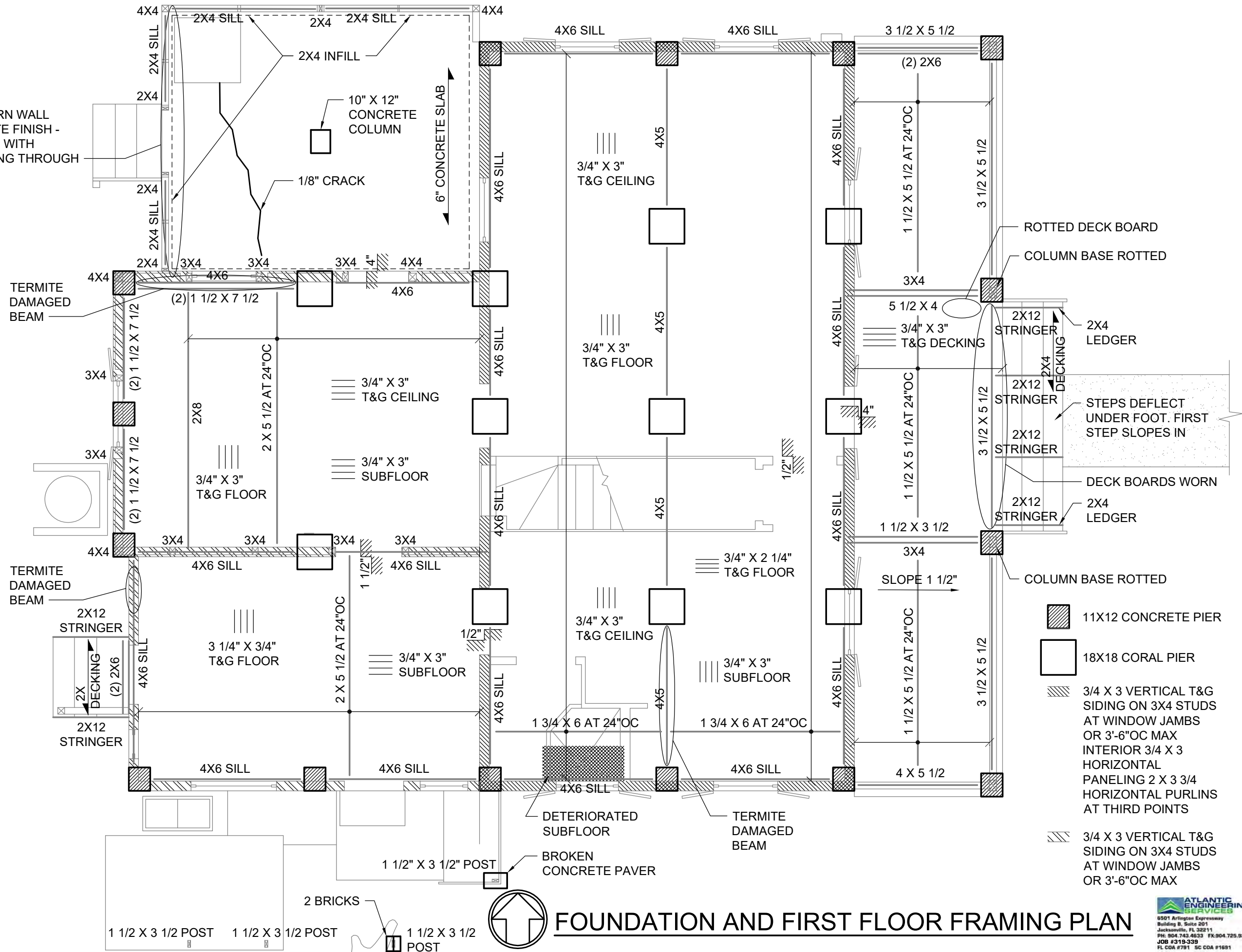


APPENDIX A

SURVEY DRAWINGS

BASE OF CISTERN WALL
POOL CONCRETE FINISH -
HONEYCOMBED WITH
ROOTS GROWING THROUGH



FOUNDATION AND FIRST FLOOR FRAMING PLAN

ELIZABETH BISHOP HOUSE
HISTORIC STRUCTURES REPORT
624 WHITE STREET - KEY WEST FLORIDA
KEY WEST LITERARY SEMINAR

MARK J KEISTER PE 37435

410 Angela Street
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Telephone (305) 236-1227
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Florida License AAC002022

Bender & Associates
ARCHITECTS
P.A.

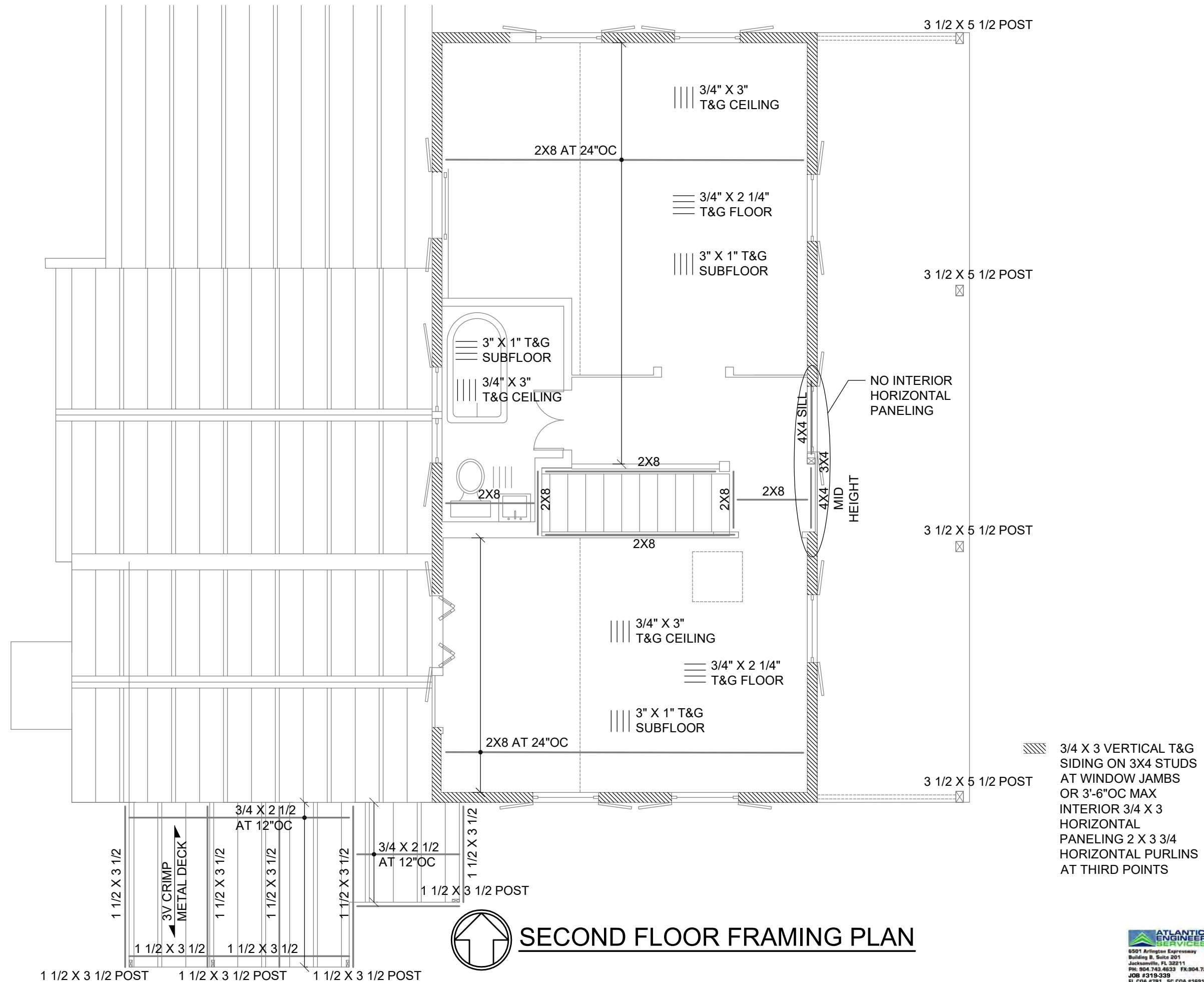
Project No. 1930

**FOUNDATION &
FIRST FLOOR
FRAMING PLAN**

Date: 2/20/20

S1.1

**ATLANTIC
ENGINEERING
SERVICES**
8501 Arlington Expressway
Building B, Suite 201
Jacksonville, FL 32211
PH: 904.743.4633 FX: 904.725.9295
JOB #319-339
FL COA #791 SC COA #1691



SECOND FLOOR FRAMING PLAN

ELIZABETH BISHOP HOUSE
 HISTORIC STRUCTURES REPORT
 624 WHITE STREET - KEY WEST FLORIDA
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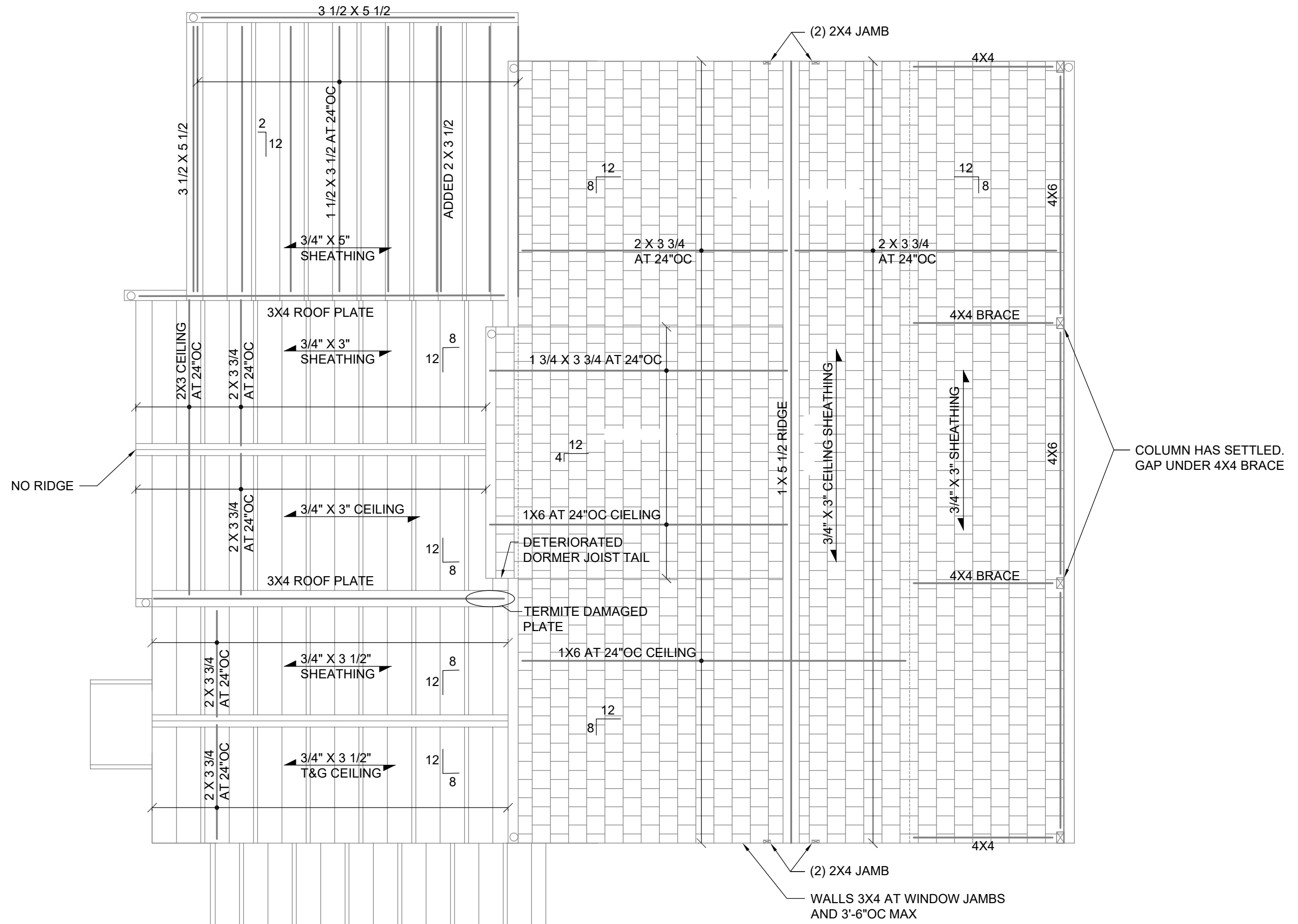
Bender & Associates
ARCHITECTS P.A.

Project No. 1930

SECOND FLOOR FRAMING PLAN

Date: 2/20/20

S1.2



 **ROOF FRAMING PLAN**

ELIZABETH BISHOP HOUSE
 HISTORIC STRUCTURES REPORT
 624 WHITE STREET - KEY WEST FLORIDA
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Bender & Associates
ARCHITECTS P.A.

Project No. 1930

ROOF FRAMING PLAN

Date: 2/20/20

S1.3

ATLANTIC ENGINEERING SERVICES
 6501 Arlington Expressway
 Building B, Suite 201
 Jacksonville, FL 32211
 PH: 904.743.4633 FX: 904.725.9295
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 FL CDA #791 SC CDA #1691



EAST EXTERIOR ELEVATION

ELIZABETH BISHOP HOUSE
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ARCHITECTS P.A.

Project No. 1930

EAST EXTERIOR ELEVATION

Date: 2/20/20

S3.1

ATLANTIC ENGINEERING SERVICES
 6501 Arlington Expressway
 Building B, Suite 201
 Jacksonville, FL 32211
 PH: 904.743.4633 FX: 904.725.9295
 JOB #319-339
 FL COA #791 SC COA #1691



NORTH EXTERIOR ELEVATION

ELIZABETH BISHOP HOUSE

HISTORIC STRUCTURES REPORT
624 WHITE STREET - KEY WEST FLORIDA
KEY WEST LITERARY SEMINAR

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Project No. 1930

NORTH
EXTERIOR
ELEVATION

Date: 2/20/20

S3.2



DETERIORATED SILL CRACK PLYWOOD DETERIORATED

SLOPES

WEST EXTERIOR ELEVATION

ELIZABETH BISHOP HOUSE
 HISTORIC STRUCTURES REPORT
 624 WHITE STREET - KEY WEST FLORIDA
 KEY WEST LITERARY SEMINAR

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Project No. 1930

WEST EXTERIOR ELEVATION

Date: 2/20/20

S3.3

ATLANTIC ENGINEERING SERVICES
 6501 Arlington Expressway
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 Jacksonville, FL 32211
 PH: 904.743.4633 FX: 904.725.9295
 JOB #319-339
 FL CDA #781 SC CDA #1691



DETERIORATED
SIDING

COLUMN NOT
PLUMB

DAMAGED
WOOD SIDING

SOUTH EXTERIOR ELEVATION

ELIZABETH BISHOP HOUSE
 HISTORIC STRUCTURES REPORT
 624 WHITE STREET - KEY WEST FLORIDA
 KEY WEST LITERARY SEMINAR

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Project No. 1930

**SOUTH
 EXTERIOR
 ELEVATION**

Date: 2/20/20

S3.4

**ATLANTIC
 ENGINEERING
 SERVICES**
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 FL COA #791 SC COA #1691

APPENDIX B

EXISTING STRUCTURAL CONDITIONS EVALUATION CRITERIA

**EXISTING STRUCTURAL CONDITIONS
EVALUATION CRITERIA**

EXCELLENT	Meets or exceeds current structural code requirements. Capable of safely carrying proposed occupancies. No significant vibrations, cracking or deflections. No structural reinforcement or repairs required. Very minor, if any, maintenance required.
GOOD	Meets current structural code requirements. Capable of safely carrying proposed occupancies. Deflections, cracking, vibrations may be observable. No structural reinforcement required. Minor structural repairs required. Some significant maintenance repairs required.
FAIR	Majority of structure meets structural code requirements. Portions of structure are not capable of carrying proposed occupancies. Deflections, cracking, vibrations, structural distress is observable. Structural reinforcement required in limited portions of the structure. Structural repairs required generally. Many significant maintenance repairs required.
POOR	Majority of structure does not meet structural code requirements. Much of the building is not capable of carrying proposed occupancies. Deflections, cracking, vibrations, structural distress commonly observable throughout the structure. Major reinforcement or reconstruction of the structure is required. Major maintenance repairs are required.
EXTREMELY POOR	Collapse of structure is imminent. Structure exhibits significant deflections, cracking, vibrations, structural distress. Structure requires extensive reinforcement or reconstruction of impractical scope.

