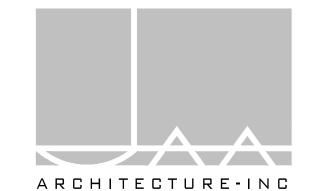
VICINITY MAP PROJECT LOCATION—

SMOKE PARTITION 1550 RIVERSIDE AVE

JACKSONVILLE, FLORIDA 32205



JAA ARCHITECTURE

2716 ST. JOHNS AVENUE JACKSONVILLE FL. 32205 AR 92748 (904)379-5108

CODE SUMMARY

APPLICABLE CODES

OCCUPANCY TYPE

ALTERATION LEVEL

CONSTRUCTION TYPE

SPRINKLERED Y/N

ABBREVIATIONS LENGTH
LABORATORY
LAMINATED
LAVATORY
LAUNDRY TUB
LAW VENEER LUMBER
LOUVER
LEFT HAND LINER FEET LOCATION LOW POINT LIGHT GAGE MTL FRAMING LEADER

ADJUSI JABLE, ALUA
ABOVE FINISHED F
AIR HANDLING UNI
ALTERNATE
ALUMINUM
ADDITIONAL
ANODIZED
ACCESS PANEL
ARCHITECT (URA
ASPHALT
AMPERE
AVERAGE
APPROVED

CUBIC FEET
CHANNEL
CABINET
CAPACITY
CATCH BASIN
CEMENT
CONTRACTOR
CUBIC FEET PER MINUTE
CONTRACTOR
CUBIC FEET PER MINUTE
CORNER GUARD
CHAMFER
CHANGE
CAST IRON
CAST IN PLACE CONCRETE
CONSTRUCTION JOINT
CENTERLINE
CHAIN LINK FENCE
CEILING
CLOSET
CERAMIC MOSAIC TILE
CONCRETE MASONRY UNIT
CASED OPENING
COLUMN
COMBINATION
CONCRETE
CONDUIT
CONNECTION
CONSTRUCTION
CONTINUOUS
CERAMIC TILE
CORRIDOR
CARPET
CARPET
CONRECTION
CONTINUOUS
CERAMIC TILE
CORRIDOR
CARPET
CONRESIS)
CAST STONE
CONCEALED SPLINE
CUBIC YARD
COUNTER
CUBIC YARD
CUBIC

DRYER (MACHINE) DOOR OPENING DOWN OPENING DAMPPROOFING DESIGN PROFESSI DISHWASHER DOVE DISPENSER DOWNSPOUT DOVETAIL ANCHO! DOVETAIL SLOT DRAWING DIFFUSER DRAWER

EAST EACH EXHAUST FAN EXTERIOR ACRYLIC FINISH EQUAL EQUIPMENT EXISTING TO REMAIN ACH WAY LECTRIC WATER COOLER EXPOSED EXTERIOR (OR EXTENSION FURNISHED BY OTHERS

FINISH FLOOR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER BRACKE FIRE EXTINGUISHER CABINET FIRE HOSE CABINET FINISHED FLOOR ELEVATION FURNISH AND INSTALL FIREPLACE FINISHED FIXTURE FOOT FLUORESCENT FIREPROOFING

GROUT GENERAL CONTRACT GRAB BAR GLASS GOVERNMENT GRADE GYPSUM WALL BOARD GYPSUM SHEATHING HANDICAPPED
RE HOLLOW CORE
HEATER
HARDWARE
D HARDWOOD
HEIGHT
HOLLOW METAL
HORIZONTAL
HIGH POINT
HOUR
IN LIEU OF
HEATING, VENT.& AIR COND.
HOT WATER

J JT JOINT JAN JANITOR JST JOIST (FLOOR OR ROOF)

NATIONAL GEODETIC NORTH NOM NOMINAL NTS NOT TO SCALE

OUTSIDE DIAMETER

PARKING PARTICLE BOARD POUND PRECAST (CONCRETE) PARTITION PLUMBING
PWD
PORTABLE
PR
PRESS
PRESSURE
PVMT
PAVEMENT
PL
PLYWOOD
PSF
POUNDS PER SQ. FT.
PAINTED
PORTABLE
PAINTED

