

BOUNDARY AND TOPOGRAPHIC SURVEY



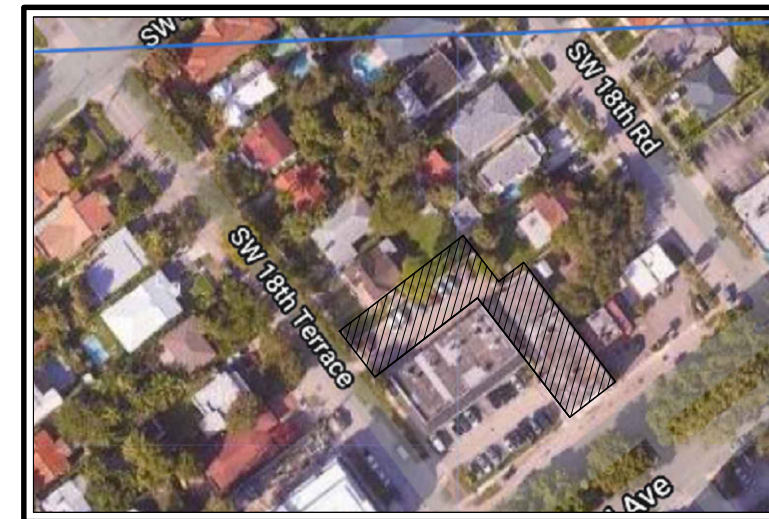
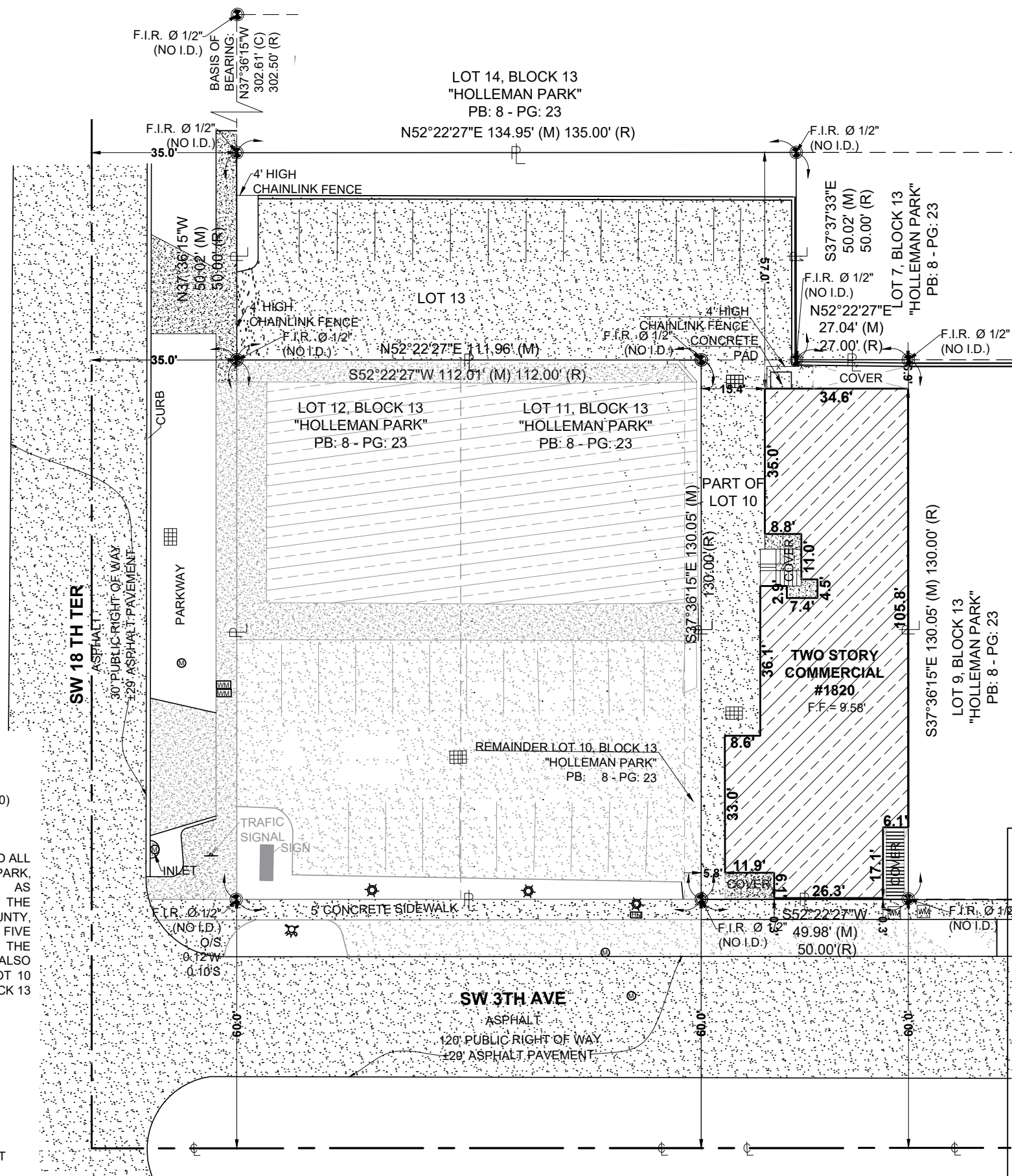
VIZCAYA SURVEYING AND MAPPING Inc.