NOTE: Some parts of each definition may not apply.

7. Work Priorities & Recommendations / Budget

SUMMARY AND WORK PRIORITIES

The major source of continuing deterioration at all buildings is the infiltration of water into the buildings. Water infiltration is present at 624 White Street from two primary sources: (1) deteriorated windows, and (2) deteriorated exterior siding. Therefore, the first priority should be to correct these issues. Repair of the non-functional plumbing system and lead paint, mold and asbestos mitigation should be a logical second priority. This work is just as important, as the building cannot be occupied without this taking place. Structural work, including foundation stabilization and structural framing stabilization should be a third priority. Restoration of the building should follow after these major issues are addressed. All of these work priorities will require preparation of construction documents by a licensed architect with experience in historic preservation.

- 1. Window Restoration and Hurricane Protection:** The wood single hung windows all require patching and repair and re-puttying. The contemporary bifold window at the 2nd floor south bedroom should be removed and replaced with a sliding painted wood window matching the window in the north bedroom. The two aluminum jalousy windows in the kitchen should be removed and replaced with painted wood windows which are more appropriate to the period of significance. All of the historic removable sliding screens should be repaired and reinstalled. Add weather stripping to all windows and doors. The board shutters should be removed, and historic Bahama style louvered shutters should be reinstalled on the building to match the historic photos. Finally, all of the door and window openings should have removable hurricane shutters installed. Both shutters and tracks should be removable, so that they are hidden unless a storm threatens. Shutters should be installed so that both the historic windows and the historic louvered shutters (in a closed position) are protected. The historic louvered shutters offer no hurricane protection and must themselves be protected from storm damage.
- 2. Exterior Siding Repair:** Repair deteriorated exterior siding as required to make the building watertight, taking care to match the existing dimension and species of the original vertical wood siding. Stagger the construction joints to blend the repair. Prior to commencing work, a written report of findings and proposed methods of repair should be submitted to the architects for review and modifications as required for compliance with accepted preservation standards.
- 3. Plumbing system:** Replacement of the outdated plumbing system. Historic plumbing fixtures, including the upstairs bathtub and lavatory, should be restored and reused.
- 4. Mitigation of lead-based paint, asbestos containing materials, and mold:** Lead based paint, asbestos and mold should be removed from the building by a qualified mitigation contractor experienced in working with historic structures. These materials should be removed or mitigated from all of the buildings using best practices and in accordance with all State, Local and Federal Guidelines. In order to avoid damage to the historic surfaces from removing all paint, the lead paint can be encapsulated rather than removed. The entire house should then be painted in period colors.
- 5. Structural work:** Structural upgrades, including repair of porch columns and beams, foundation piers, cistern cap, floor joists, front porch stairs. Additionally, the building's sill beams should be structurally attached to the existing foundation piers. See structural conditions report for more

information. Atlantic Engineering can convert their structural condition assessment to construction drawings when the owner is ready to complete this work.

Restoration Items:

After these repairs are completed, consideration should be given to restoring the structure back to its established period of significance, which is the period of the 1930s and 40s that Bishop resided in Key West. Several items are involved in this, including removal of contemporary windows, removal of the south side porch, restoration of the cistern, and restoration of the covered cistern porch, an element that, according to research, Bishop personally oversaw construction of. Consideration should also be given to restoring the landscape back to a state more in keeping with Bishop's time at the property. Further research of historic photos is needed in this area by individuals experienced in landscape design and tree identification.

6. Air conditioning installation / insulation: Currently the only air conditioning / heating in the house consists of the whole-house fan. The whole-house fan should be restored. If new air conditioning is desired, it should be installed with great care. A central air conditioning system will be a challenge to install, as there is very little room for ductwork within the existing structure. A small central A/C system could be installed at the second floor in the small attic, and ductwork could be run through the existing 2nd floor closets to the first floor in select locations. Another small central system could be installed in the attic over the Library. The condenser units should be installed neatly on a rack outside of the house and screened by landscaping or an enclosure. Condensate lines should be carefully concealed, which will be difficult due to the house's open-framed walls.

The installation of insulation is a controversial issue in historic houses. Insulation, especially batt insulation within walls in hot/humid environments, retains moisture, which in turn rots historic wood. Houses in Key West were not constructed to tight construction standards, so humid outside air cannot be kept out of the house. Instead, the humid air condenses around air conditioning units and ductwork, creating moisture and eventually rotting wood. Generally, only rigid (polyisocyanurate) insulation is used. The open framed walls of this structure mean that it is impossible to insulate the entire structure. In the case of the Bishop House, rigid insulation should be installed only at the second-floor attic and in the 1st floor Dining Room attic.

7. Porch Removal: The south porch is contemporary and not historic to the period of significance. This shed roof porch should be removed, along with the deck, outdoor shower, and various pavers around the area.

8. Cistern Porch Restoration: Based on research, it is likely that Elizabeth Bishop herself supervised the construction of the screened porch over the cistern in 1941. The connection of this porch to a historic figure makes this porch quite significant. The porch, including the louvered panels, columns and roof structure, should be restored.

9. Cistern Restoration: Before the first fresh water line was installed by the US Navy in 1942, the cistern was an integral, if time consuming, part of life in Key West. Generally, the cistern was the only source of fresh water, and there was a cistern in virtually every yard in Key West. Many still exist. The cistern was filled during a rain event through an elaborate system of gutters and downspouts from the roof. This system is visible in historic photos of the Bishop House. A two-way valve was attached just

before the cistern inlet, allowing the dirty water from the first few minutes of a rain event to flow to the ground, and not into the cistern. The valve was then diverted into the cistern, allowing clean water to flow in. Cisterns had to be kept meticulously clean, and screens were used to keep mosquitos and vermin out. A pump was used to extract water from the cistern for use in the home.

The cistern at the 624 White Street first appears on the 1892 Sanborn map. The is probably the same cistern seen today. It is approximately 6 feet deep, with a concrete floor and top cover. The walls are composed of concrete with a plaster coating. This coating is deteriorated and cracked. As such, the cistern is not watertight. The tree roots should be removed from the cistern walls, and the walls should be repaired. The coating at the inside of the cistern should be removed and replaced with a new coating. A new pump should be installed to allow the cistern water to be utilized for irrigation.

10. Kitchen Restoration: The existing kitchen is a combination of contemporary and historic fixtures and finishes. The appliances are contemporary. Consideration should be given to restoring the Kitchen to a 1940's appearance, with built-in upper and lower cabinets more in keeping with the Library casework and the existing historic pantry at the SW corner of the Kitchen. Period appliances could also be used.

11. Landscape Restoration: Elizabeth Bishop was very enthusiastic about the property's landscape, and often mentioned the plantings in her letters which survive. Consideration should be given to restoring the landscape to the 1938-46 period of significance.

The landscape of 624 White Street was markedly different than the existing landscape today. There are several period photos showing few trees in the front yard. The north yard was primarily lawn, with a few fruit trees. Additionally, Bishop and Crane moved the entire house as one of the first acts as new homeowners in 1938. It is likely that the landscaping was heavily damaged or removed during this move.

12. ADA Access: In order to utilize the building as office space, ADA access will have to be provided. This includes access to the building via lift or ramp, and installation an ADA accessible restroom on the property. An ADA lift is recommended, as a ramp will have to be over 30' in length, which would occupy a significant portion of the rear yard. It is suggested that the lift be installed in the rear yard. An ADA restroom could be installed as a separate accessory structure in the rear yard.

BUDGET

The following cost estimates are based on today's current prices (March 2020). These cost projections are for planning purposes only. Costs can vary widely due to local, state and national market conditions, windstorms, inflation, and other influences.

If this work is postponed, you should anticipate adding approximately 3.5% per year for inflation. Additionally, if this work is postponed, these cost estimates could change due to several factors, including the current construction market, current material and labor costs, and the current availability of experienced restoration contractors. This means that prices could become cheaper, or more expensive.

None of these estimates include fees for architecture/engineering. To calculate these fees, we typically use the State of Florida Department of Management Services Fee (DMS) Guide Calculator. Based on this calculator, an additional 10% is added at the end of the budget estimate to cover architectural and engineering fees.

1. Window Restoration and Hurricane Protection:

2 painted wood new casement Kitchen windows @ \$3,000/ea.	\$6,000
1 new sliding 2 nd floor window @ \$2,000 ea.	\$2,000
Restore 16 historic wood double hung windows@ \$2,000/ea.	\$32,000
13 sets of new painted wood shutters with operable louvers @\$2,000/ea.	\$26,000
Restore 6 sets of painted wood louvered shutters @\$750/set.	\$4,500
25 sets of removable aluminum impact shutters @ \$800/ea.	\$20,000
Restore 16 louvered panels and doors at Cistern porch @\$1000/ea.	\$16,000

2. Exterior Siding Repair:

Repair all existing deteriorated siding, match historic wood in species and dimension. Prime and Paint.	\$15,000
---	----------

3. Plumbing system:

Replace existing plumbing system. Restore historic fixtures. Replace non-historic plumbing fixtures with period fixtures and fittings.	\$40,000
--	----------

4. Mitigation of lead-based paint, asbestos containing materials, and mold:

Mitigation of existing Mold, Lead Based Paint, Asbestos.	\$50,000
Repainting of entire house, exterior and interior.	\$50,000

5. Structural work:

Address all structural items listed in structural assessment, including but not limited to floor joist repair, subfloor repair, wood beams, replacement of foundation piers, porch columns and beams, and adding structural clips	\$100,000
---	-----------

Restoration Items:

6. Air conditioning installation / insulation:

Option 1: New central air conditioning system. Install AHU (air handling unit) at 2 nd floor attic, and run ductwork carefully through the bedroom closets to the 1 st floor. Install additional small AHU unit in the attic above the Library. New A/C condensing units, new racks and all associated electrical work. New rigid insulation at 2 nd floor attic and 1 st floor Library attic.	\$45,000
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Option 2: New ductless minisplit A/C system at first floor. New central A/C system with ductwork at second floor attic. New condensing units, new racks and all associated electrical work. New rigid insulation at 2 nd floor	\$55,000 (optional)
--	---------------------

attic, 1st floor Dining Room attic, and underside of house.

- | | | |
|------------|--|--|
| 7. | South Porch Removal:
Remove existing south porch, decks, pavers and shower.
Patch walls as required. Cap plumbing lines.
New stair at two existing kitchen doors. | \$25,000 |
| 8. | Cistern Porch Restoration:
Repair wood framed porch walls, ceiling and roof. Patch and paint. | \$12,000 |
| 9. | Cistern Restoration:
Repair existing concrete cistern walls and cap. New watertight plaster coating at cistern walls. Repair concrete cistern cap.
New pump system connected to irrigation system. New cistern refill
From existing historic well for backup water.
New downspouts and gutters connected to cistern.
New wd frame pump shed at west side of Library to match historic shed. | \$50,000
\$10,000
\$15,000
\$25,000 |
| 10. | Kitchen Restoration:
Replace contemporary upper and lower cabinets with new custom cabinets matching the existing historic cabinetry. Restore existing flooring and walls.
New period appliances. | \$75,000 |
| 11. | Landscape Restoration:
Landscape prices can vary widely, based on the quality and size of the landscape and hardscape that is desired. A new landscape / hardscape design will be produced by a qualified landscape architect. The costs shall be assumed as follows:

Site clean up, tree removal, and demo: \$20,000
Grading and swales: \$3,000
Fencing repairs, painting and reconfiguration (bike rack area): \$15,000
Pathways and patios: \$15,000
Signage/Exhibits: \$15,000
Bike Racks: \$5,000
Retaining walls: \$7,500
Overall planting including planting soil, etc.: \$60,000
Overall Low-Voltage landscape lighting: \$15,000
Fountain (optional): \$10,000
Irrigation: \$10,000
Design Fees: \$25,000
Permitting fees: \$1000 | \$201,500 |

12. ADA Access:	
New ADA lift and ADA accessible path connecting to public right-of-way:	\$30,000
<u>New ADA accessible restroom building in rear yard:</u>	<u>\$75,000</u>
CONSTRUCTION SUBTOTAL:	\$925,000
A/E Fees (10%, per State of Florida DMS Calculator)	\$ 92,500
GC Overhead & Profit @ 18% (estimated)	\$166,500
Bond @ 1.5%	\$ 13,875
<hr/> TOTAL	<hr/> \$1,197,875

8. Grant Sources List

The following source list is presented to aid in procuring grants that may be available for this historic rehabilitation/restoration project. There are many sources of funding available for historic preservation projects. Our clients with similar projects have received grant funds from various sources, including capital campaign funds, the local Tourist Development Council, Private Foundations, local government funding, but by far the most significant amount of funding has come from the State of Florida.

Florida Department of State

Laurel Lee, Secretary of State

Division of Historical Resources

Grants

Historic Preservation Grants Program

DHRgrants@dos.myflorida.com

Historic Preservation Grants in Aid Program:

Historic Preservation Small Matching Grants

Historic Museums Small Matching Grants

Historic Preservation & Historical Museums Special Category Grants

Further information is available at the Internet address:

<http://dos.myflorida.com/historical/grants/>

Also **State of Florida**

Department of Cultural Affairs:

CULTURAL FACILITIES PROGRAM

Local Tourist Development Councils or tourist promotion agencies are funding contributors to local development. The Monroe County Tourist Development Council has a Capital/Bricks and Mortar program which issues Grants for improving buildings that contribute to the local tourism economy. This project may be eligible. Further information on the program can be found on the TDC website or by contacting the Monroe County TDC at 305-296-1552.