POLYVINYL CHLORIDE(PIPE PROPERTY LINE QUARRY TILE QUANTITY $R_{\text{R/A}}^{\text{R}}$

REINFORCEMENT
REFLECTED (CEILING)
REQUIRED
REVISION(S), REVISED
ROOF HATCH
ROOM
ROUGH OPENING
ROD & SHELF(S)
RUBBER TILE
RUBBER
RESILIENT SERVICE SLIDING GLASS DOOR SHELVES

SIMILAR
SLEEVE
SEALANT
SPECIFICATION
SPEAKER
SQUARE
SQUARE
SQUARE FEET
SERVICE SINK
STAINLESS STEEL
STEEL

VACUUM
VESTIBULE
VERIFY IN FIELD
VAPOR BARRIER
VINYL BASE
VINYL COMPOSITION TILE
VERTICAL
VENEER PLASTER
VINYL TILE
VENT THRU ROOF WASHING MACHINE WOOD WATER HEATER WALK-IN CLOSET WITH

WINDOW WITHOUT WATERPROOFING

WEIGHT WELDED WIRE MESH

NUMBER INDICATES DETAIL SHEET NUMBER WHERE DETAIL IS

WALL SECTION

SYMBOLS GENERAL NOTES

DESIGNATION

NAME

ROOM

NUMBER

ROOM SIZE

NUMBER

WINDOW

PARTITION

DEMOLITION

ACCESSORIES

EXISITING WALL TO

DEMOLITION

UNRATED WALL

2-HOUR RATED WALL

NORTH

ARROW

INDICATES DIRECTION

OF CUTTING PLANE

LETTER INDICATES

BUILDING SECTION

WHERE SECTION IS

INDICATES DIRECTION OF VIEW

NUMBER INDICATES

WHERE ELEVATION

INDICATES DIRECTION

NUMBER INDICATES WALL

OF CUTTING PLANE

ELEVATION

IS DRAWN

SECTION

SHEET NUMBER

WHERE SECTION IS

SHEET NUMBER

SHEET NUMBER

DRAWN

REVISION CLOUD AND

1-HOUR RATED WALL

🔻 AX.X /

∖ AX.X 🚣

ELEVATION

BUILDING SECTION

LOUVER

100

(100)

I. THE PURPOSE OF THESE DOCUMENTS IS TO CONVEY DESIGN INTENT ONLY. THE CONTRACTOR SHALL A) BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, B) PROMPTLY NOTIFY ARCHITECT IF THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, AND C) OBTAIN ALL REQUISITE BUILDING AND OTHER PERMITS REQUIRED IN CONNECTION WITH THE WORK.

2. THE CONTRACTOR WILL BE PRESUMED TO HAVE INSPECTED THE SITE AND TO HAVE READ AND TO BE THOROUGHLY FAMILIAR WITH THE DRAWINGS AND SPECIFICATIONS. THE FAILURE OR OMISSION OF ANY CONTRACTOR TO EXAMINE ANY FORM, INSTRUMENT OR DOCUMENT SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION IN RESPECT TO HIS WORK.

3. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONTRACT DOCUMENTS, OR WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA OR SAMPLE FOR SUCH PORTION OF THE WORK.

4. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. DECISIONS OF ARCHITECT AS TO THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THESE DOCUMENTS SHALL BE FINAL AND BINDING ON THE CONTRACTOR AND THE OWNER.

5. THE ARCHITECT RESERVES THE RIGHT TO REJECT ITEMS INCORPORATED INTO THE WORK WHICH FAIL TO MEET THE SPECIFIED MINIMUM REQUIREMENTS. THE ARCHITECT FURTHER RESERVES THE RIGHT, AND WITHOUT PREJUDICE TO OTHER RECOURSE. ARCHITECT MAY OR MAY NOT ACCEPT NON-COMPLYING ITEMS SUBJECT TO ANY ADJUSTMENT IN THE CONTRACT AMOUNT AS APPROVED BY THE ARCHITECT AND/OR THE OWNER.

B-PERMITS, FEES, TAXES, & NOTICES

A-INTENT & USE OF CONSTRUCTION DOCUMENTS

I. THE CONTRACTOR SHALL PAY ALL SALES, CONSUMER, AND OTHER SIMILAR TAXES FOR THE WORK OR PORTIONS THEREOF PROVIDED BY THE CONTRACTOR WHICH ARE LEGALLY ENACTED AT THE TIME OF CONSTRUCTION.

2. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND FOR ALL OTHER PERMITS AND GOVERNMENTAL FEES, ICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE

3. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF

4. THE CONTRACTOR SHALL EXERCISE REASONABLE EFFORT TO MAKE CERTAIN THAT THE CONTRACT DOCUMENTS ARE IN ACCORDANCE WITH APPLICABLE LAWS, STATUTES, BUILDING CODES AND REGULATIONS. IF THE CONTRACTOR OBSERVES THAT ANY OF THE CONTRACT DOCUMENTS ARE AT VARIANCE THEREWITH IN ANY RESPECT, HE SHALL PROMPTLY NOTIFY ARCHITECT IN WRITING, AND ANY NECESSARY CHANGES SHALL BE ACCOMPLISHED BY APPROPRIATE MODIFICATION.

5. IF THE CONTRACTOR PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO SUCH LAWS, ORDINANCES, RULES AND REGULATIONS, AND WITHOUT SUCH NOTICE TO DESIGNER, HE SHALL ASSUME FULL RESPONSIBILITY THEREFORE AND SHALL BEAR ALL COSTS ATTRIBUTABLE THERETO.

C-COORDINATION & SUPERVISION

D-LABOR, MATERIALS, & WARRANTY

I. ALL WORK TO BE SCHEDULED DURING REGULAR BUSINESS HOURS UNLESS NOTED OTHERWISE.

2. CONTRACTOR TO PROVIDE ADVANCE NOTIFICATION TO TENANT'S REPRESENTATIVE WHEN TENANT OR THEIR CONTRACTOR(S) ARE REQUIRED AT JOB SITE FOR COORDINATION MEETINGS OR

3. UPON COMPLETION OF THE WORK, THE CONTRACTOR TO NOTIFY BUILDING OWNER REPRESENTATIVE THAT THE PROJECT IS READY FOR INSPECTION. OWNER/REP WILL COMPILE A "PUNCH LIST" OF CORRECTIONS NEEDED OF UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE SUCCESSFUL COMPLETION OF THE PUNCH LIST.

4. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST

SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND SHALL COORDINATE ALL PORTIONS OF THE WORK.

5. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.

6. THE CONTRACTOR TO, AT ALL TIMES, KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH; PREMISES TO BE SWEPT CLEAN DAILY.

7. THE CONTRACTOR TO PROVIDE FINAL CLEANING OF ALL AREAS OF WORK INCLUDING THE CONSTRUCTION ACCESS ROUTE. FINAL CLEANING TO INCLUDE WINDOWS AND CEILINGS.

I. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

2. THE CONTRACTOR SHALL AT ALL TIMES ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG THE CONTRACTOR'S EMPLOYEES AND SHALL NOT EMPLOY ON THE WORK ANY UNFIT PERSON OR ANYONE NOT SKILLED IN THE TASK ASSIGNED THEM.

3. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENT LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF UNION LABOR.

4. CONTRACTOR AND SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS

SHOWN ON DOCUMENTS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS PRIOR TO PROCEEDING WITH THE WORK.

5. EACH TRADE WILL BE EXPECTED TO PROCEED IN A FASHION THAT WILL NOT DELAY OTHER

6. THE CONTRACTOR IS RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER THEIR JURISDICTION.

7. DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGER SCALE DRAWINGS TO GOVERN OVER SMALLER SCALE DRAWINGS.

UNLESS OTHERWISE INDICATED. 9. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR IS RESPONSIBLE TO GET CLARIFICATION AND

DIRECTION FROM ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. 10. THE CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK

8. DIMENSIONS ARE TO THE FINISHED FACE OF NEW CONSTRUCTION. DIMENSIONS ARE NOMINAL

UNLESS OTHERWISE NOTED. II. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BLOCKING FOR WALL SUPPORTED

ELEMENTS INCLUDING MILLWORK, EQUIPMENT, FIXTURES AND FURNITURE. CONTRACTOR TO VERIFY EXTENT AND COORDINATE WITH APPROPRIATE SUBCONTRACTORS. 12. ALL MATERIALS TO BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS

OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT TO BE STORED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN RECOMMENDATIONS AND INSTRUCTIONS. II. THERE WILL BE NO SUBSTITUTIONS OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE

THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, ARCHITECT TO DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.

12. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS FOR THE TYPE OF MATERIAL AND INSTALLATION SPECIFIED.

