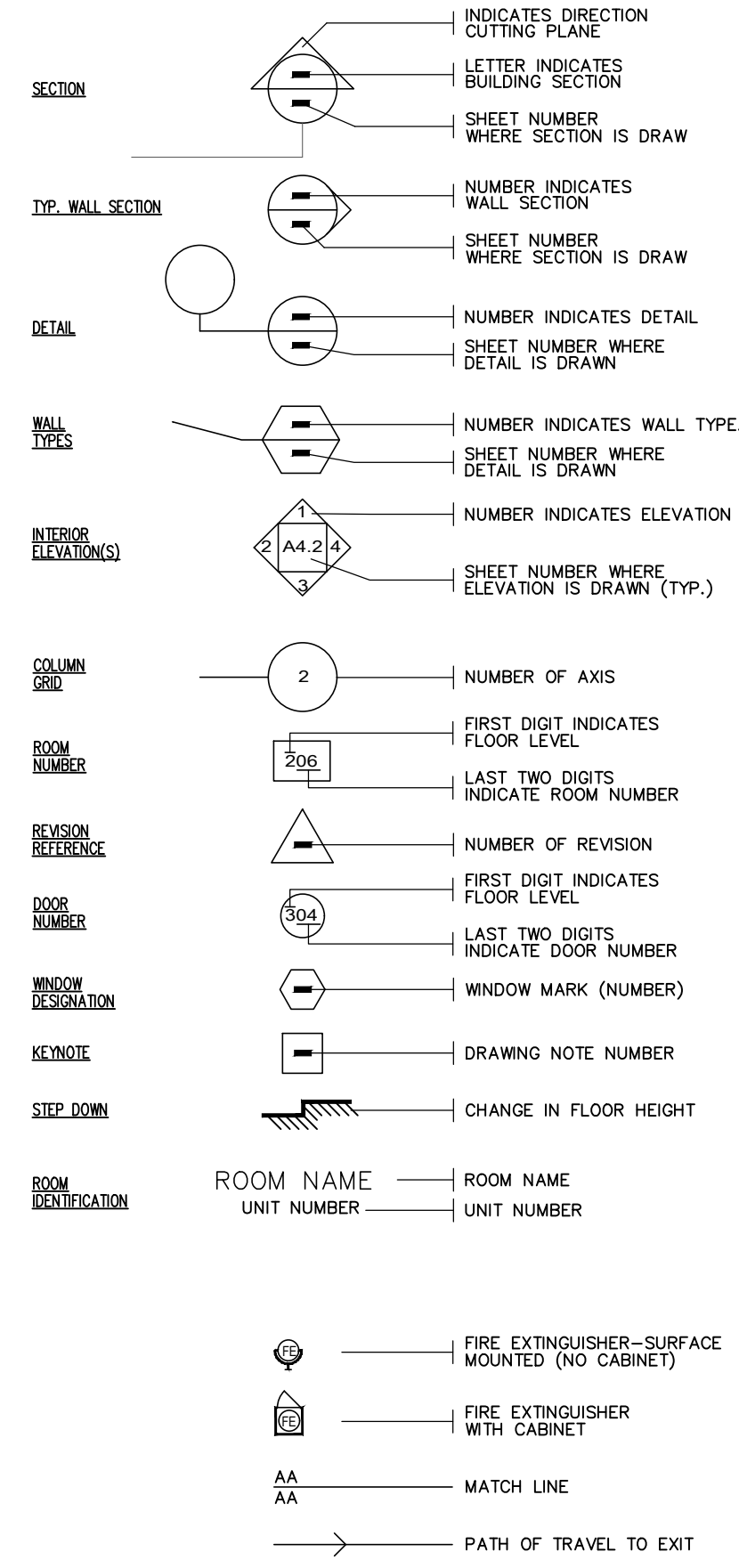


ABBREVIATIONS

Table of abbreviations for various construction materials and components, such as ANGLE, AIR CONDITIONING, ALUMINUM, and more.

SYMBOLS



* TERMITE TREATMENT: PROVIDE TERMITE PROTECTION AS PER F.B.C. 1816.1.1-1816.1.6 OR PER F.B.C. 1816.1.7 CONTRACTOR SHALL COORDINATE WITH THE OWNER TO OBTAIN AND FURNISH THE REQUIRED DOCUMENTATION IN A MANNER WHICH WILL NOT IMPEDE THE INSTALLATION SCHEDULE.

FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX FOR WALL AND CEILING FINISHES FLAME SPREAD AND SMOKE INDEX FOR WALLS AND CEILING SHALL BE IN ACCORDANCE WITH SECTIONS R302.9.1 THROUGH R302.9.4.

FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX FOR WALL AND CEILING FINISHES SHALL HAVE AFLAME SPREAD INDEX OF NOT GREATER THAN 200. R302.9.2 - SMOKE-DEVELOPED INDEX - WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOP INDEX OF NOT GREATER THAN 450.