United States Government, US Department of the Interior, National Parks Service

<https://www.nps.gov/search/?affiliate=nps&query=historic%20preservation>

National Trust for Historic Preservation

The National Trust has a State funding Program for Historic Preservation that is funded through corporation trust fund, (approximately \$2,000,000 available)

Web site: <https://savingplaces.org/grants>

American Society of Landscape Architects (ASLA)

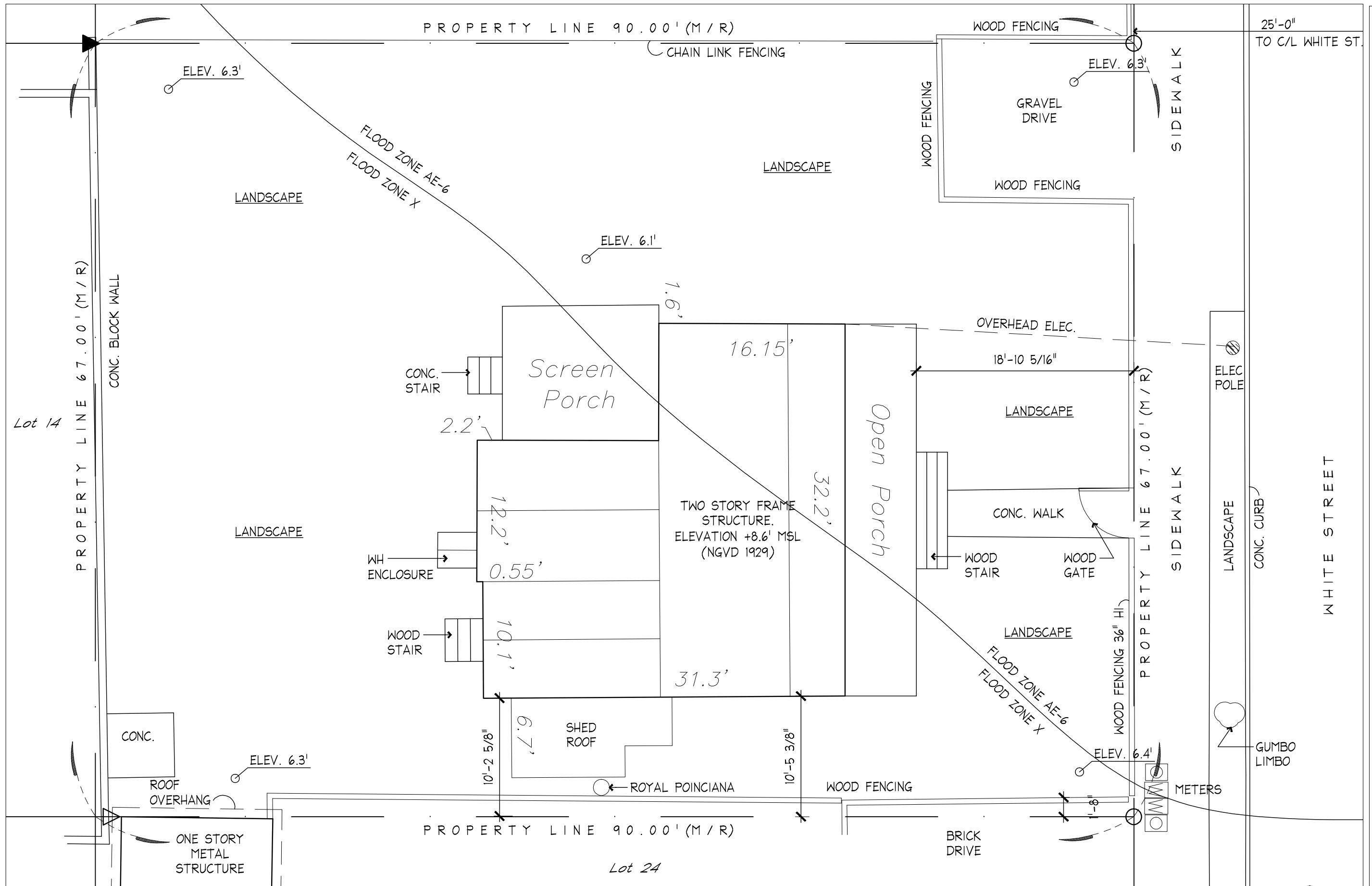
This organization provides historic preservation fund grants to preserve nationally significant intellectual and cultural artifacts, historic structures and sites

Web Site: www.asla.org

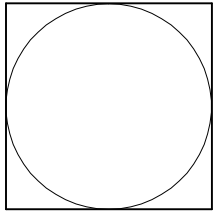
Private Sector

Funding is also available from the private sector, specifically foundations and grants established by individuals and corporations

9. Existing Conditions Drawings



ELIZABETH BISHOP HOUSE
 HISTORIC STRUCTURES REPORT
 624 WHITE STREET - KEY WEST FLORIDA
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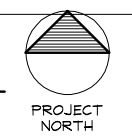
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Date: 4/1/20

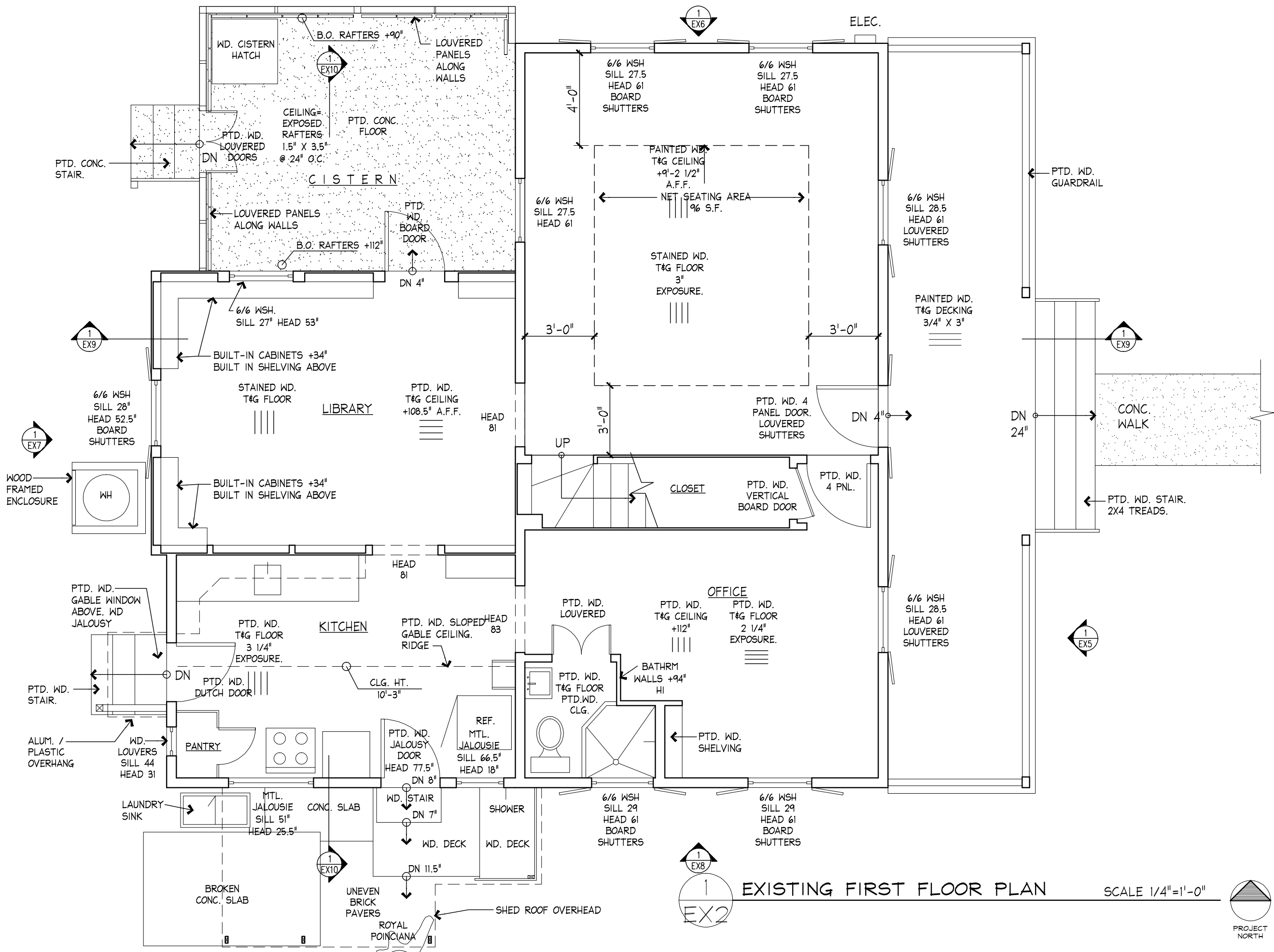
EX1
 173

1
 EX1

EXISTING SITE PLAN - BISHOP HOUSE - 2019

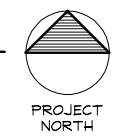
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EXISTING FIRST FLOOR PLAN

SCALE 1/4"=1'-0"



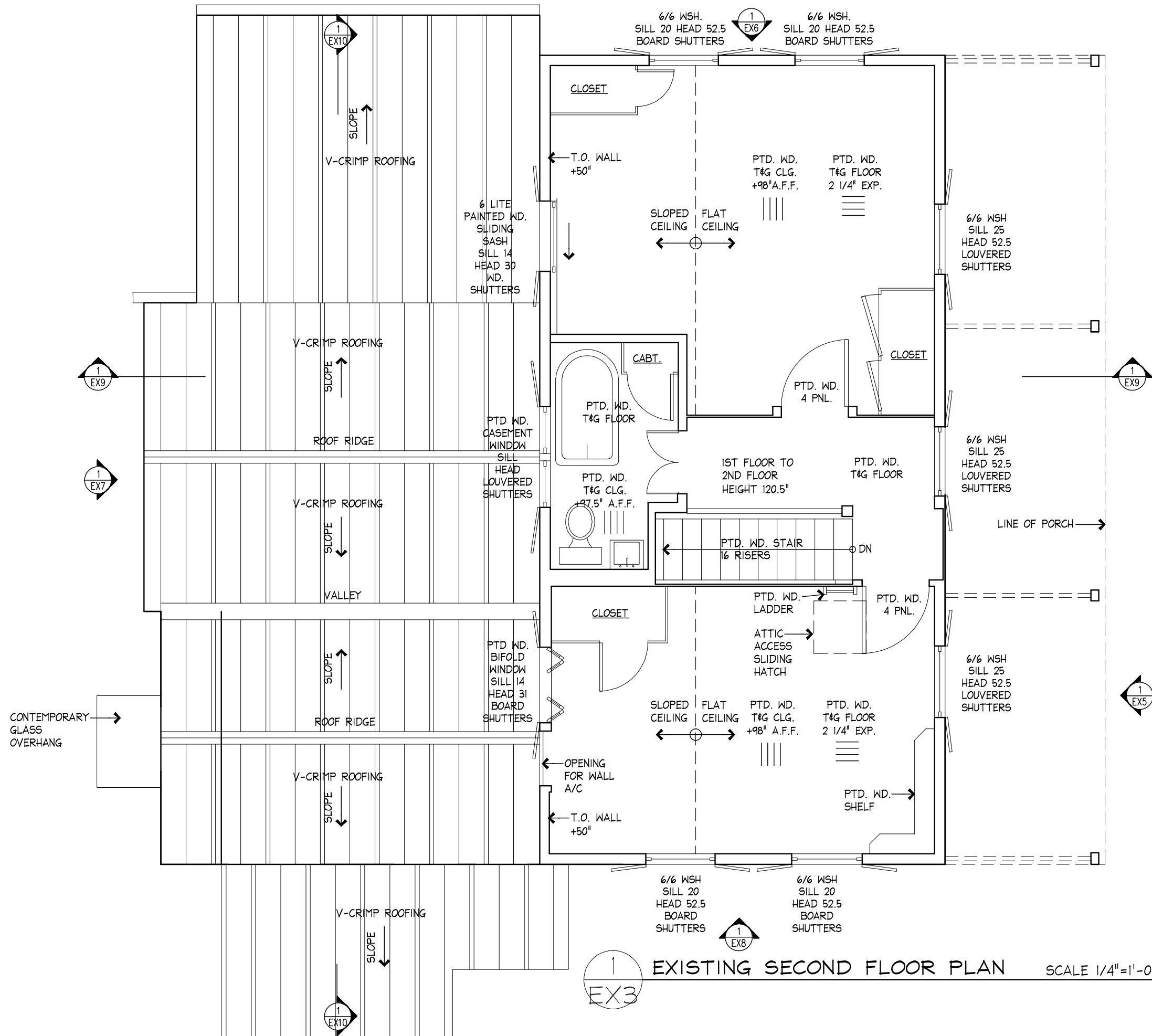
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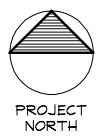
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Project No. 1930
 EXISTING
 FIRST FLOOR
 PLAN
Date: 4/1/20

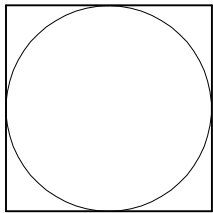
EX2



1 EX3 EXISTING SECOND FLOOR PLAN SCALE 1/4"=1'-0"



ELIZABETH BISHOP HOUSE
 HISTORIC STRUCTURES REPORT
 624 WHITE STREET - KEY WEST FLORIDA
 KEY WEST LITERARY SEMINAR

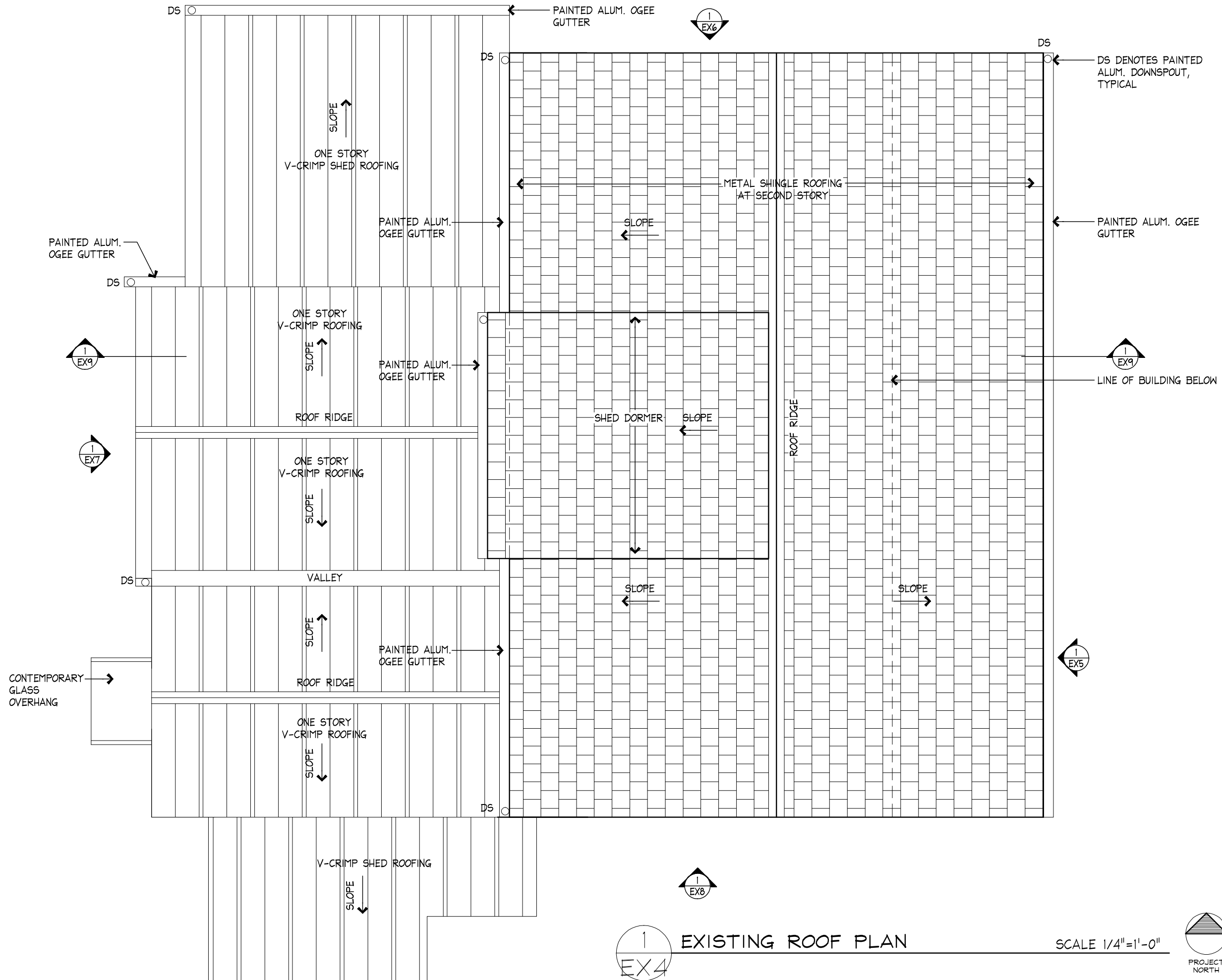


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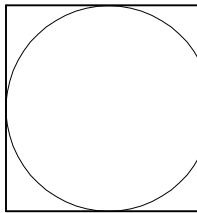
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Project No. 1930
 EXISTING
 SECOND
 FLOOR PLAN
Date: 4/1/20

EX3
 175



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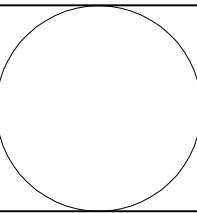
Project No. 1930
 EXISTING
 ROOF PLAN
Date: 4/1/20