13. PAINT TO BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS OVER PROPERLY PREPARED SURFACES. WALLS TO BE STRAIGHT AND SMOOTH. PROVIDE MINIMUM ONE COAT PRIME AND ONE FINISH COAT. FINISHED COAT TO COMPLETELY COVER WITH NO STREAKING OR BLEEDING

14. MILLWORK TO CONFORM WITH AWI STANDARDS FOR PREMIUM GRADE MILLWORK. DRAWINGS INDICATE DESIGN INTENT. FABRICATOR IS RESPONSIBLE FOR MILLWORK ENGINEERING.

15. DRYWALL CONTRACTOR TO CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER TRADES. WHERE DRYWALL IS IN CONFLICT WITH DUCTWORK, PLUMBING LINES, ETC. THIS CONTRACTOR TO PROVIDE ALL NECESSARY BRIDGING AND BRACING REQUIRED TO SECURE DRYWALL AND TO MAINTAIN FIRE OR SOUND RATING WHERE REQUIRED.

16. THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION. ALL WORK NOT CONFORMING TO THESE REQUIREMENTS, INCLUDING SUBSTITUTIONS NOT PROPERLY APPROVED AND AUTHORIZED, MAY BE CONSIDERED DEFECTIVE.

E- INSTALLATION NOTES (MAY NOT APPLY)

I. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT TO OPERATE QUIETLY AND BE FREE OF VIBRATION.

2. UNLESS OTHERWISE NOTED IN MECHANICAL DRAWINGS OR SPECIFICATIONS, HOLD DUCTS AND MECHANICAL EQUIPMENT TIGHT TO STRUCTURE ABOVE.

3. THE CONTRACTOR SHALL NOT LOCATE CEILING DIFFUSERS OR REGISTERS WHERE FULL HEIGHT SHELVING, FILES OR STORAGE UNITS ARE INDICATED ON PLANS. (IF APPLICABLE)

4. ALL CEILING DIFFUSERS AND REGISTERS TO BE THE SAME COLOR AS THE CEILING UNLESS NOTED 5. ALL SURFACES TO BE PROPERLY PRIMED OR PREPARED PRIOR TO INSTALLATION OF SPECIFIED FINISHES.

5. PATCH ALL AREAS WHERE THE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF SPECIFIED FLOOR FINISH(-ES).

6. PROVIDE ALL NECESSARY CUT-OUTS FOR THE INSTALLATION OF ELECTRICAL AND VOICE/DATA OUTLETS, THERMOSTATS, SWITCHES AND OTHER DEVICES.

7. EXTEND ALL FIRE RATED PARTITIONS TO STRUCTURE; FILL ALL VOIDS WITH FIRE SAFING MATERIAL OR FIRE-RATED CAULK, CONTINUOUS AS REQUIRED BY CODE.

8. ALL FIRE EXTINGUISHER CABINETS OR ELECTRICAL PANELS LOCATED IN RATED PARTITIONS TO BE BACKED WITH GYPSUM BOARD AS REQUIRED TO MAINTAIN PARTITION RATING.

9. CONTRACTOR IS RESPONSIBLE FOR FIRESTOPPING ALL NEW AND EXISTING FIRE RATED PARTITIONS AND ALL PENETRATION THROUGH RATED AREAS INCLUDING SLABS. SEAL TO MAINTAIN PROPER RATING.

IO. WHERE EXISTING FIREPROOFING HAS BEEN REMOVED AT COLUMNS OR BEAMS, NEW FIREPROOFING TO BE INSTALLED TO COMPLY WITH THE REQUIRED FIRE RATING. CONTRACTOR TO VERIFY IN FIELD.

. WHERE PIPES, CONDUITS OR LOW TENSION WIRING PENETRATE A FIRE RATED ENCLOSURE, THE SPACE AROUND SHALL NOT EXCEED 1/2" AND SHALL BE PACKED SOLID WITH BATT INSULATION AND FITTED WITH ESCUTCHEON PLATES ON BOTH SIDES OR EQUIVALENT TREATMENT TO INSURE COMPLIANCE WITH FIRE RATING.

12. WHERE DUCT OR PART OF DUCT IS RUNNING PARALLEL OVER FIRE RATED PARTITION, EXTEND RATED PARTITION AROUND DUCT TO EFFECT COMPLETE MAINTENANCE OF FIRE-RATING.