GENERAL NOTES:

- Contractor shall comply with all applicable local, state and federal building codes. Permit shall be posted on a visible place at all times.
All work materials and equipment utilized in this Project shall be installed in strict accordance with the manufacturer's recommendations and specifications.
All work for this Project shall conform to standards published by recognized professional and industry organizations.
Contractor shall be responsible for visiting the site prior to bidding and familiarizing himself with all existing conditions affecting the work, including but not limited to private and public utilities, on and off site, access roads, and other support facilities.
Contractor to remove, relocate or re-route as necessary electrical, water, gas or any other utility lines encountered during construction.
Contractor must notify Architect immediately of any unexpected or unknown conditions, discrepancies in the drawings and contract documents, any errors or omissions on the drawings in the field prior to proceeding with work or shop fabrication.
Contractor shall notify Architect for clarification prior to bidding of any discrepancies between, but not limited to the architectural, structural, mechanical and electrical drawings. Any discrepancies after bidding shall be interpreted as if it was bid based on the most expensive method or finish.
Contractor to obtain written approval from Owner or Architect prior to any changes or deviation from Contract Documents.
Under no circumstances will assumptions by the Contractor be considered the design intent or approval of the Architect or Engineer unless there is written approval by them.
Contractor shall prepare and maintain all construction areas, as well as surrounding areas free of debris or hazardous equipment.
Contractor shall be responsible for the repair and/or the replacement of any equipment damaged during construction or clean-up. Construction personnel shall be confined to the limits of the construction area. All OSHA regulations for construction areas shall be strictly followed.
Drawings are not to be scaled. Dimensions shall be followed.
All dimensions are based on nominal sizes of members and are given to the outer face of such members, not to face of finish material unless otherwise noted on drawings.
Contractor to submit shop drawings for approval before commencing fabrication and/or installation of all applicable items of construction. All shop drawing dimensions shall be field verified, reviewed and approved by Contractor before submittal. Incomplete Shop Drawings or lacking sufficient information will be returned without review.
The Contractor shall be aware that specific fire rated separation within the building's construction are required by code. The use of specific materials and combinations of materials within fire rated assemblies as called for on the drawings and Specifications are for the purpose of achieving those required fire separation. It shall be the Contractor's responsibility to verify that change in material that are requested by or made by the Contractor and/or it's sub-contractors, from those materials drawn or specified, does not in any way affect or lessen the required fire rated construction or assembly.
Where CMU is indicated to have a specific hourly fire rating, this shall be taken as the minimum allowed.
All wood framing, including plywood, which is concealed within walls or ceilings or used for support of walls or ceilings must be fire retard and, pressure treated wood must be used where in contact with concrete or masonry.
All piping sleeved through slab. Contractor to fully seal space around pipes with a 2-hour U.L. approved fire resistive "ThermaBar" glass fiber soring insulation as manufactured by U.S. Gypsum Co. complying with ASTM E-119 or approved similar. Penetrations through fire rated walls shall be protected as to maintain the fire rating of said wall.
All shafts where applicable to be 2-hour rated without exception, UL Design No. U-500 or approved similar and shall continue as such to underside of roof or floor structural decking. See wall type details for wall design.
Project to comply with applicable requirements of Chapter 39, see Fire Protection, Mechanical, Electrical, and Plumbing Drawings.
Contractor to submit a minimum of two sets (2) of complete shop drawings or as submittals for approval before commencing fabrication and/or installation of all applicable items of construction. All shop drawing dimensions shall be field verified and reviewed and approved by the contractor before submittal, and so noted, shop drawings with the designer of record's review stamp are to be submitted and reviewed by the building official prior to construction. shop drawings are for, but not limited to the following: windows, doors, railings, floor and roof system, fire alarm, fire sprinklers, conduits, structural steel, structural elements and any other specialties evolving the building envelope.
The underside of all exterior soffits and slabs exposed to weather shall receive a continuous drip strip without exception.
All metal flashing, scuppers, etc. to receive paint as recommended by manufacturer, unless otherwise noted on drawings or project manual.
Contractor to furnish and install all metal and wood blocking end/or vertical or horizontal framing required for wall mounted or braced fixtures, mirrors, shelves, bathroom fixtures, accessories etc and stone work or by other items described in Interior Design and Architectural drawings.
In addition to wall types shown on plans the Contractor shall refer to the room finish schedule, interior elevations and details for additional information regarding finishes.
Contractor shall coordinate with mechanical and electrical contractors the location of all access panels so as to allow for proper equipment accessibility, maintenance and/or operation of the Building Systems. The omission of any or all access panels does not relieve the Contractor of the responsibility from providing and installing such panels or doors.
Contractor to provide access panels for all A/C fire dampers.