EX4
 176
 PROJECT NORTH

1 EX4 EXISTING ROOF PLAN

SCALE 1/4"=1'-0"



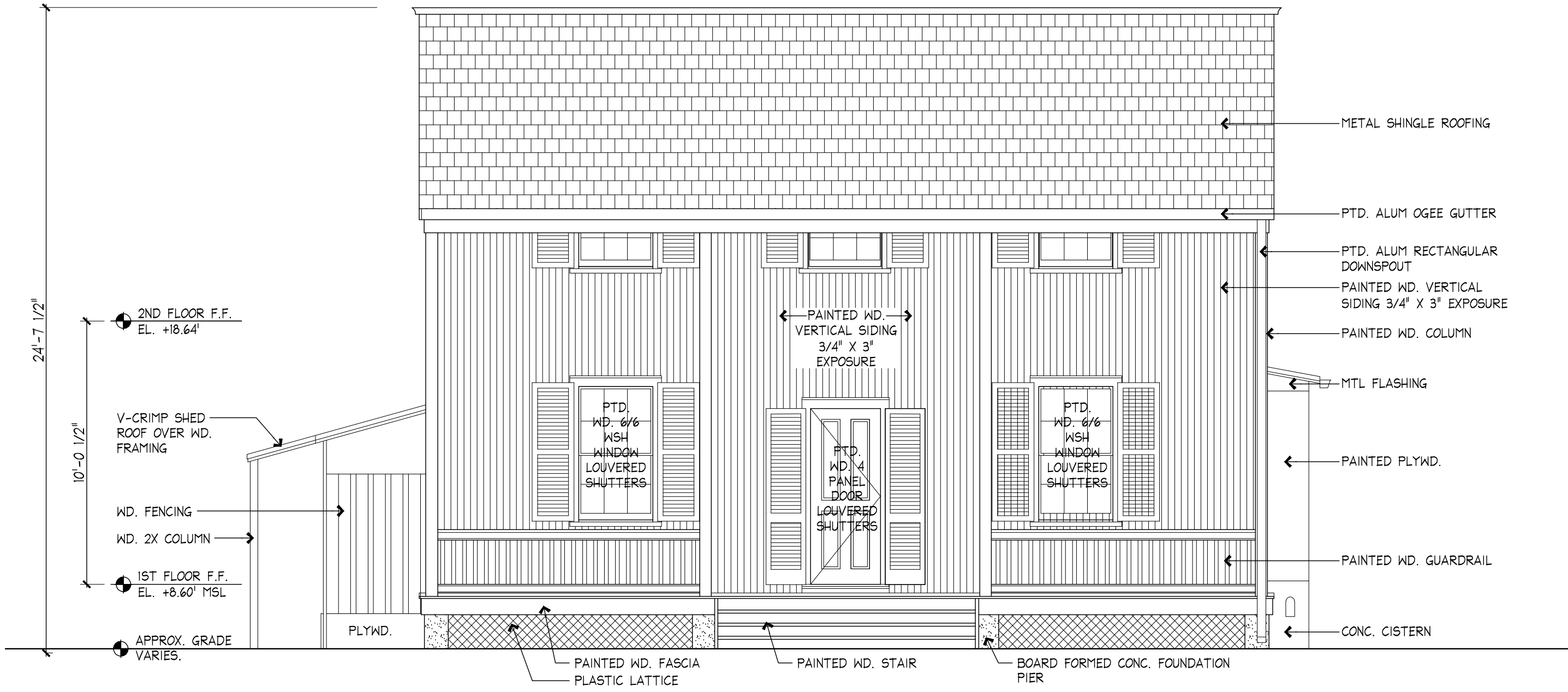


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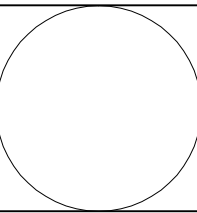
Project No. 1930
 EXISTING
 EXTERIOR
 ELEVATIONS
Date: 4/1/20

EX5
 177



1 EX5 EXISTING EAST (FRONT) EXTERIOR ELEVATION

SCALE 1/4"=1'-0"

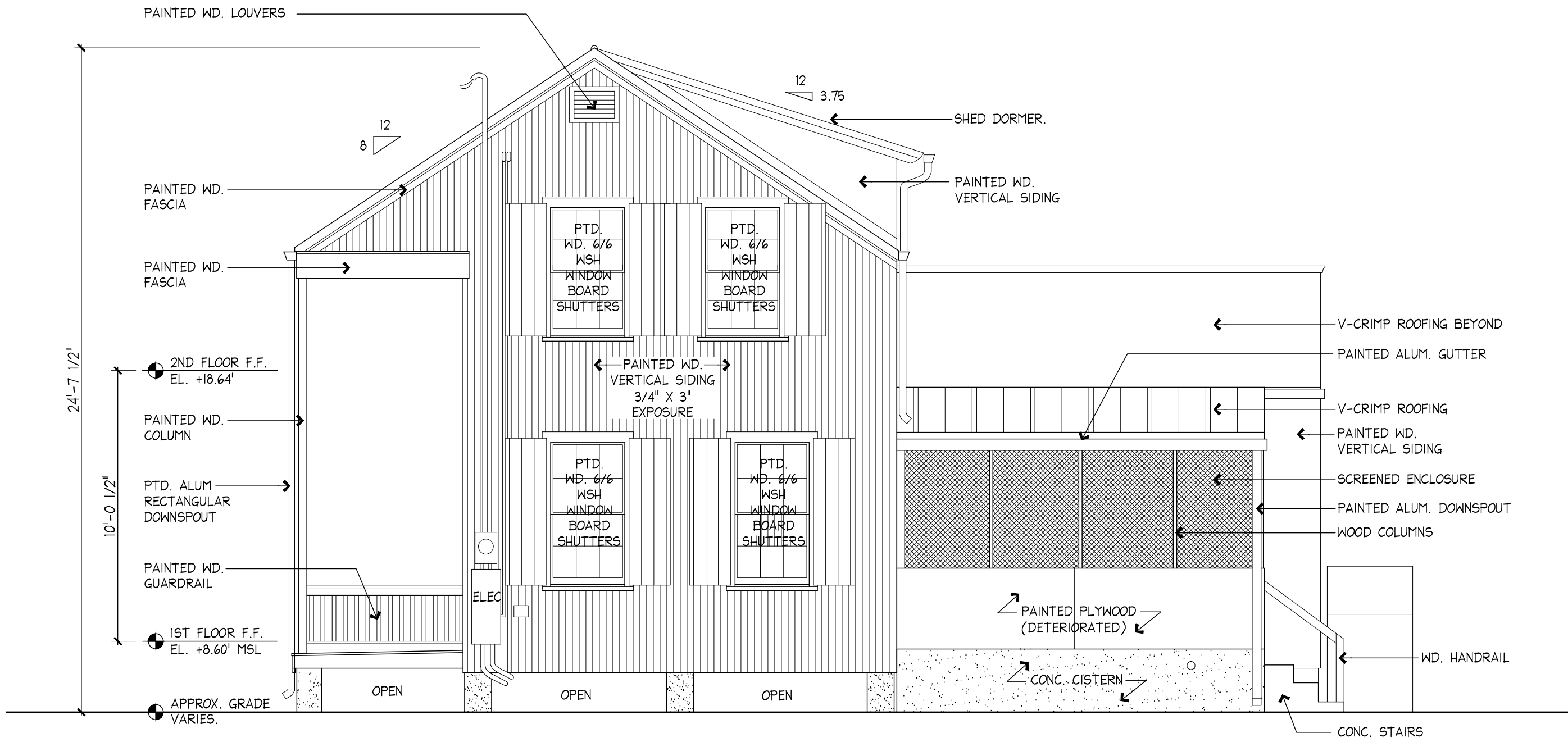


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Project No. 1930
 EXISTING
 EXTERIOR
 ELEVATIONS
Date: 4/1/20

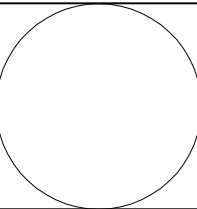
EX6



1
 EX6

EXISTING NORTH EXTERIOR ELEVATION

SCALE 1/4"=1'-0"

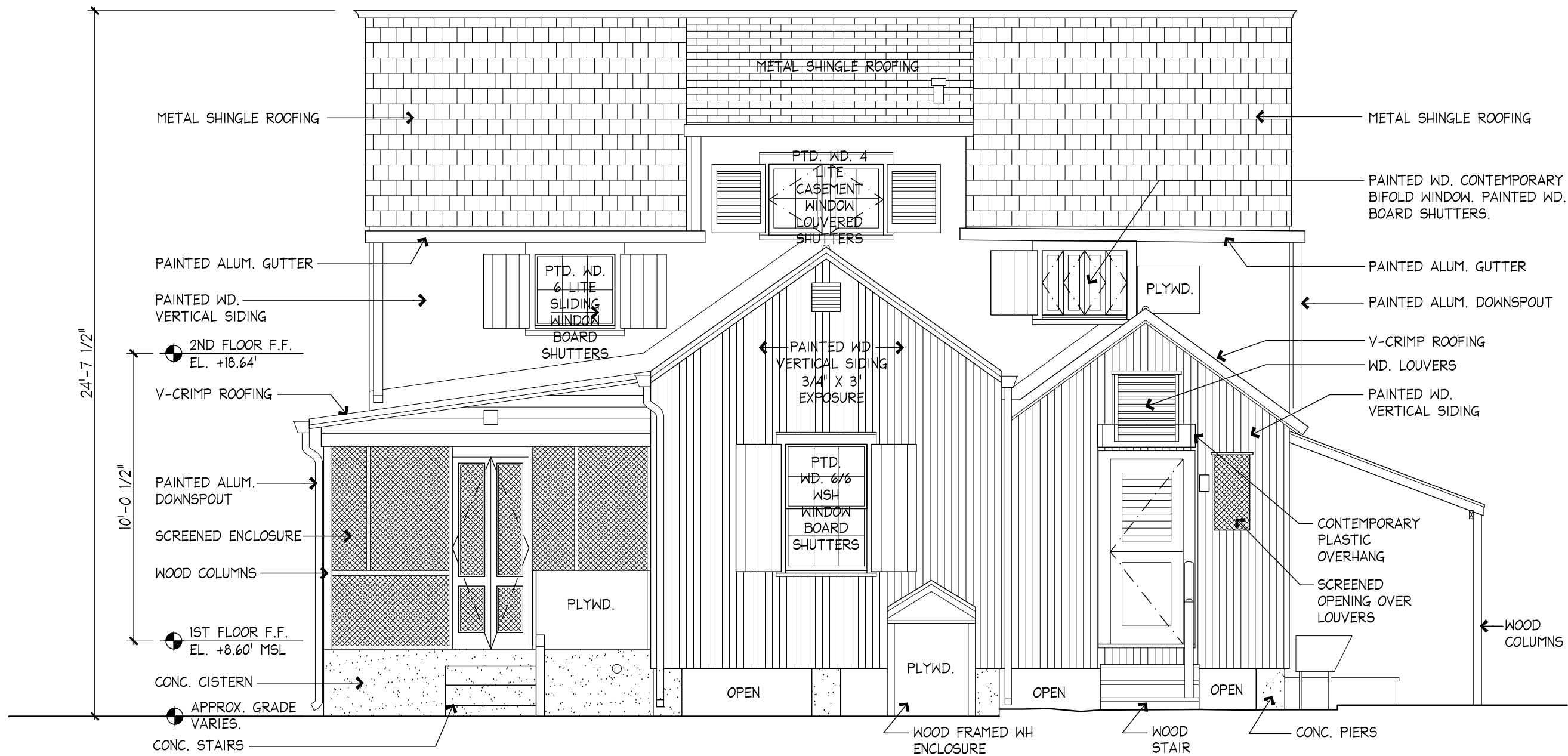


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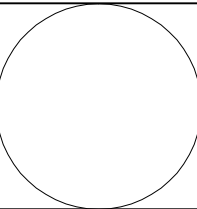
Project No. 1930
 EXISTING
 EXTERIOR
 ELEVATIONS
Date: 4/1/20

EX7
 179



1 EX7 EXISTING WEST (REAR) EXTERIOR ELEVATION

SCALE 1/4"=1'-0"

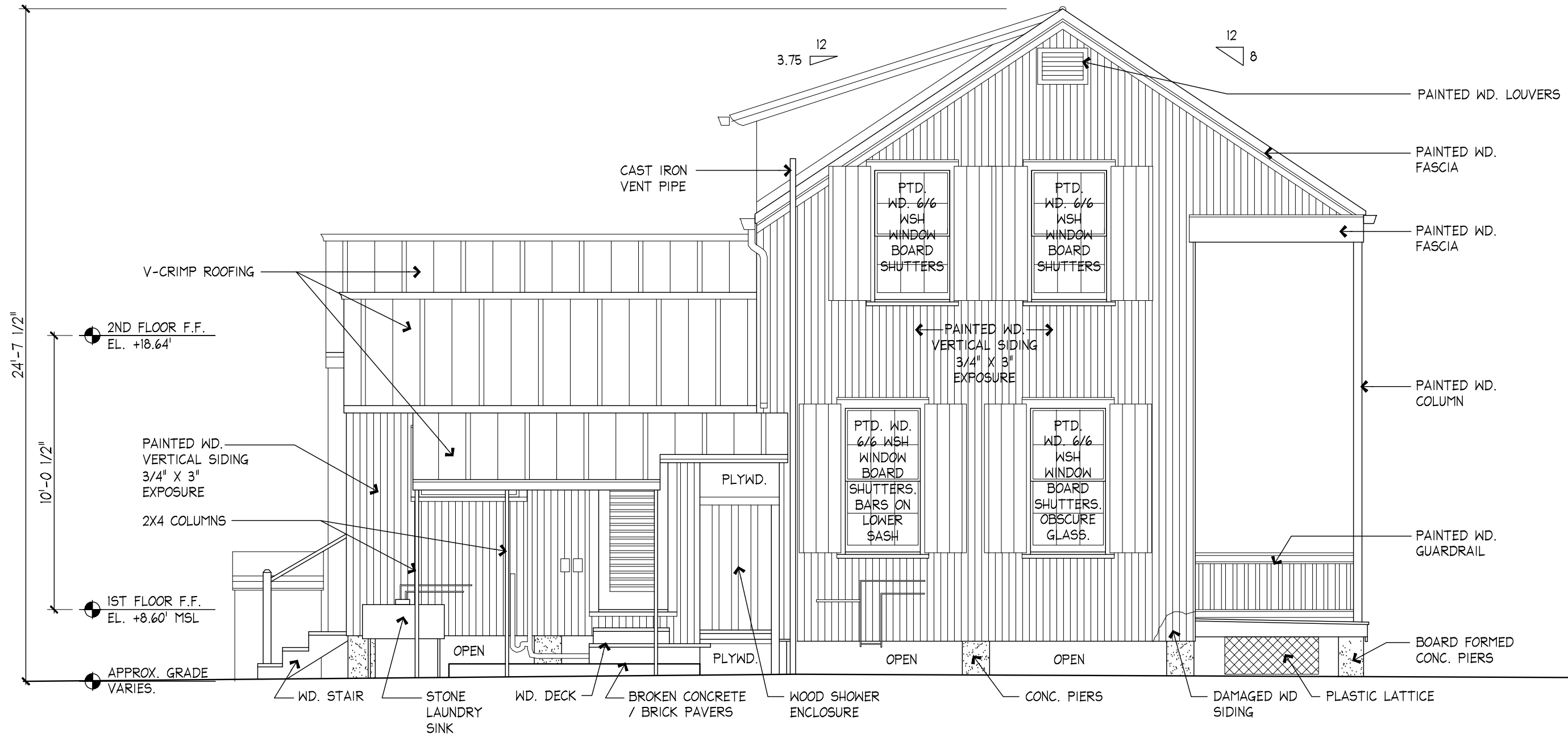


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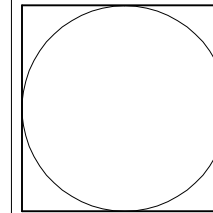
Project No. 1930
 EXISTING EXTERIOR ELEVATIONS
Date: 4/1/20

