INFORMATION

INSULATE(D), INSULATION INTERIOR

UNDERWRITERS LABORATORY UNFINISHED

URINAL UNLESS NOTED OTHERWISE

ABBREVIATIONS

SYMBOLS

VESTIBULE VERIFY IN FIELD

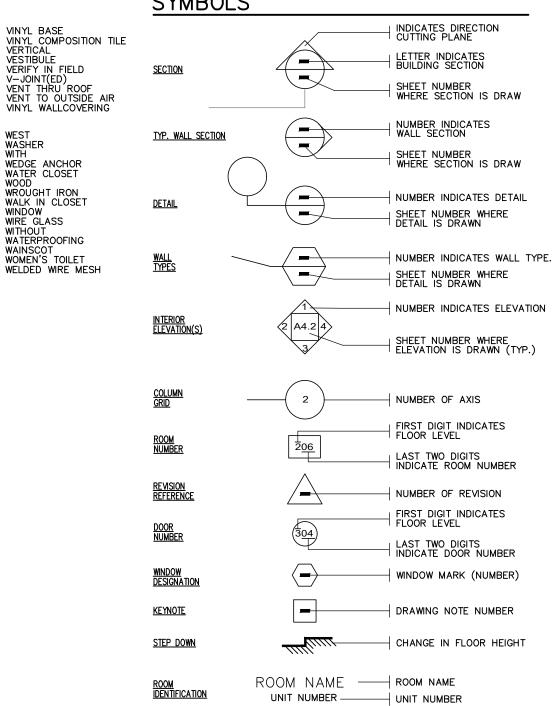
WEDGE ANCHOR WATER CLOSET

WALK IN CLOSET

WITHOUT WATERPROOFING

WELDED WIRE MESH

WINDOW WIRE GLASS



FIRE EXTINGUISHER—SURFACE MOUNTED (NO CABINET) — MATCH LINE PATH OF TRAVEL TO EXIT

UNIT NUMBER — UNIT NUMBER

* TERMITE TREATMENT: PROVIDE TERMITE PROTECTION AS PER F.B.C. 1816.1.1-1816.1.6 OR PER F.B.C. 1816.1.7 CONTRACTOR SHALL COORDINATE WITH THE OWNER TO OBTAIN AND FURNISH THE REQUIRED DOCUMENTATION IN A MANNER WHICH WILL NOT IMPEDE THE INSTALLATION SCHEDULE.

PRIOR TO THE BUILDING FINAL INSPECTION A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTIION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES

FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX FOR WALL AND CEILING FINISHES

FLAME SPREAD AND SMOKE INDEX FOR WALLS AND CEILINGS SHALL BE IN ACCORDANCE WITH SECTIONS R302.9.1 THROUGH R302.9.4.

R302.9.1 - WALL AND CEILING FINISHES SHALL HAVE AFLAME SPREAD INDEX OF NOT GREATER THAN 200.

FINISHES SHALL HAVE A SMOKE-DEVELOP INDEX OF NOT GREATER THAN 450. R302.9.3 - TESTING. TESTS SHALL BE MADE INACCORDANCE

R302.9.2 - SMOKE-DEVELOPED INDEX - WALL AND CEILING

WITH ASTM E 84 OR UL 723.

R302.9.4 - ALTERNATE TEST METHOD - AS AN ALTERNATE TO HAVING A FLAME-SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723, WALL AND CEILING FINISHES, OTHER THAN TEXTILES, SHALL BE PERMITTED TO BE TESTED IN ACCORDANCE WITH NFPA 286. MATERIAL TESTED IN ACCORDANCE WITH NFPA 286 SHALL MEET THE FOLLOWING CRITERIA:

GENERAL NOTES:

- 1. Contractor shall comply with all applicable local, state and federal building codes. Permit shall be posted on a visible place at all times.
- 2. All work, materials and equipment utilized in this Project shall be installed in strict accordance with the manufacturer's recommendations and specifications.
- 3. All work for this Project shall conform to standards published by recognized professional and industry organizations.
- 4. Contractor shall be responsible for visiting the site prior to bidding and familiarizing himself with all existing conditions affecting the work, including but not limited to private and public utilities, on and off site, access roads, and other support facilities.
- 5. Contractor to remove, relocate or re-route as necessary electrical, water, gas or any other utility lines encountered during construction.
- 6. Contractor must notify Architect immediately of any unexpected or unknown conditions, discrepancies in the drawings and contract documents, any errors or omissions on the drawings in the field prior to proceeding with work or shop fabrication.
- Contractor shall notify Architect for clarification prior to bidding of any discrepancies between, but not limited to the architectural, structural, mechanical and electrical drawings. Any discrepancies after bidding shall be interpreted as if it was
- 8. Contractor to obtain written approval from Owner or Architect prior to any changes or deviation from Contract Documents.

