

**SITE DATA**

**JURISDICTION: (permitting)**

SITE PERMITTING -	CITY OF KISSIMMEE
WATER -	TWA
SEWER -	TWA
STORMWATER MANAGEMENT DISTRICT -	SOUTH FLORIDA WATER MANAGEMENT DISTRICT

**PROJECT OBJECTIVE:**

TO CONSTRUCT 56,700 SF OF OFFICE/WAREHOUSE BUILDINGS AND APPLICABLE INFRASTRUCTURE. PROJECT TO BE COMPLETED IN A SINGLE PHASE

**PROPERTY LOCATION:**

COMMERCE BOULEVARD

**PROPERTY ZONING:**

MUPUD - KISSIMMEE INDUSTRIAL PARK ORDINANCE NO. 400

**EXISTING LAND USE:**

EXISTING SITE IS VACANT

**FUTURE LAND USE:**

INDUSTRIAL

**EXISTING PROPERTY AREA:**

TOTAL = 4.26 ACRES

**BUILDING DATA & SETBACKS**

PROPOSED BUILDING HEIGHT = 1 FLOOR

**PROJECT BUILDING SETBACKS:**

FRONT YARD	35 FEET
SIDE YARD	25 FEET
REAR YARD	25 FEET

**PROPERTY ID:**

20-25-29-2229-0001-0015

**PROPOSED FLOOR AREA RATIO (FAR):** 56,700 / 185,737 = 0.31

**PARKING SPECIFICATIONS:**

PARKING SPACES REQUIRED:  
 CODE - ONE (1) SPACES PER 300 SF FOR OFFICE 12,150 / 300=41 SPACES  
 ONE (1) SPACES PER 1000 SF FOR WAREHOUSE 44,550 / 1000=45 SPACES  
 = 41 + 45 = 86 SPACES REQUIRED

**PARKING SPACES PROVIDED:**

REGULAR SPACES	= 82
LARGER SPACES AT DOORS	= 10
HANDICAP SPACES	= 4
<b>TOTAL SPACES</b>	<b>= 96 SPACES PROVIDED</b>

**PROPOSED LOT COVERAGE CALCULATIONS:**

	AREA (sf)	ACRES	% TOTAL
PARKING & SIDEWALK AREA	72,850	1.67	39.22
BUILDING AREA	56,700	1.30	30.53
TOTAL IMPERVIOUS	129,550	2.97	69.75
TOTAL GREEN AREA (PERVIOUS)	56,187	1.29	30.25
TOTAL AREA	185,737	4.26	100.0
<b>TOTAL IMPERVIOUS MINUS BLDG</b>	<b>72,850</b>	<b>1.67</b>	<b>39.22% (66% MAX)</b>

**ALLOWABLE IMPERVIOUS AREA:**

ALLOWABLE IMPERVIOUS AREA = 66%(EXCLUDING BLDGS)  
 (PER SFWMD PERMIT49-00357-S)  
 REQUIRED DRY TREATMENT = 0.06 AC-FT/AC = 0.06 \* 4.26 = 0.26 AC-FT

**PROPOSED TRAFFIC CALCULATIONS:**

EXPECTED DAILY TRIPS = 400	
PM PEAK TRIPS TOTAL = 56	PER ITE 10TH EDITION TRIP GENERATION
PM IN = 7	
PM OUT = 50	

**SOILS:**

#23 MYAKKA FINE SAND SOIL TYPE A/D

**FLOOD ZONE:**

THE LOT DESCRIBED HEREON WAS DETERMINED TO LIE WITHIN FLOOD ZONE "X"

**SIGN LEGEND**

NO	TEXT OR SYMBOL	SIZE
R1-1	STOP	30"x30"
R5-1	DO NOT ENTER	30"x30"
R6-1L	ONE WAY - LEFT	36"x12"
R6-1R	ONE WAY - RIGHT	36"x12"

