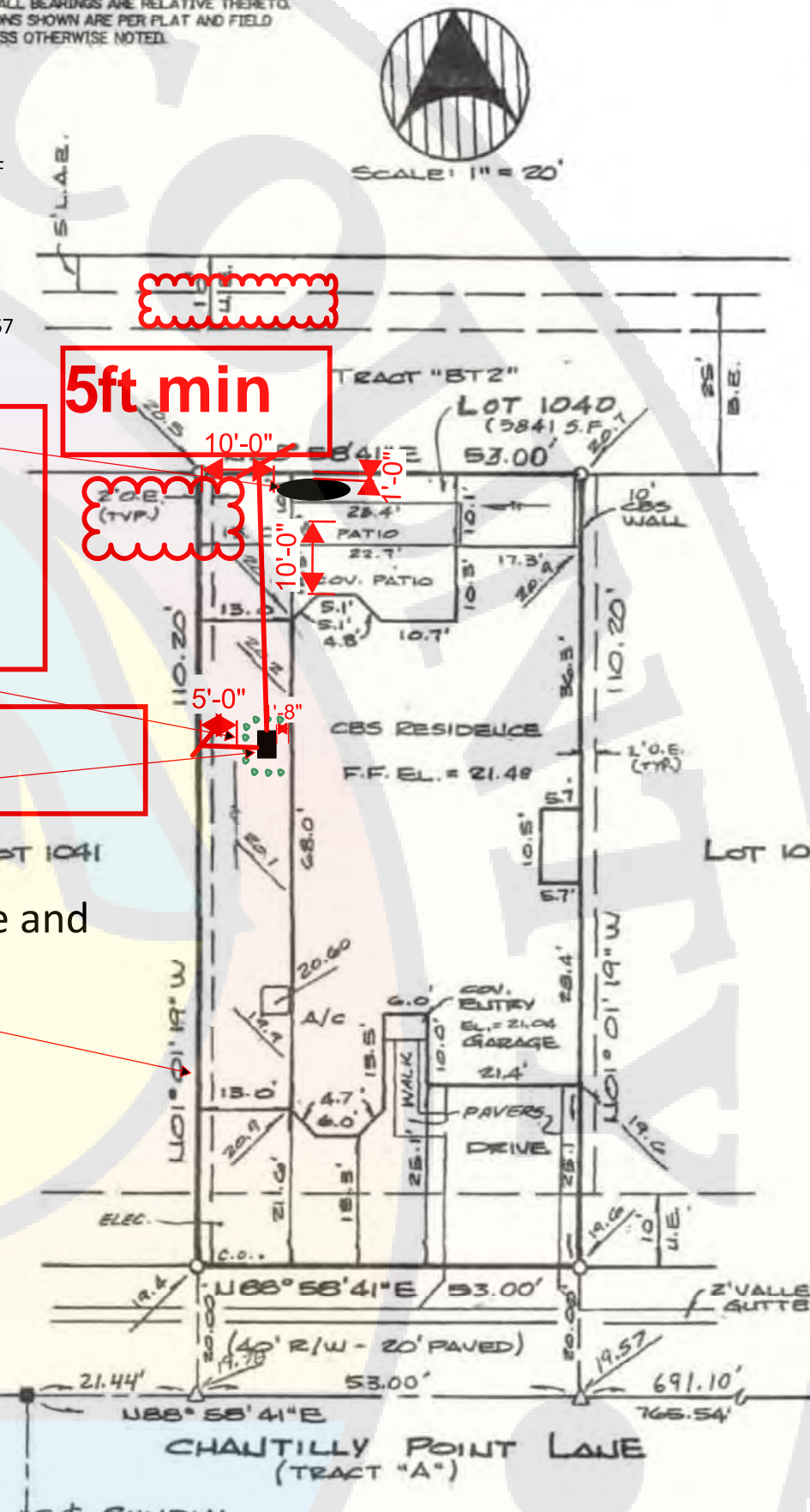


IP Tank
do not encroach easements

Generator 5ft min

Existing electrical service and new ATS's
Generator shall be screened from right-of-way and adjacent property by existing material or new shrubs