9. Under no circumstances will assumptions by the Contractor be

bid based on the most expensive method or finish.

- considered the design intent or approval of the Architect or Engineer unless there is written approval by them. 10. Contractor shall prepare and maintain all construction areas,
- as well as surrounding areas free of debris or hazardous equipment.
- 11. Contractor shall be responsible for the repair and/or the replacement of any equipment damaged during construction or clean-up. Construction personnel shall be confined to the limits of the construction area. All OSHA regulations for construction areas shall be strictly followed.
- 12. Drawings are not to be scaled. Dimensions shall be followed 13. All dimensions are based on nominal sizes of members and are given to the outer face of such members, not to face of finish

material unless otherwise noted on drawings.

will be returned without review.

construction or assembly.

14. Contractor to submit shop drawings for approval before commencing fabrication and/or installation of all applicable items of construction. All shop drawing dimensions shall be field verified, reviewed and approved by Contractor before submittal.

Incomplete Shop Drawings or lacking sufficient information

- 15. The Contractor shall be aware that specific fire rated separation within the building's construction are required by code. The use of specific materials and combinations of materials within fire rated assemblies as called for on the drawings and Specifications are for the purpose of achieving those required fire separation. It shall be the Contractor's responsibility to verify that change in material that are requested by or made by the Contractor and/or it's subcontractors, from those materials drawn or specified, does not in any way affect or lessen the required fire rated
- 16. Where CMU is indicated to have a specific hourly fire rating, this shall be taken as the minimum allowed.

17. All wood framing, including plywood, which is concealed within

walls or ceilings or used for support of walls or ceilings

- must be fire retard and, pressure treated wood must be used where in contact with concrete or masonry. 18. All piping sleeved through slab. Contractor to fully seal space around pipes with a 2-hour U.L. approved fire resistive
- Thermafiber" glass fiber safing insulation as manufactured by U.S. Gypsum Co. complying with ASTM E-119 or approved similar. Penetrations through fire rated walls shall be protected as to maintain the fire rating of said wall.
- 19. All shafts where applicable to be 2-hour rated without exception. UL Design No. U-505 or approved similar and shall continue as such to underside of roof or floor structural decking. See wall type details for wall design.
- 20. Project to comply with applicable requirements of Chapter 39, see Fire Protection, Mechanical, Electrical, and Plumbing Drawings.
- 21. contractor to submit a minimum of two sets (2) of complete shop drawings or as submittals for approval before commencing fabrication and/or installation of all applicable items of construction. all shop drawing dimensions shall be field verified and reviewed and approved by the contractor before submittal, and so noted. shop drawings with the designer of record's review stamp are to be submitted and reviewed by the building official prior to construction. shop drawings are for, buy not limited to the following: windows, doors, railings, floor and roof system, fire alarm, fire sprinklers,
- evolving the building envelope. 22. The underside of all exterior soffits and slabs exposed to weather shall receive a continuous drip strip without exception. 23. All metal flashing, scuppers, etc. to receive paint as recommended by manufacturer, unless otherwise noted
- on drawings or project manual. 24. Contractor to furnish and install all metal and wood blocking and/or vertical or horizontal framing required for wall mounted or braced fixtures, millwork, shelves, bathroom fixtures, accessories tile and stone work or by other items described in Interior Design and
- 25. In addition to wall types shown on plans the Contractor shall refer to the room finish schedule, interior elevations and details for additional information regarding finishes.

and Architectural drawings.

- 26. Contractor shall coordinate with mechanical and electrical contractors the location of all access panels so as to allow for proper equipment accessibility, maintenance and/or operation of the Building Systems. The omission of any or all access panels does not relieve the Contractor of the responsibility from providing and installing such panels or doors.
- 27. Contractor to provide access panels for all A/C fire dampers.