Phone/Fax: (305) 223-6060
E-mail: rvizcaya.13@gmail.com

L.B. 8000

13217 S.W. 46th Ln.
Miami, Florida 33175

SCALE: 1" = 30'
SECTION 39, TOWNSHIP 54S, RANGE 41E. MIAMI-DADE COUNTY



LOCATION MAP
NOT TO SCALE

PROPERTY ADDRESS:
1820 SW 3RD AVE
MIAMI, FL 33129
(FOLIO NO. 01-4138-001-1910 & 01-4138-001-1940)

DESCRIPTION:
THE NORTHEASTERLY 50 FEET OF LOT 10, AND ALL OF LOT 13, BLOCK 13, OF HOLLEMAN PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8 PAGE 23, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, TOGETHER WITH AN EASEMENT OF FIVE FEET BORDERING THE ABOVE ALONG THE SOUTHWEST SIDE, SAID FIVE FOOT STRIP ALSO KNOWN AS THE SOUTHWEST 4 FEET OF LOT 10 AND THE NORTHEAST 1 FOOT OF LOT 11, BLOCK 13 (THE "PROPERTY").

FLOOD ZONE INFORMATION:
COMMUNITY: CITY OF MIAMI 120650
MAP/PANEL NO. 12086C0314L
SUFFIX: L
FIRM DATE: 9/11/2009
FLOOD ZONE: X

BENCH MARK: AC4722 ELEVATION: 11.15' FEET (NAVD-88)

LEGEND AND ABBREVIATIONS

- | | | | |
|-------------------------------------|---------------------------------|----------------------------|------------------------|
| A= ARC DISTANCE | M/L= MONUMENT LINE | ⊙= ELEVATION | ⊠= CATCH BASIN |
| AC= AIR CONDITIONED UNIT | O.H.= OVERHEAD UTILITIES | ⊙= WATER METER | ⊙= SANITARY SEWER |
| B.C.= BLOCK CORNER | P.C.P.= PERMANENT CONTROL POINT | ⊙= POWER POLE | ⊙= WATER VALVE |
| C.B.= CATCH BASIN | P.O.B.= POINT OF BEGINNING | ⊙= LIGHT POLE | ⊙= TV BOX |
| (C)= CALCULATED | P.O.C.= POINT OF COMMENCE | ⊙= FIRE HYDRANT | ⊙= FPL TRANS. |
| CL= CLEAR | R= RADIUS | ⊙= MANHOLE | ⊙= CONC. POWER POLE |
| C.L.F.= CHAIN LINK FENCE | (R)= RECORD | ⊙= EXISTING P.R.M | ⊙= S.I.R. SET IRON ROD |
| CONC.= CONCRETE | RES.= RESIDENCE | ⊙= 4"x4" CONCRETE MONUMENT | ⊙= ∅ 1/2" I.D. LB 8000 |
| D.M.E.= DRAINAGE MAINT. EASEMENT | R/W= RIGHT-OF-WAY | F.I.R. FOUND IRON ROD | |
| ENC.= ENCROACHMENT | TYP.= TYPICAL | F.I.P. FOUND IRON PIPE | |
| FD.= FOUND | U.E.= UTILITY EASEMENT | | |
| F.F.ELEV.= FINISHED FLOOR ELEVATION | W.F.= WOOD FENCE | | |
| I.F.= IRON FENCE | W.M.= WATER METER | | |
| L.F.ELEV.= LOWEST FLOOR ELEVATION | ∅= DIAMETER | | |
| (M)= MEASURED | ⊙= CENTER LINE | | |

JOB NUMBER: 24408

LEGAL NOTES

THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP. EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATION, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORDS. LEGAL DESCRIPTION PROVIDED BY CLIENT. THE LIABILITY OF THIS SURVEY IS LIMITED TO THE COST OF THE SURVEY. UNDERGROUND ENCROACHMENTS, IF ANY, ARE NOT SHOWN. THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS AND/OR UNDERGROUND IMPROVEMENTS OF ANY NATURE. IF SHOWN BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN. IF SHOWN ELEVATIONS ARE REFERRED TO N.A.V.D. OF 1988. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1: 10000. THIS SURVEY IS NOT INTENDED FOR NEITHER DESIGN NOR CONSTRUCTION PURPOSES. FOR THOSE PURPOSES A TOPOGRAPHIC SURVEY IS REQUIRED.

FOR: 1820 SW 3 AVE LLC

DATE OF FIELD WORK: May, 2024

REVISED ON:

I hereby certify that the attached XXXXXXX Survey of the herein described property is to the best of my knowledge and belief, a true and correct representation, of a field survey performed under my direction. And also meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers in chapter 5J-17.050 thru 5J-17.052 F.A.C. pursuant to Section 472.027 F. S.

ARTURO R. TOIRAC

PROFESSIONAL LAND SURVEYOR & MAPPER

13217 SW46 LANE MIAMI, FL 33175
TEL: (305) 223-6060

ARTURO R. TOIRAC P.S.M. 3102

Not valid without the signature and the original embossed seal of a Florida Licensed Surveyor and Mapper.