EX8
 180



1
 EX8 EXISTING SOUTH EXTERIOR ELEVATION

SCALE 1/4"=1'-0"

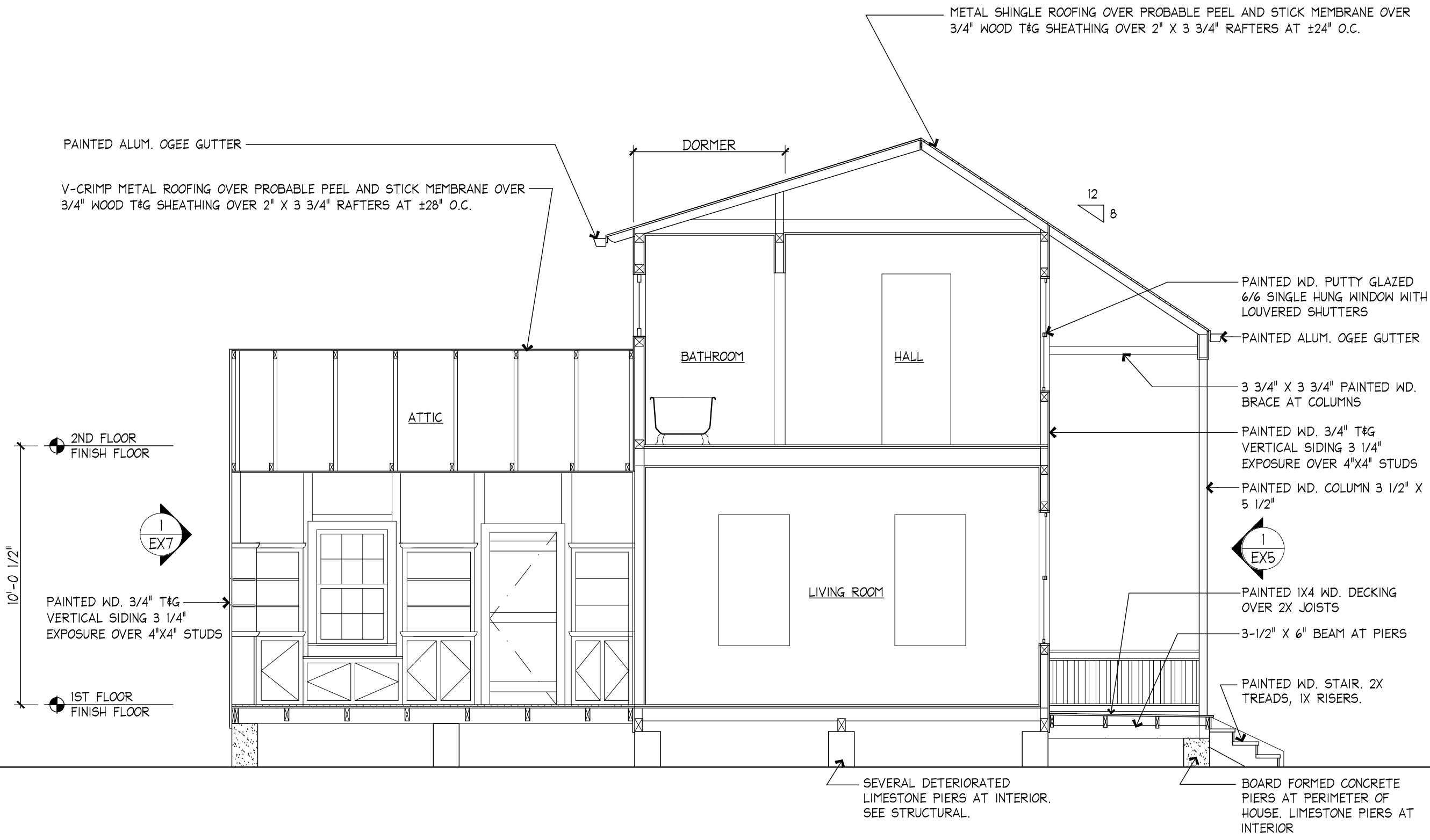


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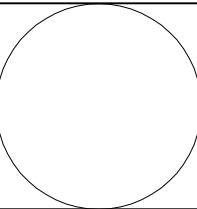
Project No. 1930
 EXISTING BUILDING SECTION
Date: 4/1/20

EX9
 181



1 EX9 EXISTING SECTION LOOKING NORTH

SCALE 1/4"=1'-0"

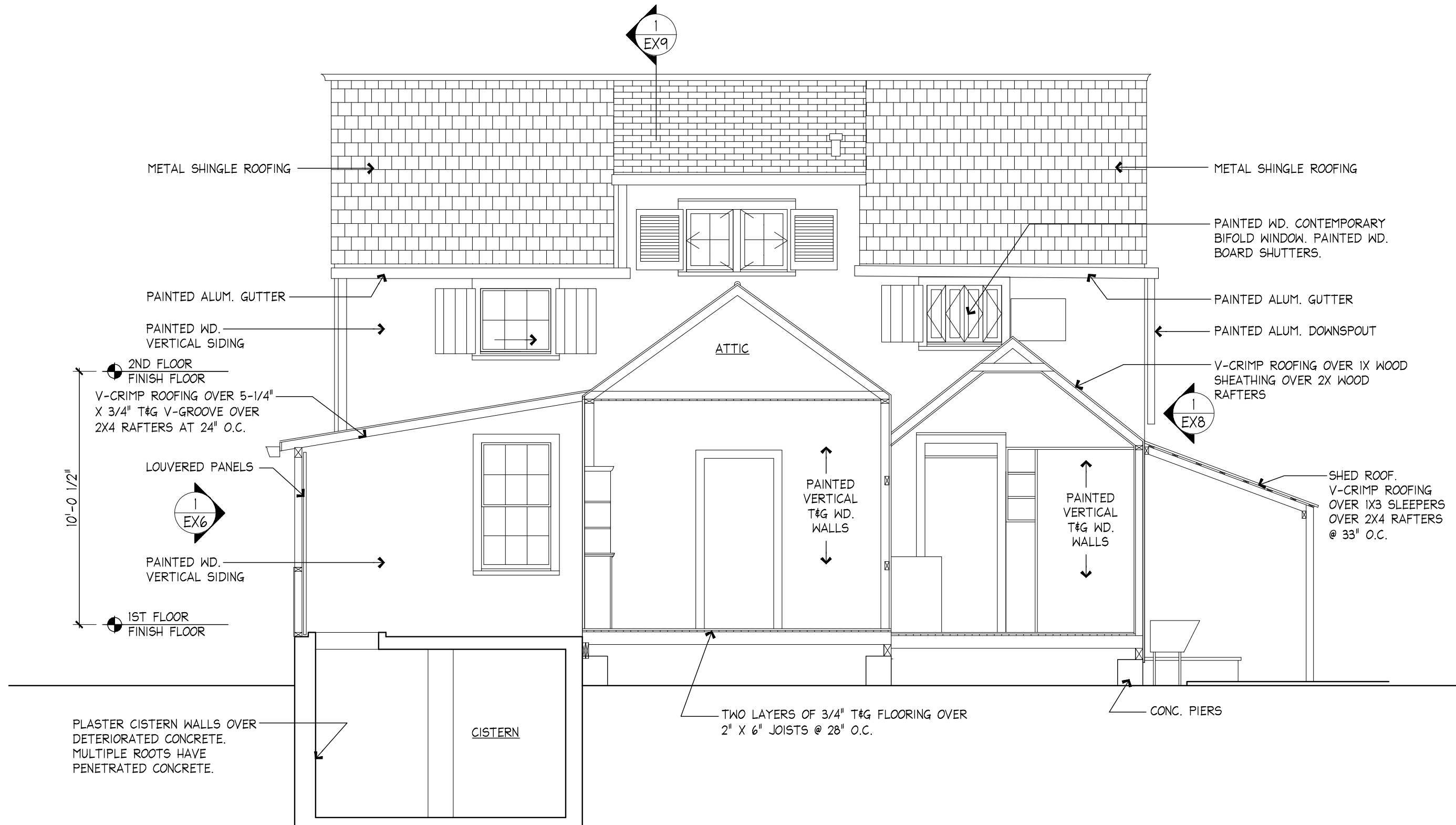


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Project No. 1930
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Date: 4/1/20

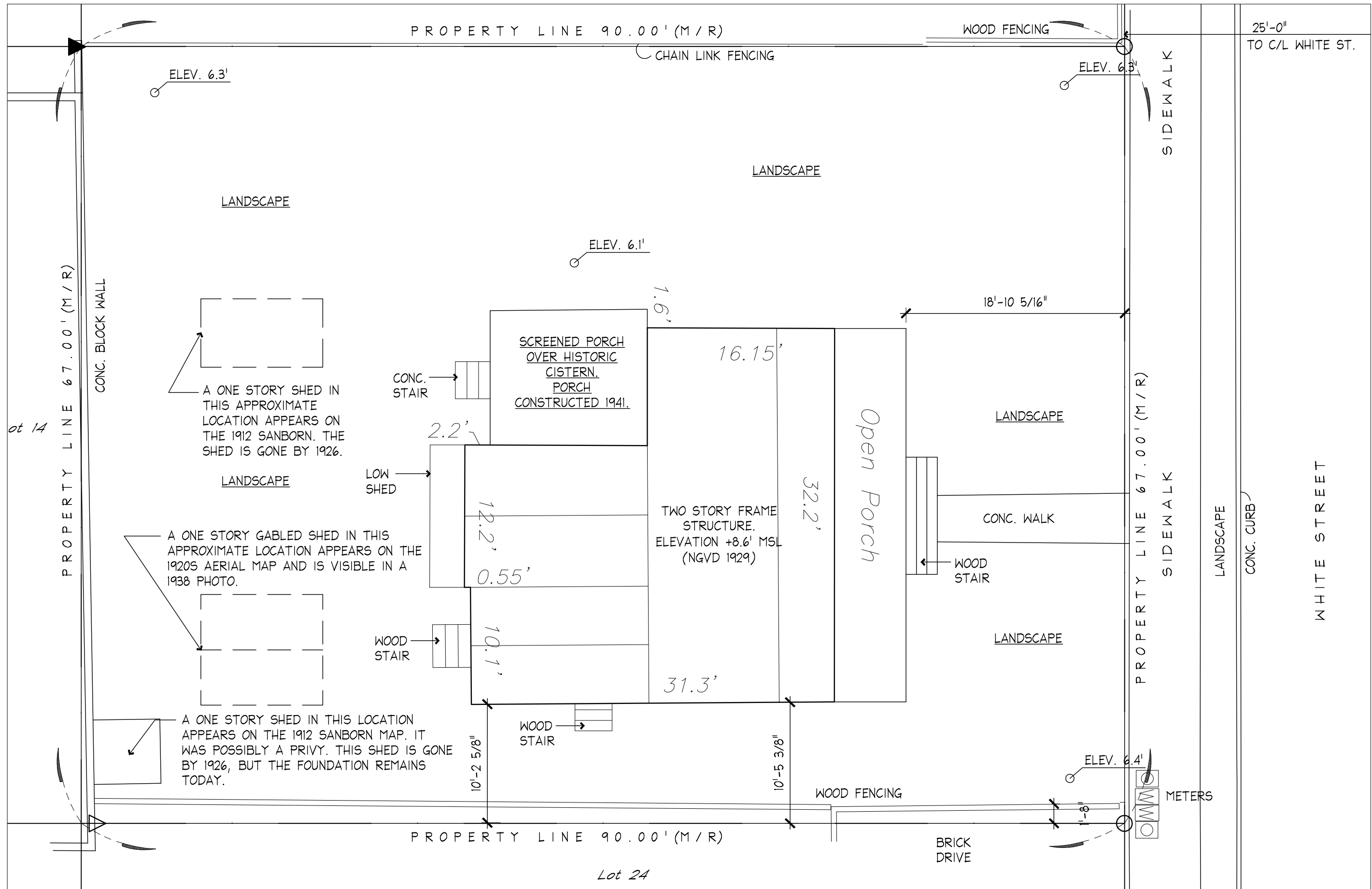
EX10



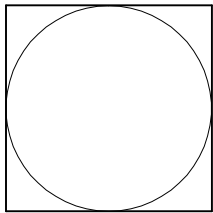
1 EX10 EXISTING SECTION LOOKING EAST

SCALE 1/4"=1'-0"

10. Probable Historic Drawings



ELIZABETH BISHOP HOUSE
 HISTORIC STRUCTURES REPORT
 624 WHITE STREET - KEY WEST FLORIDA
 KEY WEST LITERARY SEMINAR



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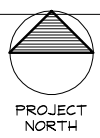
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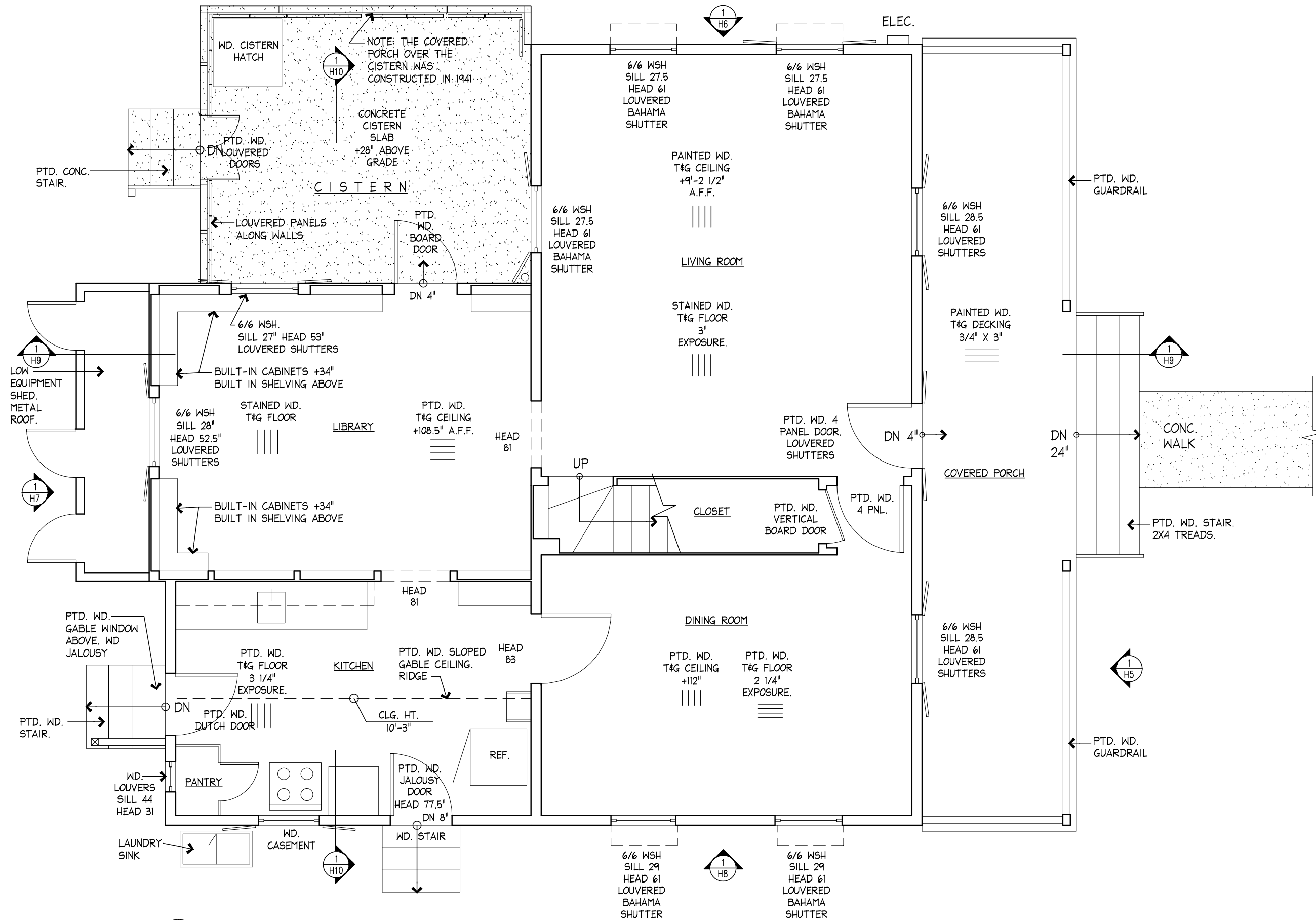
Project No. 1930
 EXISTING SITE PLAN
 CIRCA 1941-46
Date: 4/1/20