ALL FINISH HARDWARE TO BE ADA COMPLIANT SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF

FIRE MARSHALL NOTES

NFPA IOI LIFE SAFETY CODE (7.2.1.5)

2. CONTRACTOR SHALL PROVIDE EXIT DOOR TACTILE SIGNAGE (PER NFPA 101,7.10.1.3). EXIT TACTILE SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN. SIGNAGE SHALL MEET ALL ACCESSIBLE REQUIREMENTS. TO BE MOUNTED ON LATCH SIDE OF DOOR, 60" AFF.

3. TACTILE SIGNAGE SHALL READ AS FOLLOWS: EXIT 4. TACTILE SIGNAGE SHALL COMPLY WITH ICC/ANSI AIIT.I, AMERICAN NATIONAL STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND

5. ACCESSIBLE ELEMENTS AND SPACES THE FACILITY HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF CH. - II IN THE FLORIDA BUILDING CODE. FOR ALTERATIONS OF EXISTING BUILDINGS 20% OF THE BUDGET HAS BEEN DEDICATED TO ADA IMPROVEMENTS WITH PRIORITY BEING GIVEN TO THE FOLLOWING

ELEMENTS (IN ORDER) A. ACCESSIBLE ENTRANCE

B. ACCESSIBLE ROUTE TO ALTERED AREA C. AT LEAST ONE ACCESSIBLE RESTROOM FOR EACH SEX OR A SINGLE UNISEX RESTROOM.

D. ACCESSIBLE TELEPHONES E. ACCESSIBLE DRINKING FOUNTAINS F. WHEN POSSIBLE, ADDITIONAL ACCESSIBLE ELEMENTS SUCH AS PARKING, STORAGE, AND ALARMS

6. FIRE EXTINGUISHERS SHALL BE PROVIDED, INSTALLED, INSPECTED AND TAGGED BY A CENSED FIRE EXTINGUISHER COMPANY.

1. ALL LOCKED DOORS WITHIN THE DESIGNED FACILITY IF PROVIDED WITH A LOCK, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFECT FOR OPERATION FROM THE EGRESS SIDE.

8. CONTRACTOR WILL PROVIDE AN EXTERIOR ELECTRICAL DISCONNECT IF ONE DOES NOT CURRENTLY EXIST.

9. THIS PROJECT DOES CONTAIN LIGHT FRAME TRUSS TYPE MATERIALS AND DOES NEED TO BE LABELED ACCORDING TO FAC 69A-60.0081.



<u>ARCHITECTURE</u>

SCOPE OF WORK

RETROFIT EXIST. WALL INTO SMOKE PARTITION TO SEPARATE TENANT SECOND FLOOR/ATTIC SPACES.

ELECTRICAL

NONE

MECHANICAL

NONE

<u>PLUMBING</u> NONE



OCCUPANT LOAD | FBC 2017 (TABLE 1004.1.2 GROSS BUILDING AREA FOOTPRINT: 4,447 SF GROSS AREA AREA OF WORK: 18 SF ARCHITECTURAL SCHEDULE AO COVER SHEET AI FLOOR PLAN