28. Contractor shall paint all visible surfaces of factory primed

- or factory paint finished equipment, A/C grills or registers, covers, etc. unless specifically noted otherwise verify and coordinate colors with Interior Designer and Architect.
- 29. Before installation, the Contractor shall coordinate with the Architect the exact mounting location of all switches, wall receptacles, plugs, thermostats and other wall mounted
- 30 All interior and exterior joints between dissimilar materials or finishes shall receive a bead of caulking to match color of adjacent surface. Coordinate colors with Architect/owner.
- 31. Contractor shall be responsible for removing all debris and construction material from the site. Contractor shall also be responsible for properly cleaning all areas prior to final acceptance by the Owner including but not limited to windows, storefront, floors carpets, walls, doors, etc.
- Upon completion of this Project, the Contractor, shall give the Owner a complete set of as-built architectural, mechanical and electrical drawings along with the written Guaranties, operation and maintenance manuals of all equipment and finishes installed. The Contractor shall maintain a current set of as-built drawings. Information shall be recorded by Contractor as construction progresses.
- 33. Civil Engineering, Interior Design and Landscape/Irrigation drawings are part of this Project and shall be used by the Contractor in full coordination with all the drawings issued by PPK ARCHITECTS, and their consultants.
- 34. Contractor is responsible for including in his bid, labor and material costs for any change or alteration of adjacent areas to be disturbed during construction such as, but not limited to, paving sidewalks, streets, existing trees and landscaping to insure their proper drainage and return them to their original finished condition.
- 35. ALL slabs on grade, interior and exterior, to be on 6 mill polyethylene vapor barrier without exception, unless otherwise noted.
- 36. The contractor, and all subcontractors and suppliers, shall grant to the owner/developer, institutional mortgagee and to the purchaser of each unit, implied warranties of fitness as to the work performed or materials supplie by them as follows: (a) for a period of five (5) years from the date of completion of a building or improvement, a warranty as to the roof and structural components of of the building or improvement, and mechanical and plumbing elements, except mechanical elements serving only one unit; (b) for a period of three (3) years after completion of a building or improvement, a warranty as to all other improvements and materials; and (c) as to personal property, a warranty which is for the same period as that provided by the manufacturer of the personal property, commencing with the date of closing of the purchase or the date of possession of the unit, whichever is earliest.

"Completion of a building or improvement" means final completion of construction, finishing, and equipping of the building or improvement according to the plans and specifications and the issuance of a certificate of occupancy for the entire building or improvement, or the equivalent authorization by the governmental body having jurisdiction. The warranties provided herein shall insure to the benefit of each owner and its successor to the benefit of the owner/developer, and to the benefit of the institutional

- 37. Comply with the following applicable items of the FBC chapter 36 -
- 1. All locks on exterior doors shall be capable of resisting a force of 300L applied in any movable auxiliary single dead bolt 6000 possible key changes or locking combinations with hardened bolt
- 2. All single exterior swing doors shall have a lock to be key operated from exterior with a min. of inserts.
- 3. The active leaf of pairs of exterior swing doors shall have same locks as required for single exterior swing door. The pair of doors shall have multiple point locks with 5/8" min. The inactive leaf of these throw bolts with inserts.
- 4. Hinges on exterior out swinging doors shall have nonremoval pins.
- 5. Single, swinging, exterior doors, if wood shall be solid cored of not less than 1 3/8" thick.
- 6. Glass shall comply with the American national standards institute standard ANSI Z97.1
- 38. Swimming pool and spa, at Clubhouse under separate permit 39. A separate permit and Product Control Approval, when applicable,
- is required for the following: STRUCTURAL GLAZING CURTAIN WALLS SIGNS FENCES
- RIDGE VENTILATION DOORS AWNINGS DEMOLITION STEEL JOISTS PRECAST SYSTEMS ROOFING RAILINGS MULLIONS HAND RAILS
- Roof System as per the 2023 Florida Building Code 8th Edition/Miami Dade County Product Approval, and Manufacturers Specifications. 41. PROVIDE TWO WAY COMMUNICATION SYSTEM AT ALL ELEVATORS LOBBIES (LANDINGS) AND AT OFFICE (GROUND FLOOR)
- 42. PROVIDE TERMITE TREATMENT SOIL UNDER ALL FOUNDATIONS. PROVIDE PERMANENT TERMITE TREATMENT SIGN AS PER FBC 2020 105.10 & 105.11.
- canopies, structural steel, structural elements and any other specialties 43. APPROVAL FROM MIAMI DADE COUNTY ELEVATOR SAFETY IS REQUIRED PRIOR TO FLEVATOR INSTALLATION, FLEVATOR SAFETY CERTIFICATE OF OPERATION REQUIRED PRIOR TEMPORARY/PARTIAL CERTIFICATE OF OCCUPANCY.
 - 44. AS PER FBC(B) SECTION 1003.3 PROTRUDING OBJECTS ON CIRCULATION PATHS SHALL COMPLY WITH THE REQUIREMENTS OF SECTIONS 1003.3.1 THROUGH 1003.3.4.
 - 45. NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE ROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS HALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE A MINIMUM OF 4 INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH 12.7 MM). WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE ROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED
 - 46. AT LEAST ONE ELEVATOR MUST BE EQUIPPED WITH EMERGENCY OPERATION & SIGNALLING DEVICES COMPLYING WITH SECTION 2.27 OF ASME A17,1 AND PROVIDED WITH EMERGENCY POWER
 - 47. CONCRETE COLUMNS TO HAVE A TWO-INCH MINIMUM CONCRETE COVER OF LONGITUDINAL REINFORCEMENT FOR TWO-HOURS OR MORE FIRE RESISTIVE RATING AS PER FBC23-BUILDING 722.2.4.2