H1
 184

1 SITE PLAN - BISHOP HOUSE - CIRCA 1941-1946

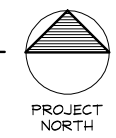
SCALE 1/8"=1'-0"





1
H2
FIRST FLOOR PLAN - CIRCA 1941 - 1946

SCALE 1/4"=1'-0"



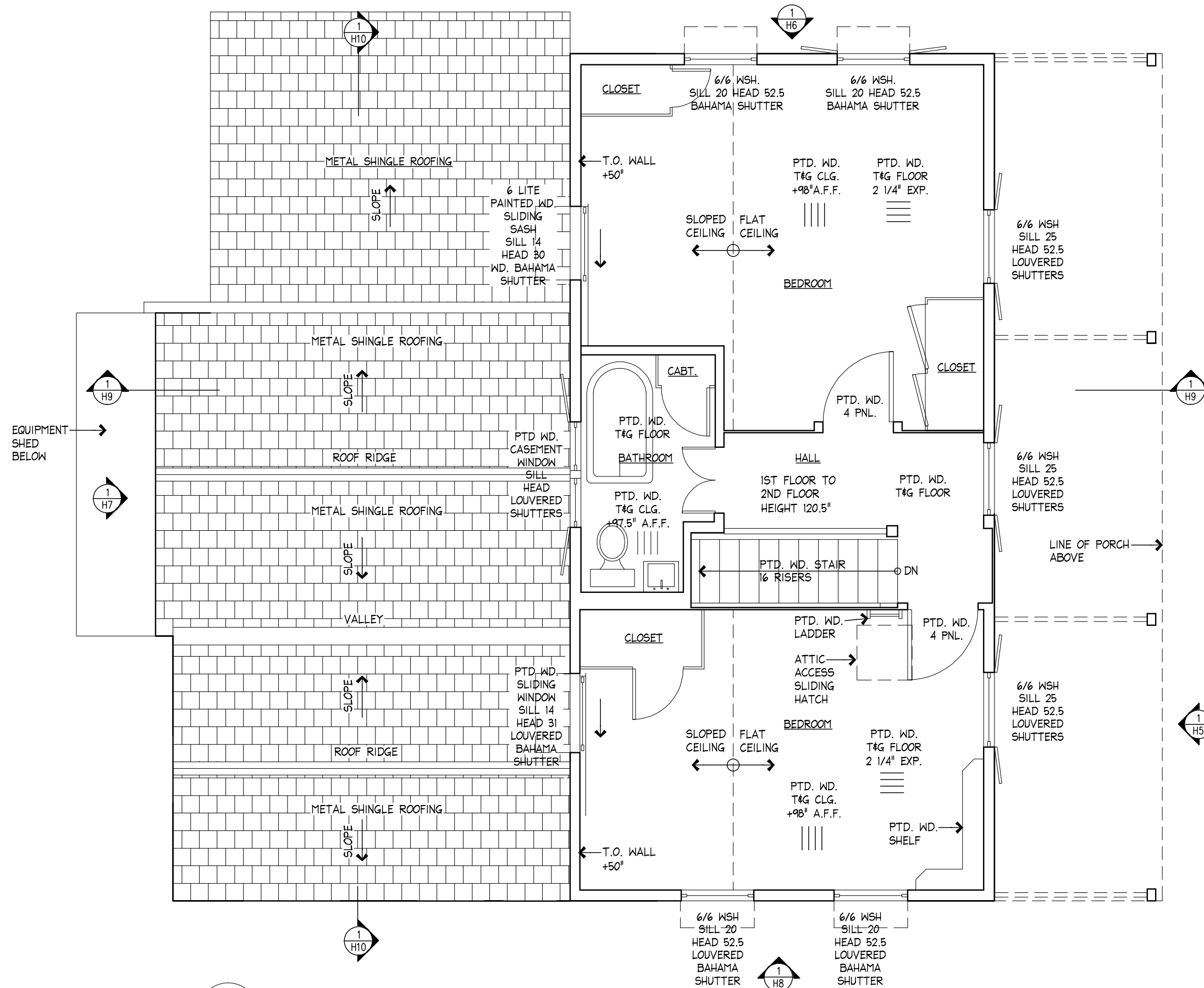
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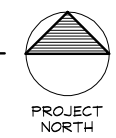
Project No. 1930
 HISTORIC
 FIRST FLOOR
 PLAN
Date: 4/1/20

H2
 185

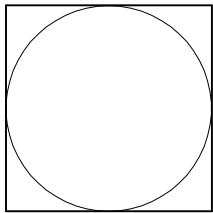


1
H3 SECOND FLOOR PLAN - CIRCA 1941 - 1946

SCALE 1/4"=1'-0"



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 HISTORIC STRUCTURES REPORT
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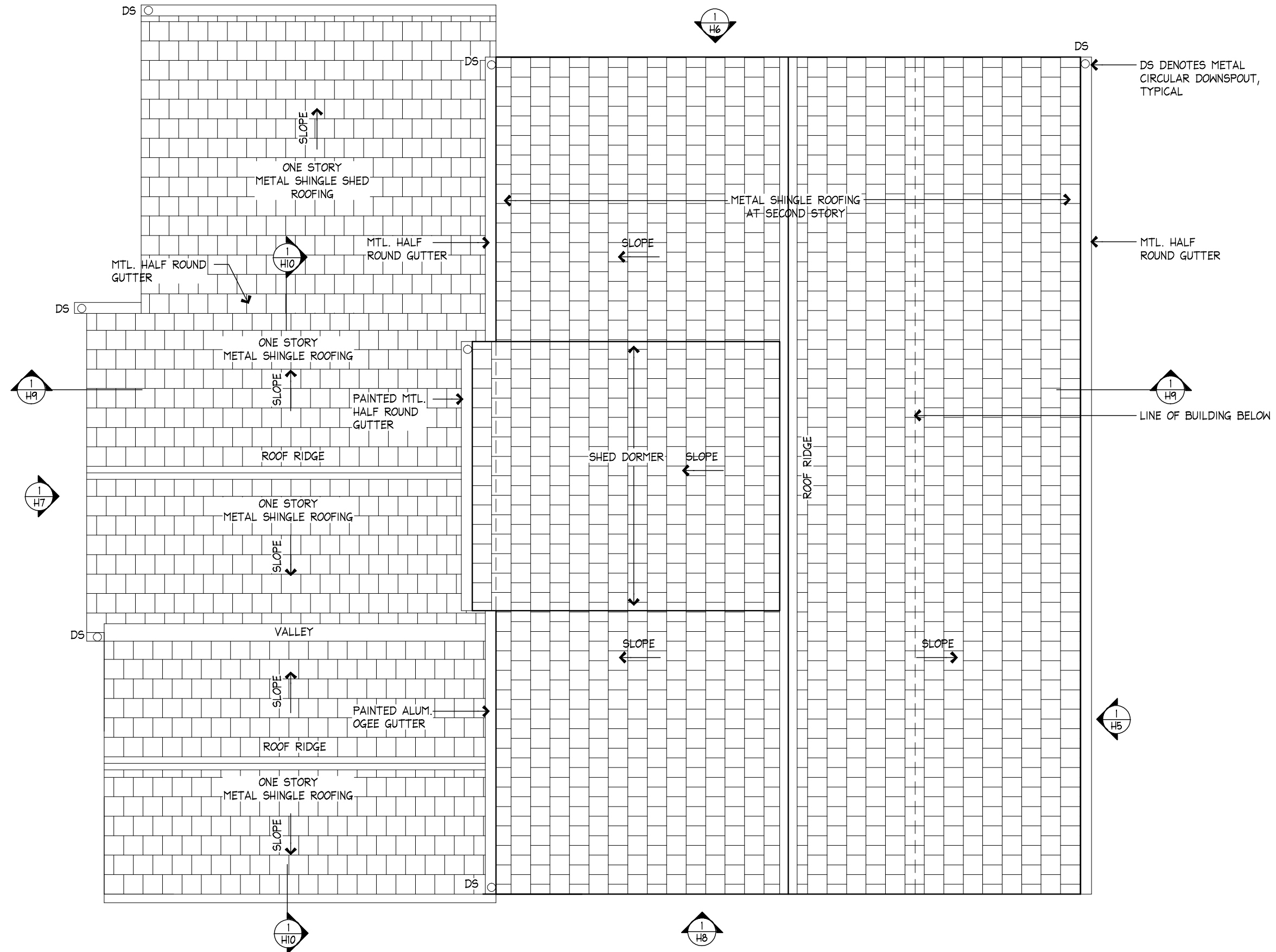


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 PROBABLE HISTORIC SECOND FLOOR PLAN
 Date: 4/1/20

H3
 186



DS DENOTES METAL CIRCULAR DOWNSPOUT, TYPICAL

MTL. HALF ROUND GUTTER

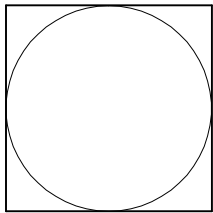
LINE OF BUILDING BELOW

1
H4
ROOF PLAN - CIRCA 1941 - 1946

SCALE 1/4"=1'-0"



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 624 WHITE STREET - KEY WEST FLORIDA
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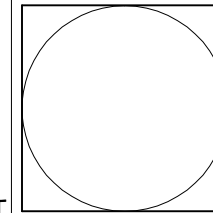


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Project No. 1930
 PROBABLE HISTORIC ROOF PLAN
Date: 4/1/20

H4
 187

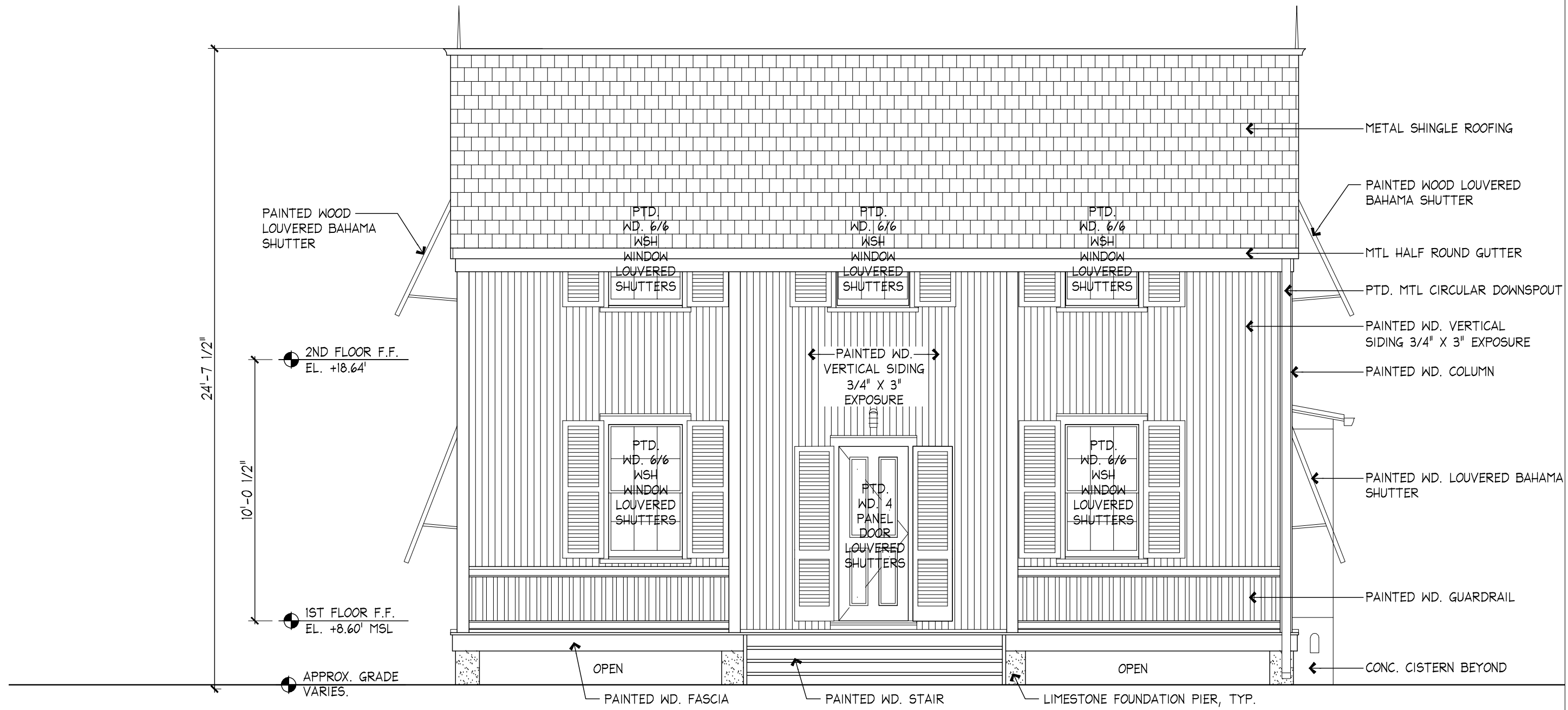


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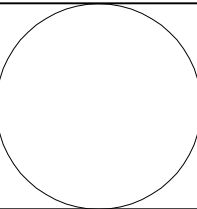
Project No. 1930
 PROBABLE HISTORIC EXTERIOR ELEVATIONS
 Date: 4/1/20

H5
 188



1 EAST (FRONT) EXTERIOR ELEVATION - CIRCA 1941 - 1946
 H5

SCALE 1/4"=1'-0"