generators maximum 4ft high from finish grade



- LEGEND:**
- Δ = DELTA ANGLE
 - A = ARC LENGTH
 - B.E. = BUFFER EASEMENT
 - C = CALCULATED DISTANCE
 - CATV = CABLE TV
 - C.B. = CATCH BASIN
 - C.B.S. = CONCRETE BLOCK & STUCCO
 - C.L. = CENTERLINE
 - CONC. = CONCRETE
 - COV. = COVERED
 - D.E. = DRAINAGE EASEMENT
 - ELEV. = ELEVATION
 - F.B. = FIELD BOOK
 - F.F. = FINISHED FLOOR
 - FND. = FOUND
 - F.P.L. = FLORIDA POWER & LIGHT
 - L.M.E. = LAKE MAINTENANCE EASEMENT
 - L.M.A.E. = LAKE MAINTENANCE ACCESS ESMT.
 - L.A.E. = LIMITED ACCESS EASEMENT
 - L.W.D.D. = LAKE WORTH DRAINAGE EASEMENT
 - M.H. = MANHOLE
 - MON. = MONUMENT
 - M. = MEASURED DISTANCE
 - N.T.S. = NOT TO SCALE
 - N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
 - N.R. = NOT RADIAL
 - O.E. = OVERHANG EASEMENT
 - O.R.B. = OFFICIAL RECORD BOOK
 - P = PLAT DISTANCE
 - P.F.F. = PROPOSED FINISHED FLOOR ELEV.
 - P.S. = PLAT BOOK
 - P.B. = PARKER KALON NAIL
 - P.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF COMMENCEMENT
 - P.R.M. = PERMANENT REFERENCE MONUMENT
 - PROP. = PROPOSED
 - R = RADIUS
 - RAD. = RADIAL
 - R/W = RIGHT-OF-WAY
 - SAN. = SANITARY
 - S.B.T. = SOUTHERN BELL TELEPHONE
 - S.F. = SQUARE FEET
 - T.O.B. = TOP OF BANK
 - TYP. = TYPICAL
 - U.E. = UTILITY EASEMENT
 - = SET 5/8" IRON ROD WITH CAP NO. LB 6574
 - = FOUND IRON ROD WITH CAP NO. LB 6574
 - = FOUND PERMANENT CONTROL POINT LB-6574
 - ▲ = SET P-K NAIL WITH DISC NO. LB 6574
 - ▲ = FOUND P-K NAIL WITH DISC NO. LB 6574
 - = WATER SERVICES
 - = WATER VALVE
 - = SANITARY SERVICE
 - = FOUND PERMANENT REFERENCE MONUMENT #4213
 - = EXISTING ELEVATION IN FEET
 - = PROPOSED ELEVATIONS IN FEET
 - = DRAINAGE FLOW INDICATOR

LEGAL DESCRIPTION:
BEING ALL OF LOT 1040 ACCORDING TO THE PLAT OF VALENCIA SHORES - PLAT FIVE, AS RECORDED IN PLAT BOOK 194, PAGES 28 THROUGH 32, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

CERTIFICATION:
I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON WAS PREPARED UNDER MY DIRECTION FOR THE PURPOSE OF BOUNDARY SURVEY ACCORDING TO A LEGAL DESCRIPTION FURNISHED AS SHOWN HEREON IN THE ABSENCE OF AN ABSTRACT AND THAT IT IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS, CHAPTER 61G17-6 FLORIDA ADMINISTRATIVE CODE, AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO SECTION 472.007, FLORIDA STATUTES. THIS SURVEY IS ONLY VALID FOR THE PURPOSE AS STATED ABOVE, FOR WHICH IT IS INTENDED. NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

DATE OF SURVEY: 2/7/05
WILBUR F. DIVINE
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 4190

TYPE OF SURVEY:	BOUNDARY SURVEY
9907 CHANTILLY POINT LANE	
CLIENT:	G.L. HOMES
Lawson, Noble & Webb, Inc. ENGINEERS PLANNERS SURVEYORS 420 COLUMBIA DRIVE LB 6674 WEST PALM BEACH, FL 33409 (561) 684-6686	
LNW	
REVISION	FB/PAGE DATE BY OK'D D. DATE
FORM TIE-IN	2/10/05 AS MD BY: KJR
FINAL TIE-IN	2/10/05 RUC/MD OK'D: MJD
UPSETS	2/11/05 LKW F.B.:
JOB NO.: A528-5	
LOT #: 1040 A	

- Not to scale
- New 500 gallon underground propane tank
 - Minimum 10' from the vehicular traffic or natural barrier
 - Minimum 10' from adjoining property line that can be built upon
 - Minimum 10' from source of ignition
 - Minimum 10' from a structure that's occupied

- New 22 KW Generator
- Mounted on a precast concrete pad 31"x 54"x 4"
- Base of generator above base flood elevation
- Minimum 5' from adjoining property line
- Minimum 10' exhaust from any intake opening
- Bushes to obscure view from adjoining Property line

Henry Karp
Notary Public State of Florida
Melanie Lynn Watson
My Commission GG 290091
Expires 02/11/2023

(SP1)