EXISTING BUILDING - TYPE V-B

GROUP: B-BUSINESS

FLORIDA BUILDING CODE 6TH EDITION 2017

FLORIDA ACCESSIBILITY CODE 2017 EDITION

FLORIDA EXISTING BUILDING 6TH EDITION CODE 2017

FLORIDA FIRE PREVENTION CODE 6TH EDITION 2107, NFPA 101

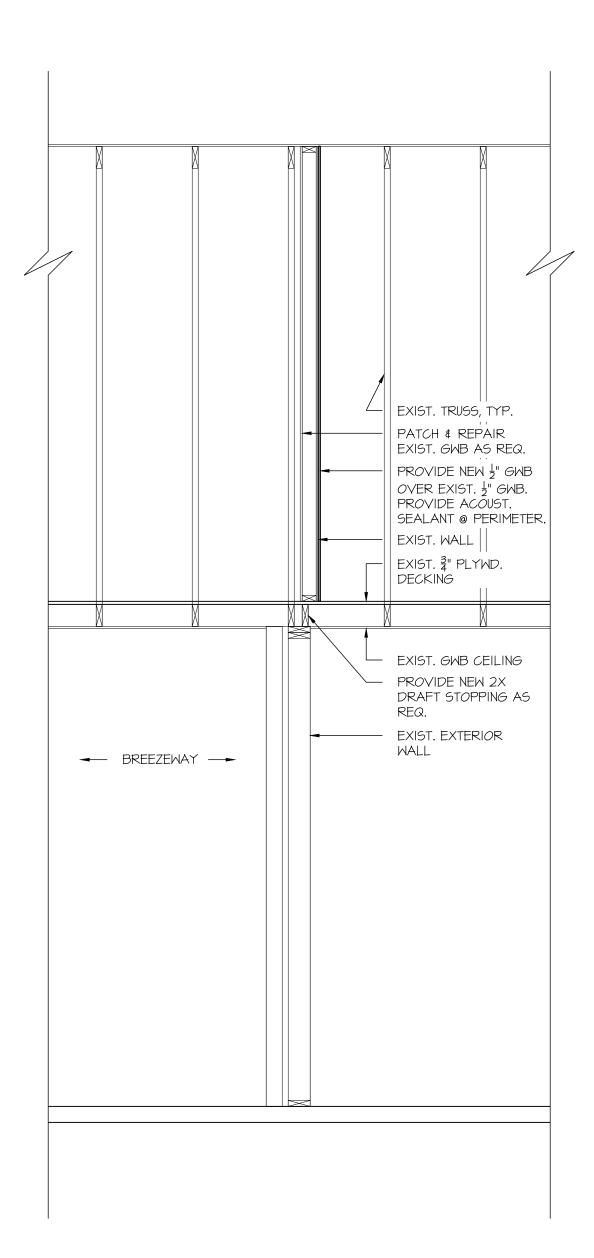
FBC 2017 (304)