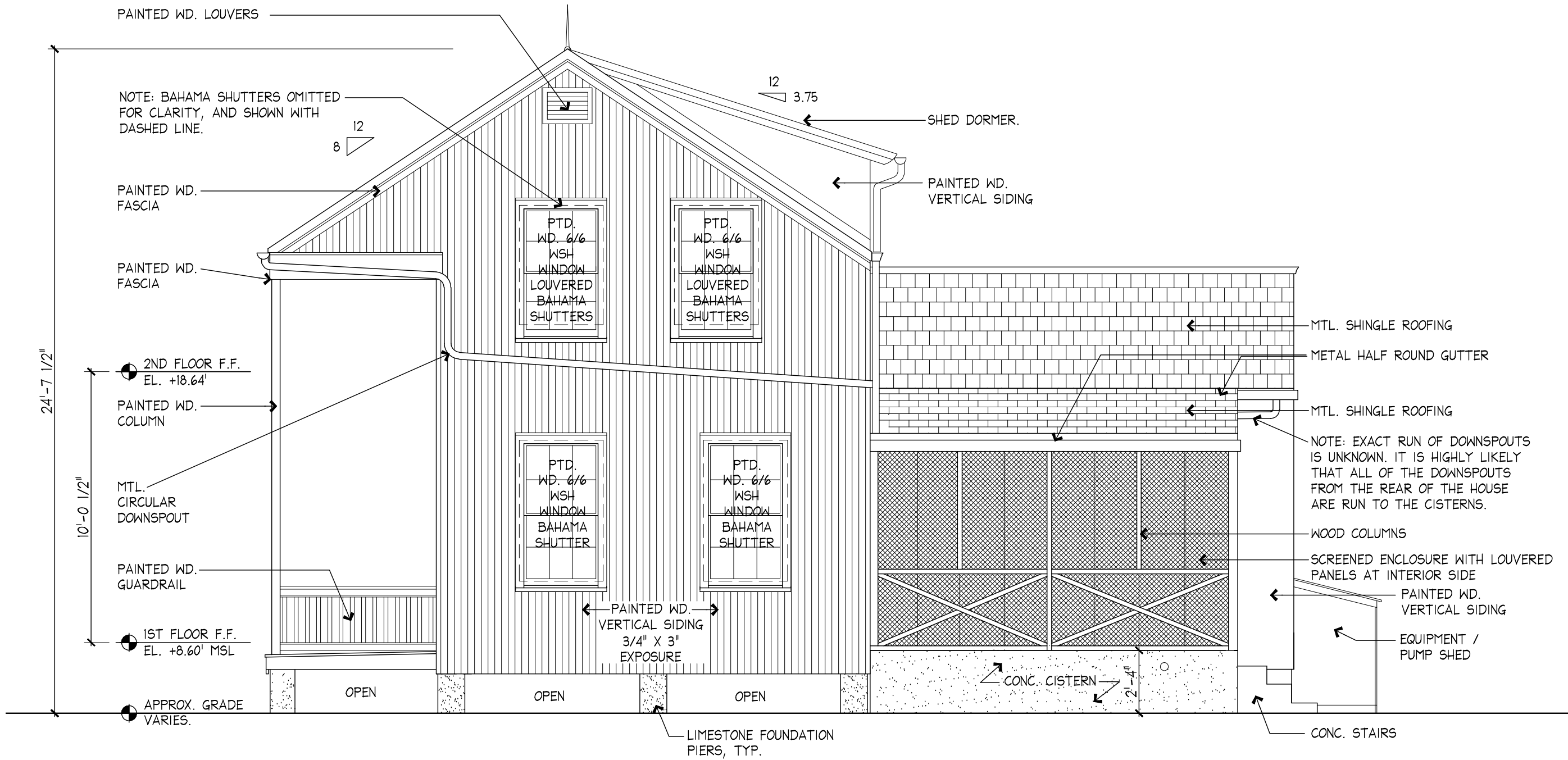


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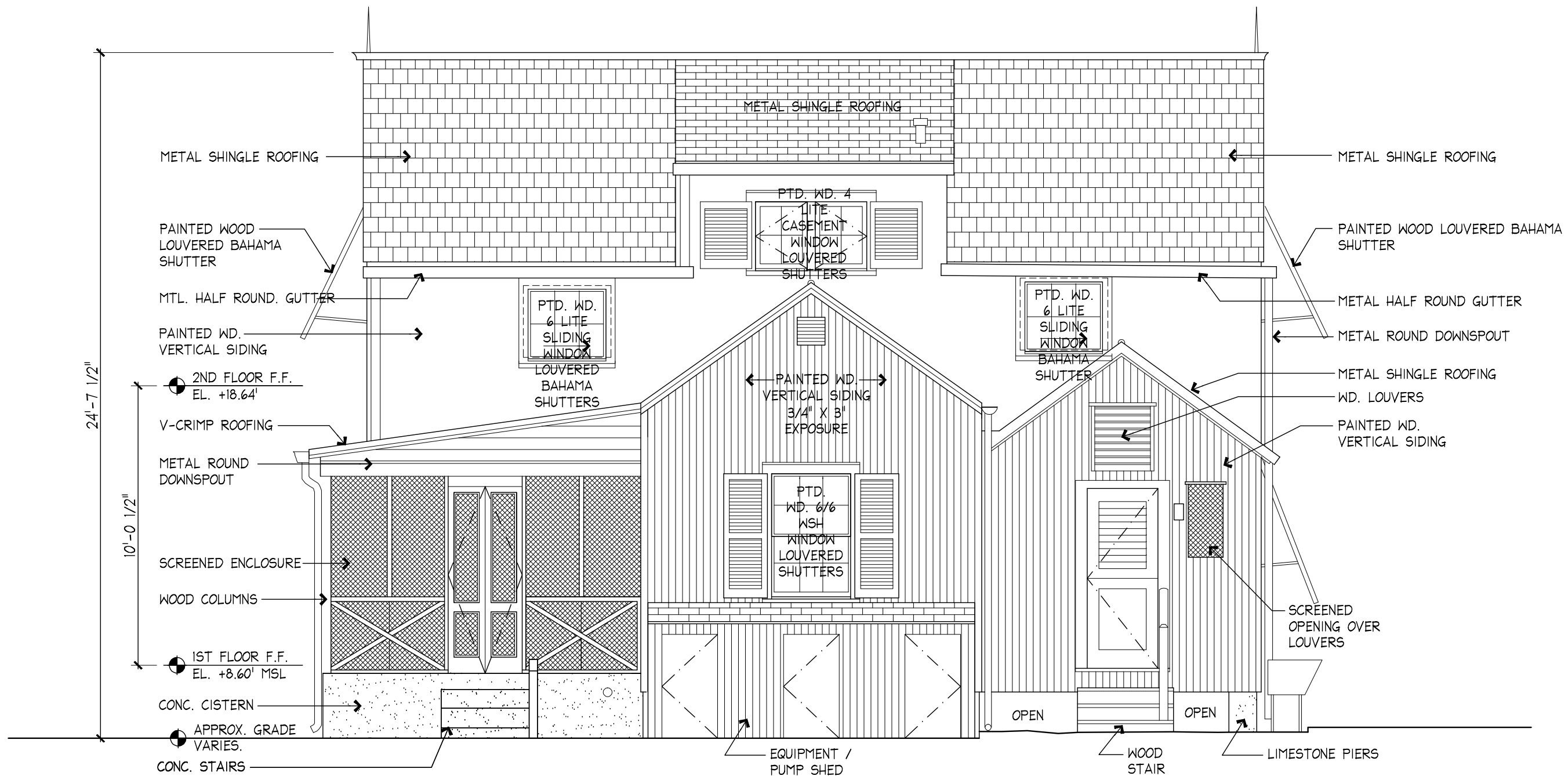
Project No. 1930
 PROBABLE
 HISTORIC
 EXTERIOR
 ELEVATIONS
Date: 4/1/20

H6
 189



1 NORTH EXTERIOR ELEVATION - CIRCA 1941 - 1946
 H6

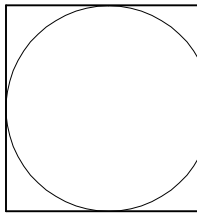
SCALE 1/4"=1'-0"



1 WEST (REAR) EXTERIOR ELEVATION - CIRCA 1941 - 1946
H7

SCALE 1/4"=1'-0"

ELIZABETH BISHOP HOUSE
 HISTORIC STRUCTURES REPORT
 624 WHITE STREET - KEY WEST FLORIDA
 KEY WEST LITERARY SEMINAR

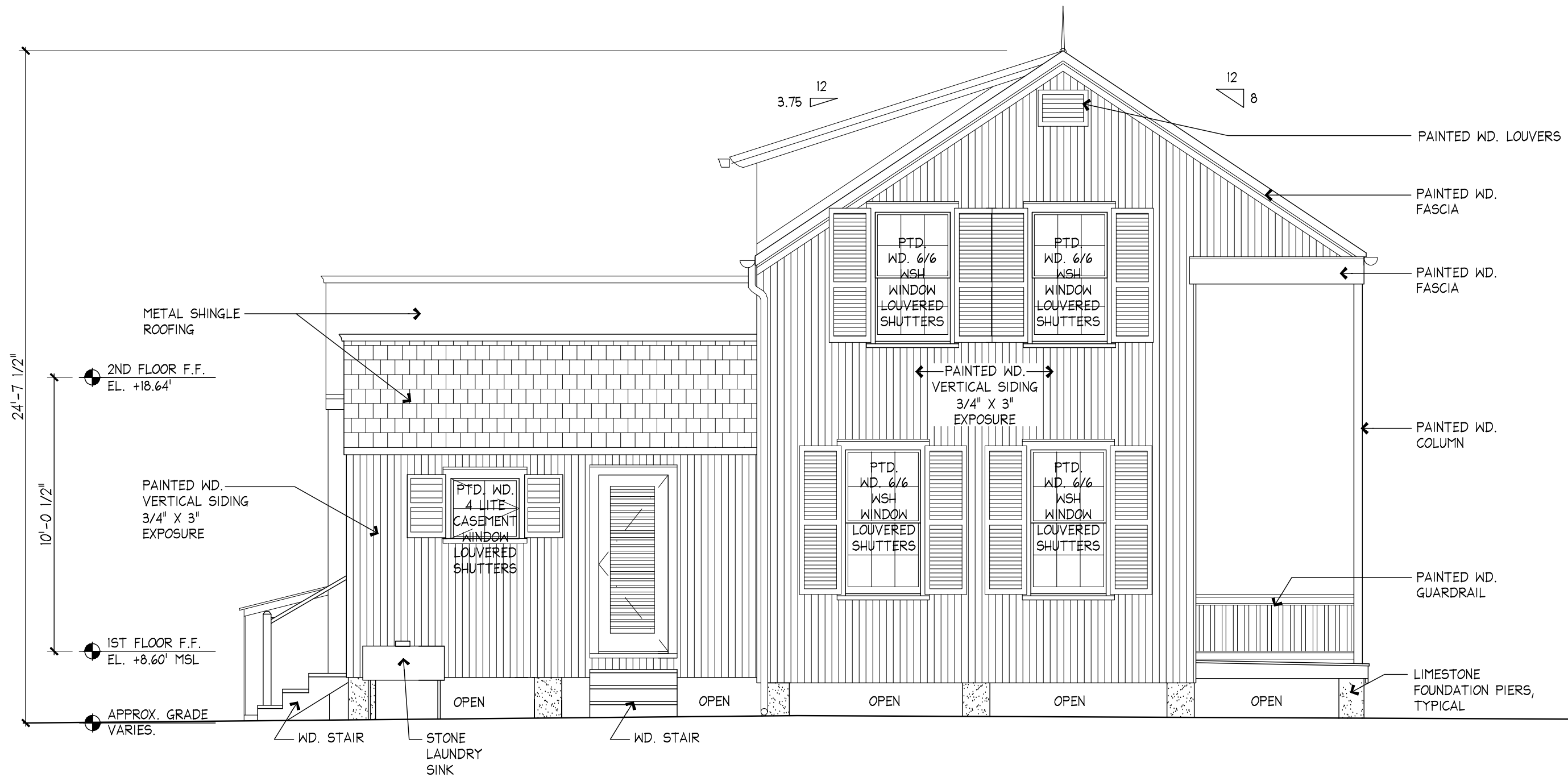


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Project No. 1930
 PROBABLE
 HISTORIC
 EXTERIOR
 ELEVATIONS
Date: 4/1/20

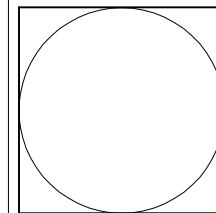
H7
 190



1 SOUTH EXTERIOR ELEVATION - CIRCA 1941 - 1946

SCALE 1/4"=1'-0"

ELIZABETH BISHOP HOUSE
 HISTORIC STRUCTURES REPORT
 624 WHITE STREET - KEY WEST FLORIDA
 KEY WEST LITERARY SEMINAR

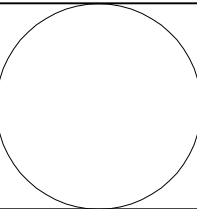


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Project No. 1930
 PROBABLE
 HISTORIC
 EXTERIOR
 ELEVATIONS
Date: 4/1/20

H8
 191

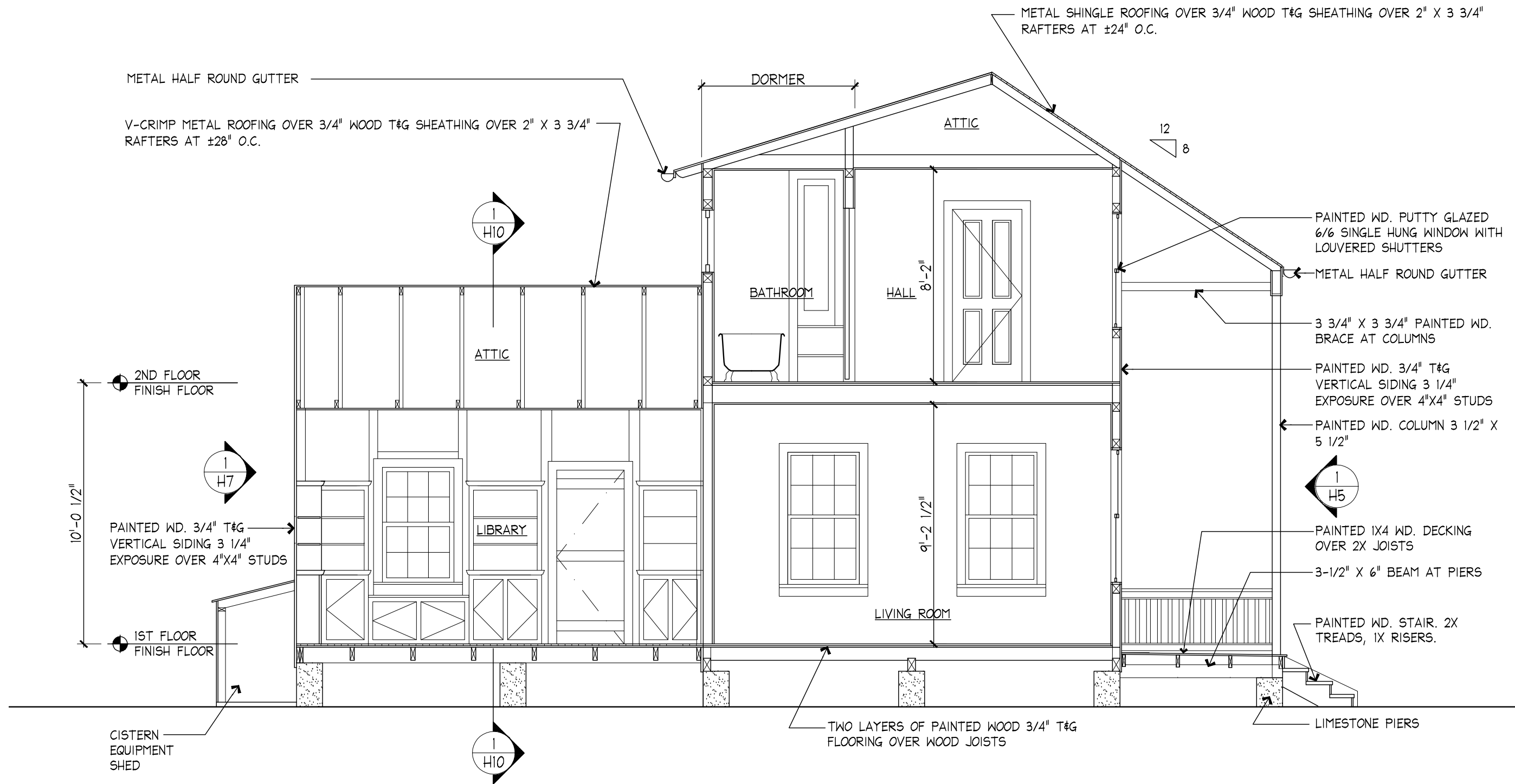


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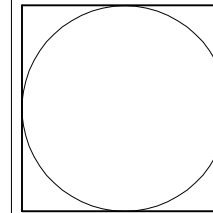
Project No. 1930
 PROBABLE
 HISTORIC
 BUILDING
 SECTION
Date: 4/1/20

H9
 192



1
H9 BUILDING SECTION LOOKING NORTH - CIRCA 1938

SCALE 1/4"=1'-0"