ALL SIGNS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

**PROPOSED CONSTRUCTION NOTES:**

ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.  
 CONCRETE SIDEWALK RAMPS SHALL BE INSTALLED ACCORDING TO F.D.O.T. INDEX 304 OR A.D.A. STANDARDS, WHICHEVER IS MORE RESTRICTIVE.  
 WHEN ANY ROOTS OF EXISTING TREES ARE ENCOUNTERED DURING LAND CLEARING AND/OR GRADING OF THE SITE,

PROJECT WILL BE CONSTRUCTED IN A SINGLE PHASE MAINTAIN A MINIMUM 5 FT HORIZONTAL SEPARATION BETWEEN ALL TREE AND SHRUB ROOT BALLS AND ALL TOHO MAINTAINED UTILITIES

ALL MECHANICAL EQUIPMENT LOCATED OUTDOOR, SUCH AS HEATING, VENTILATION, AIR CONDITIONING, AND REFRIGERATION SYSTEMS, SHALL BE VISUALLY SCREENED FROM ADJACENT ROW'S

**STRIPING NOTES**

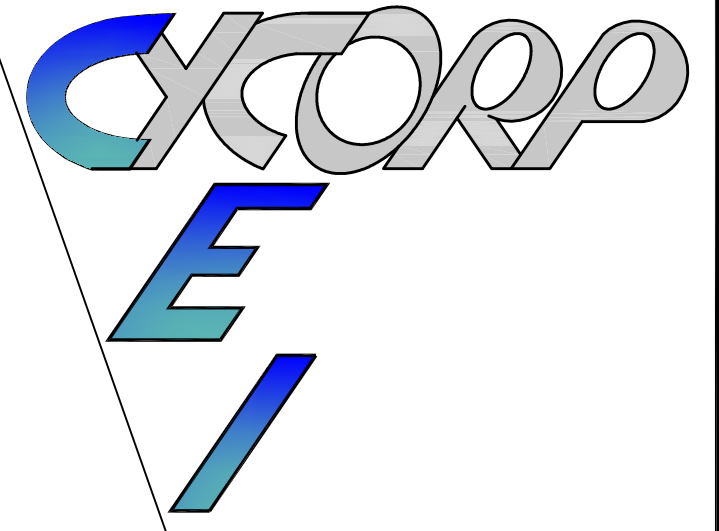
- TYPICAL PARKING SPACE SHALL BE STRIPED WITH A 4" WHITE PAINTED STRIPE.
- SEE DETAILS FOR HANDICAP PARKING.
- TYPICAL STOP BAR SHALL BE 24" WIDE WHITE THERMOPLASTIC STRIPE.

**ADDED CONSTRUCTION NOTES:**

CONTRACTOR TO COORDINATE MAINTENANCE OF TRAFFIC WITH KISSIMMEE PUBLIC WORKS AND ENGINEERING CONSTRUCTION MANAGER PRIOR TO ANY ROAD, LANE OR SIDEWALK CLOSURES  
 ALL SIGNAGE AND STRIPING TO BE INSTALLED IN ACCORDANCE WITH MUTCD (LATEST EDITION) STANDARDS AND SPECIFICATIONS SIDEWALKS TO BE CONSTRUCTED PER ADA AND CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS

**SITE LEGEND**

- HANDICAP PARKING
- PROPOSED DRAINAGE INLET
- PROPOSED CURB
- SITE BOUNDARY LINE
- CENTER LINE OF ROAD
- RIGHT-OF-WAY
- EXISTING EDGE OF PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- LIGHT POLE
- TYPICAL
- HC HANDICAP
- 10 PARKING SPACES
- S/W SIDEWALK
- R5' 5' RADIUS
- LF LINEAR FEET
- SF SQUARE FEET



**CIVIL ENGINEERS LAND PLANNERS LANDSCAPE ARCHITECTS**

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 Tel: (407) 217-8000

KIM@CYCORPENGINERS.COM

Plans Prepared For:

T & H HOLDINGS II

KISSIMMEE COMMERCE LOTS 8/9

KISSIMMEE, FL

REVISIONS

Description	Date	By
1 CITY/TWA COMMENTS	11/11/21	KTC

**SITE PLAN**

Date: JANUARY 2019

Scale: 1:30

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Kimberly Fischer, P.E. # 56942  
 3/1/22  
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