PROJECT DATA

TO THE BEST OF MY KNOWLEDGE THESE PLANS COMPLY WITH THE MINIMUM STANDARDS OF:

BUILDING DEPARTMENT: CITY OF MIAMI

BUILDING CODE: FLORIDA BUILDING CODE (FBC) 7TH EDITION 2020 BUILDING & 2020, FLORIDA BUILDING CODE, RESIDENTIAL 7TH EDITION 2020

NATIONAL ELECTRICAL CODE: NFPA 70, 2018 EDITION ACCESSIBILITY: FLORIDA BUILDING CODE (FBC) 7TH EDITION 2020 ACCESSIBILITY

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,	USE AND OC	CUPANCY CLASSIFIC	CHAPTER 6 PER FBC 7th EDITION (2020 Ed)			
	OCCUPANCY	USE	PROPOSED AREA (SF)			
	BUSINESS B	OFFICE	1,040 SF			
	RESIDENTIAL R-2	APARTMENTS	1,569 SF			
,	EXISTING MERCANTILE TO BE CONVERTED IN SHELL	TBD	4,100 SF			

>	TYPE OF CONSTRUCTION	CHAPTER 6 PER FBC 8th EDITION (2020 Ed)
>	TYPE OF CONSTRUCTION	TYPE II-B

it,				
ed	AREA TABULATION			
	PROPOSED SHELL(GROUND FLOOR)	4,100 SF		
	EXISTING OFFICE(SECOND FLOOR)  EXISTING APARTMENTS(SECOND FLOOR)	1,040 SF 1.569 SF		
	EXISTING AFARTMENTS(SECOND FLOOR)	1,009 3F		
	AREA UNDER THIS WORK	6,709 SF		
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#### MAXIMUM TRAVEL DISTANCE TO EXITS: 300 FT MAX.

#### SCOPE OF WORK GROUND FLOOR

1-EXISTING MERCANTILE TO BE CONVERTED IN SHELL, USE TO BE DETERMINED(REMOVE FRAME PARTITIONS AND EQUIPMENTS) 2- EXISTING TOILETS TO BE RECONFIGURED TO COMPLY WITH ADA

3-EXISTING FLAT WOODEN ROOF ON THE NORTH SIDE ON GROND FLOOR TO BE

4-REMOVE AND REPLACE EXISTING STOREFRONT AND ENTRANCE DOOR ON FIRST FLOOR WITH IMPACT-RESISTANT GL STOREFRONT/DOOR

SECOND FLOOR 2-LEGALIZATION OF EXISTING OFFICE ON SECOND FLOOR

3-LEGALIZATION OF EXISTING APARTMENTS ON SECOND FLOOR



DRESTES LOPEZ-RECIO AR0009350

5895 SW 32 ST MIAMI, FLORIDA 33155 PHONE: (305)360-283

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3 AVE LLC
3RD AVE 0SE VLIZ/ SW SW SW  $\circ$ ОР СА 20 820 820

SEAL

REVISIONS /1\ B.D.C. 10.12.24

DATE 07-31-24

SCALE AS SHOWN DRAWN : OLR JOB NO. : 24-2670



SHEET NO .: OF