PROJECT DATA

TO THE BEST OF MY KNOWLEDGE THESE PLANS COMPLY WITH THE MINIMUM STANDARDS OF:
BUILDING DEPARTMENT: CITY OF MIAMI
BUILDING CODE: FLORIDA BUILDING CODE (FBC) 7TH EDITION 2020 BUILDING & 2020, FLORIDA BUILDING CODE, RESIDENTIAL 7TH EDITION 2020
NATIONAL ELECTRICAL CODE, NFPA 70, 2018 EDITION
ACCESSIBILITY: FLORIDA BUILDING CODE (FBC) 7TH EDITION 2020 ACCESSIBILITY

Table showing OCCUPANCY, USE, and PROPOSED AREA (SF) for BUSINESS B, RESIDENTIAL R-2, and EXISTING MERCANTILE TO BE CONVERTED IN SHELL.

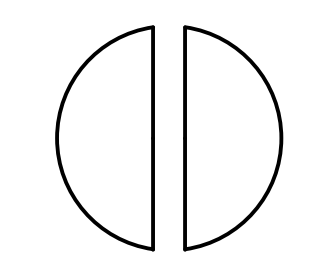
Table showing TYPE OF CONSTRUCTION for TYPE OF CONSTRUCTION and TYPE II-B.

Table showing AREA TABULATION with PROPOSED SHELL(GROUND FLOOR), EXISTING OFFICE(SECOND FLOOR), and AREA UNDER THIS WORK.

MAXIMUM TRAVEL DISTANCE TO EXITS: 300 FT MAX.

- SCOPE OF WORK
GROUND FLOOR
1- EXISTING MERCANTILE TO BE CONVERTED IN SHELL, USE TO BE DETERMINED(REMOVE FRAME PARTITIONS AND EQUIPMENTS)
2- EXISTING TOILETS TO BE RECONFIGURED TO COMPLY WITH ADA
3- EXISTING FLAT WOODEN ROOF ON THE NORTH SIDE ON GROUND FLOOR TO BE REMOVED.
4- REMOVE AND REPLACE EXISTING STOREFRONT AND ENTRANCE DOOR ON FIRST FLOOR WITH IMPACT-RESISTANT GL. STOREFRONT/DOOR
SECOND FLOOR
2- LEGALIZATION OF EXISTING OFFICE ON SECOND FLOOR
3- LEGALIZATION OF EXISTING APARTMENTS ON SECOND FLOOR

- STRUCTURAL GLAZING CURTAIN WALLS SIGNS FENCES
RIDGE VENTILATION DOORS AWNINGS DEMOLITION STEEL JOISTS
PRECAST SYSTEMS ROOFING RAILINGS MULLIONS HAND RAILS
40. Roof System as per the 2023 Florida Building Code 8th Edition/Miami Dade County Product Approval, and Manufacturers Specifications.
41. PROVIDE TWO WAY COMMUNICATION SYSTEM AT ALL ELEVATORS LOBBIES (LANDINGS) AND AT OFFICE (GROUND FLOOR)
42. PROVIDE TERMITE TREATMENT SOL UNDER ALL FOUNDATIONS. PROVIDE PERMANENT TERMITE TREATMENT SON AS PER FBC 2020 105.10 & 105.11.
43. APPROVAL FROM MIAMI DADE COUNTY ELEVATOR SAFETY IS REQUIRED PRIOR TO ELEVATOR INSTALLATION. ELEVATOR SAFETY CERTIFICATE OF OPERATION REQUIRED PRIOR TEMPORARY/PARTIAL CERTIFICATE OF OCCUPANCY.
44. AS PER FBC(B) SECTION 1003.3 PROTRUDING OBJECTS ON CIRCULATION PATHS SHALL COMPLY WITH THE REQUIREMENTS OF SECTIONS 1003.3.1 THROUGH 1003.3.4.
45. NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE A MINIMUM OF 4 INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH (12.7 MM) WHERE REQUIRED BY THE FBC CODE OFFICIAL. ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.
46. AT LEAST ONE ELEVATOR MUST BE EQUIPPED WITH EMERGENCY OPERATION & SIGNALING DEVICES COMPLYING WITH SECTION 2.27 OF ASME A17.1 AND PROVIDED WITH EMERGENCY POWER
47. CONCRETE COLUMNS TO HAVE A TWO-INCH MINIMUM CONCRETE COVER OF LONGITUDINAL REINFORCEMENT FOR TWO-HOURS OR MORE FIRE RESISTIVE RATING AS PER FBC23-BUILDING 722.2.4.2



OLR ARCHITECT

ORESTES LOPEZ-RECIO
AR0009350
5895 SW 32 ST
MIAMI, FLORIDA
33155
PHONE: (305)360-2836

PROPOSED INTERIOR LEGALIZATION FOR:
1820 SW 3 AVE LLC
90 SW 3ST UNIT 7(IVY LOBBY)
MIAMI FL 33130

SEAL

REVISIONS
B.D.C. 10.12.24

DATE 07-31-24
SCALE AS SHOWN
DRAWN : OLR
JOB NO. : 24-2670

GN-0

SHEET NO.: OF