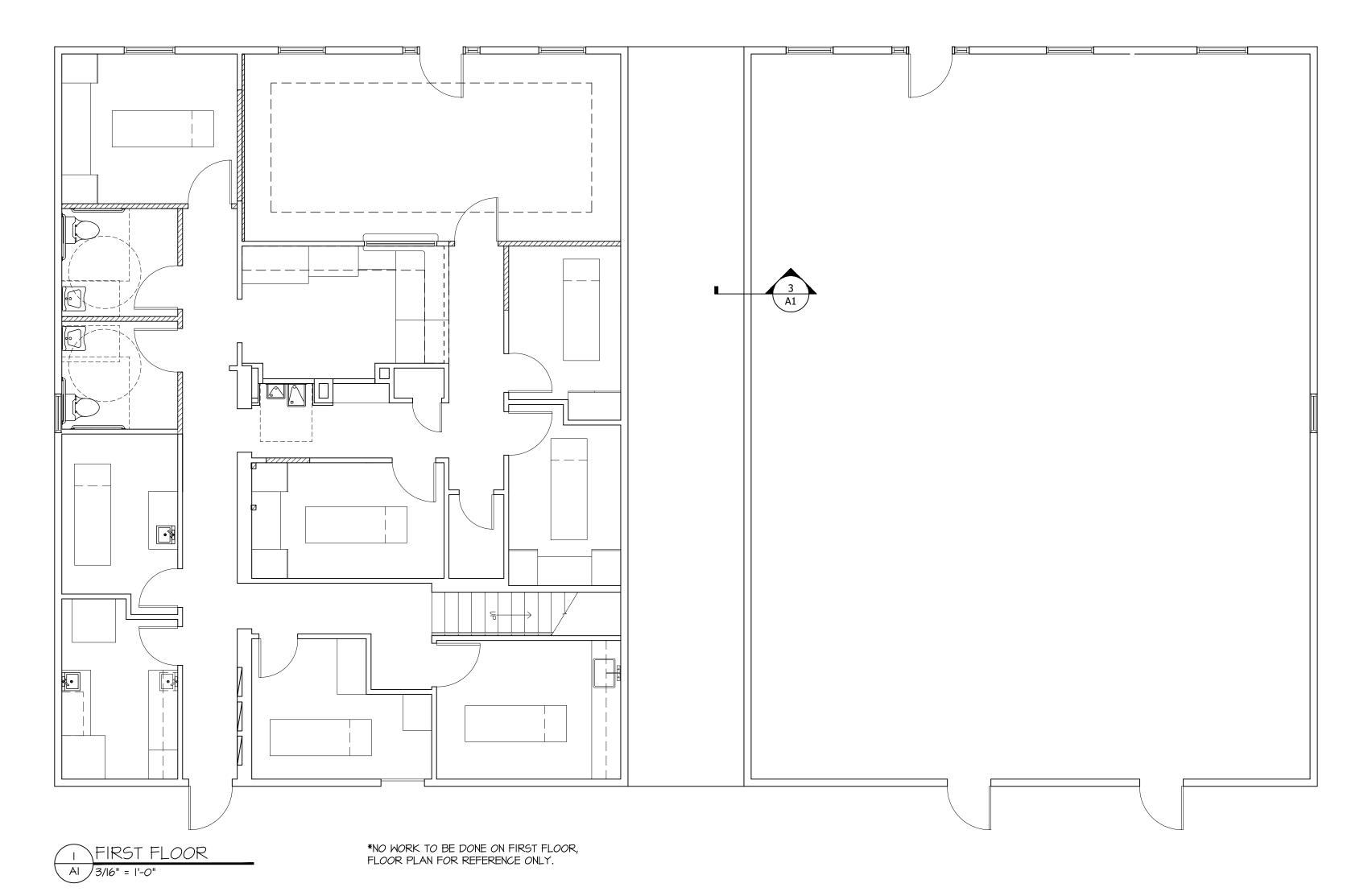
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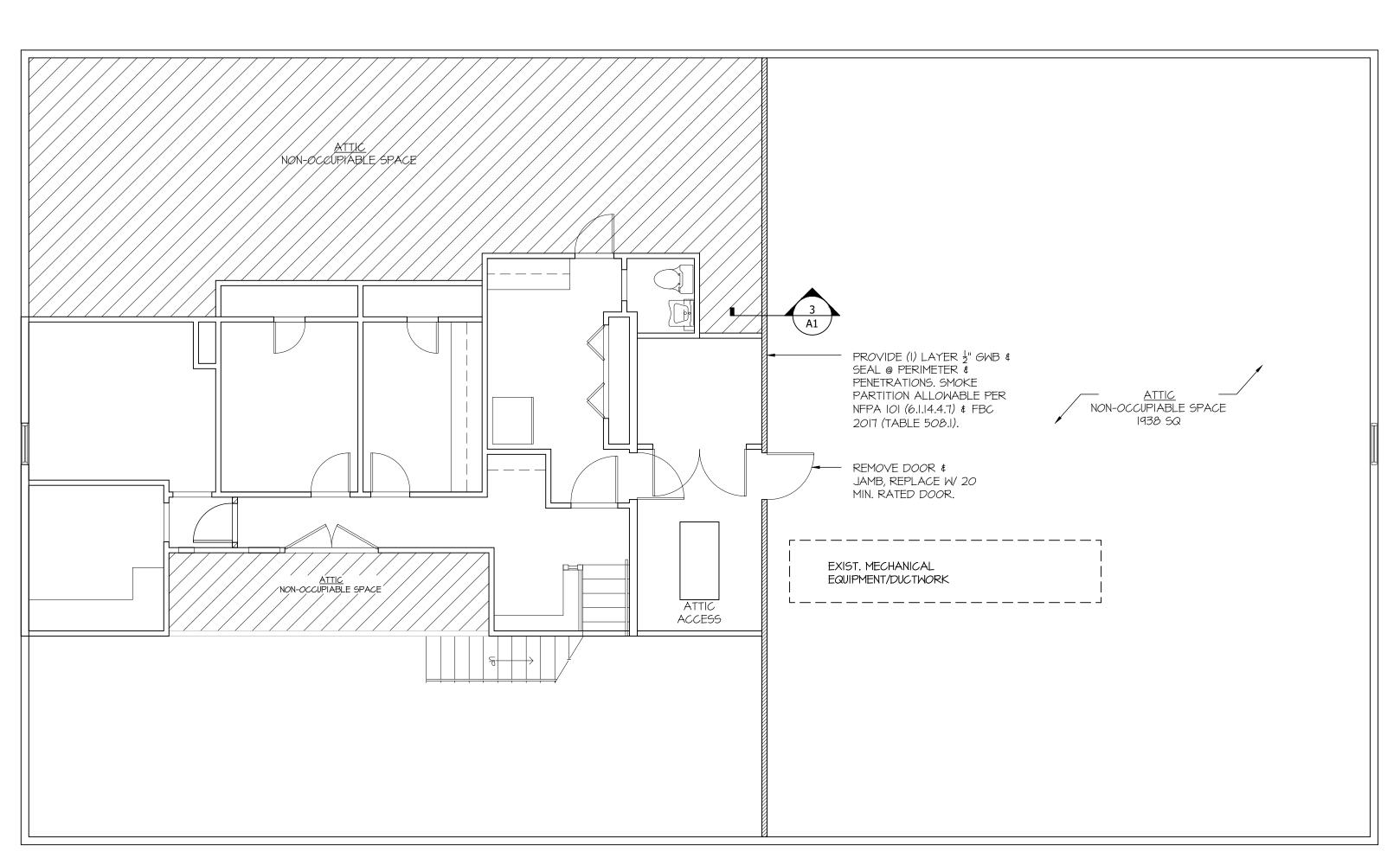
FBC 2017 (TABLE 601)

WALL TYPE NOTES

- I. ALL WALLS ARE TYPE I UNLESS NOTED OTHERWISE. 2. CONCRETE TYPE TO BE SILICEOUS WITH MINIMUM SLAB THICKNESS OF 3.5" FOR I HR., 5.0" FOR 2 HR., 6.2" FOR 3 HR., AND 7.0" FOR 4 HR. RATING (TABLE 109.2.I.I OF THE FLORIDA BUILDING CODE 2000). REFER TO TABLE FOR OTHER CONCRETE TYPES.
- 3. PROVIDE 3 BEADS OF SEALANT AT TOP OF BOTTOM TRACKS. TYPICAL ALL WALLS. USE SOUND OR FIRE RATED SEALANTS IN RESPECTIVE WALL
- 4. PROVIDE BLOCKING AS REQUIRED FOR MOUNTING FIXTURES. MILLWORK,
- SIGNAGE, ETC AND MAINTAIN CONSTRUCTION TYPE. 5. PROVIDE "END CAPS" WHERE WALLS INTERSECT. MULLIONS/GLAZING. COLOR TO BE SELECTED BY ARCHITECT.
- NOT USED 7. AT ALL FIRE RATED/ SMOKE BARRIER ASSEMBLIES: - PROVIDE SAFING,
- SEALANTS, ETC. @ ALL PENETRATIONS TO MAINTAIN RATINGS AND MEET ALL STATE /LOCAL CODES.
- 7.I. PROVIDE FIRE/SMOKE DAMPERS WHERE NEEDED IN WALL TO MAINTAIN RATING AND TO MEET ALL STATE/ LOCAL CODES.
- 7.2. PROVIDE CAPS IN FIRE WALLS TO MEET ALL STATE AND LOCAL CODES - TYP. ALL FIRE RATED WALLS. 8. WHERE ANY DISCREPANCY OCCURS AT INTERSECTING WALLS, NOTIFY
- ARCHITECT PRIOR TO CONSTRUCTION. PROVIDE ADDITIONAL MATERIAL, CAPS, ETC. NEEDED TO COMPLETE DETERMINED CONDITION.
- 9. SEE INTERIOR/EXTERIOR ELEVATIONS FOR REVEAL LOCATIONS ON ONE OR BOTH SIDES INDICATED.
- IO. EXTEND TILE MINIMUM OF 6" ABOVE ACT CEILING SYSTEMS AT WET WALLS OR FULL HEIGHT TILE WALLS.
- PROVIDE CEMENTITIOUS BACKER BOARD AT WET / TILE WALLS, TYPICAL. 12. PER FBC 103.7 FIRE WALLS SHALL BE PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. SUCH IDENTIFICATION SHALL:
- 12.1. BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES.
- 12.2. BE LOCATED WITHIN 15'-O". OF THE END OF EACH WALL & AT INTERVALS NOT EXCEEDING 30'-0" MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.
- 12.3. INCLUDE LETTERING NOT LESS THAN 3" IN HEIGHT WITH A MINIMUM 🐉 STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING - "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" OR SIMILAR WORDING.









PARTITION LEGEND: EXIST. WALL TO REMAIN NEW WALL





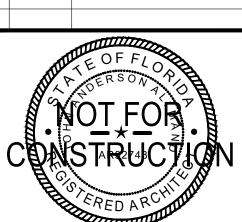
JAA ARCHITECTURE INC. 2716 ST. JOHNS AVE. JACKSONVILLE FL. 32205 P: (904) 379-5108 E: JOHN@JAAARCHITECTURE.COM LIC. AR92748

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REVISIONS # DATE DESCRIPTION 6



9.9.2014

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