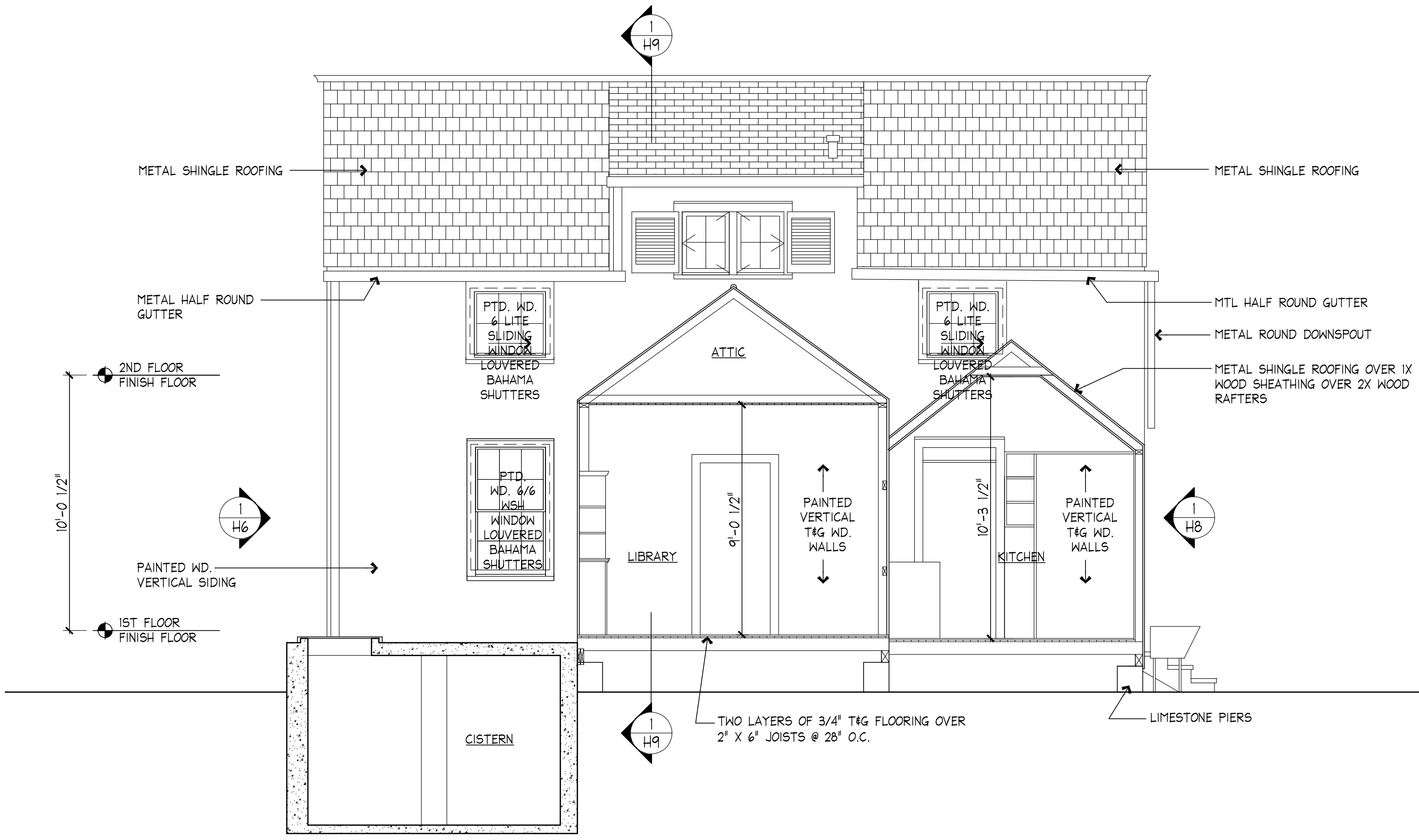


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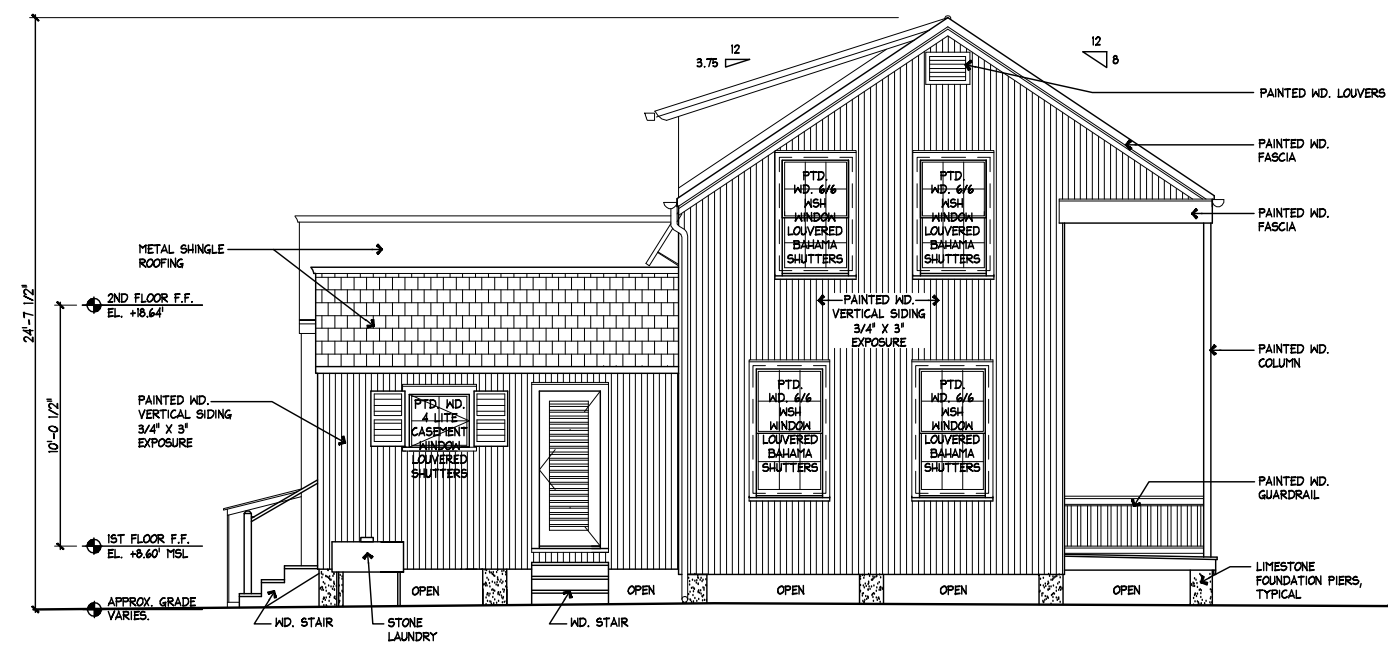
Project No. 1930
 PROBABLE
 HISTORIC
 BUILDING
 SECTION
Date: 4/1/20

H10
 193

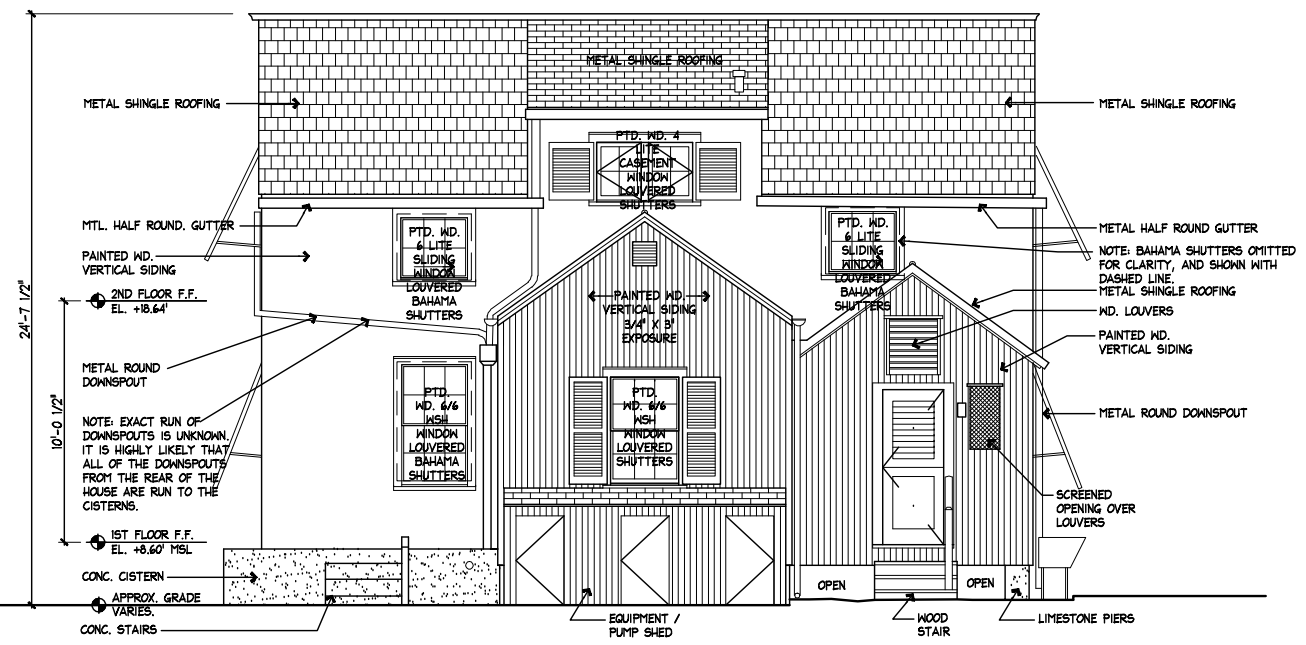


1 H10 BUILDING SECTION LOOKING EAST - CIRCA 1938

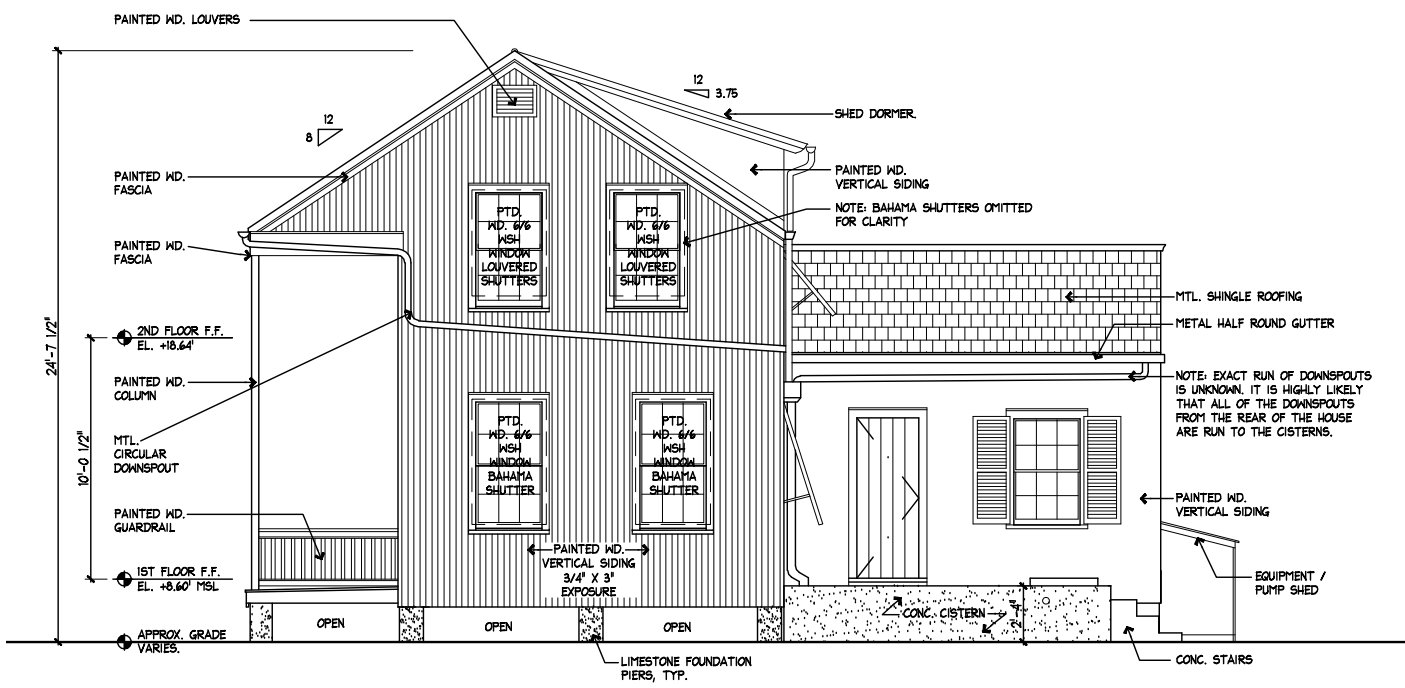
SCALE 1/4"=1'-0"



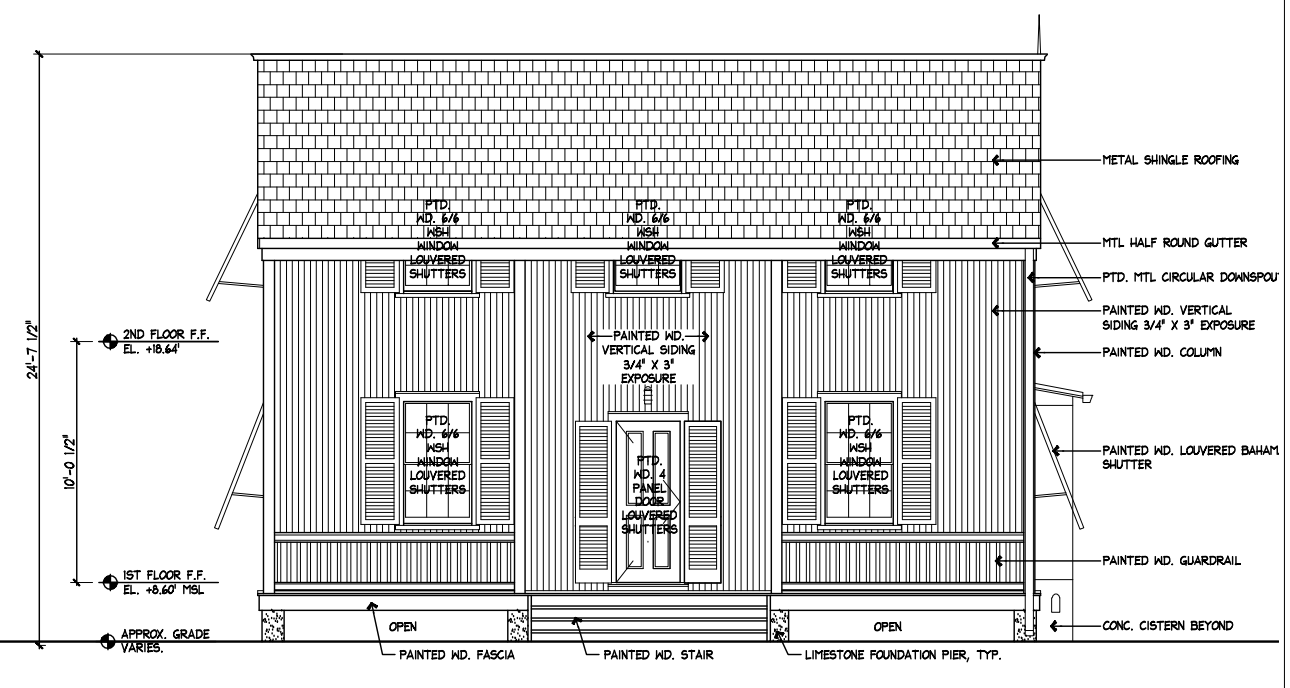
4 SOUTH EXTERIOR ELEVATION - CIRCA 1938
 H11 SCALE 1/8" = 1'-0"



3 WEST EXTERIOR ELEVATION - CIRCA 1938
 H11 SCALE 1/8" = 1'-0"

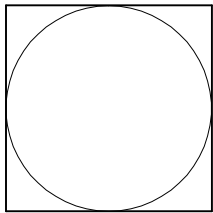


2 NORTH EXTERIOR ELEVATION - CIRCA 1938
 H11 SCALE 1/8" = 1'-0"



1 EAST EXTERIOR ELEVATION - CIRCA 1938
 H11 SCALE 1/8" = 1'-0"

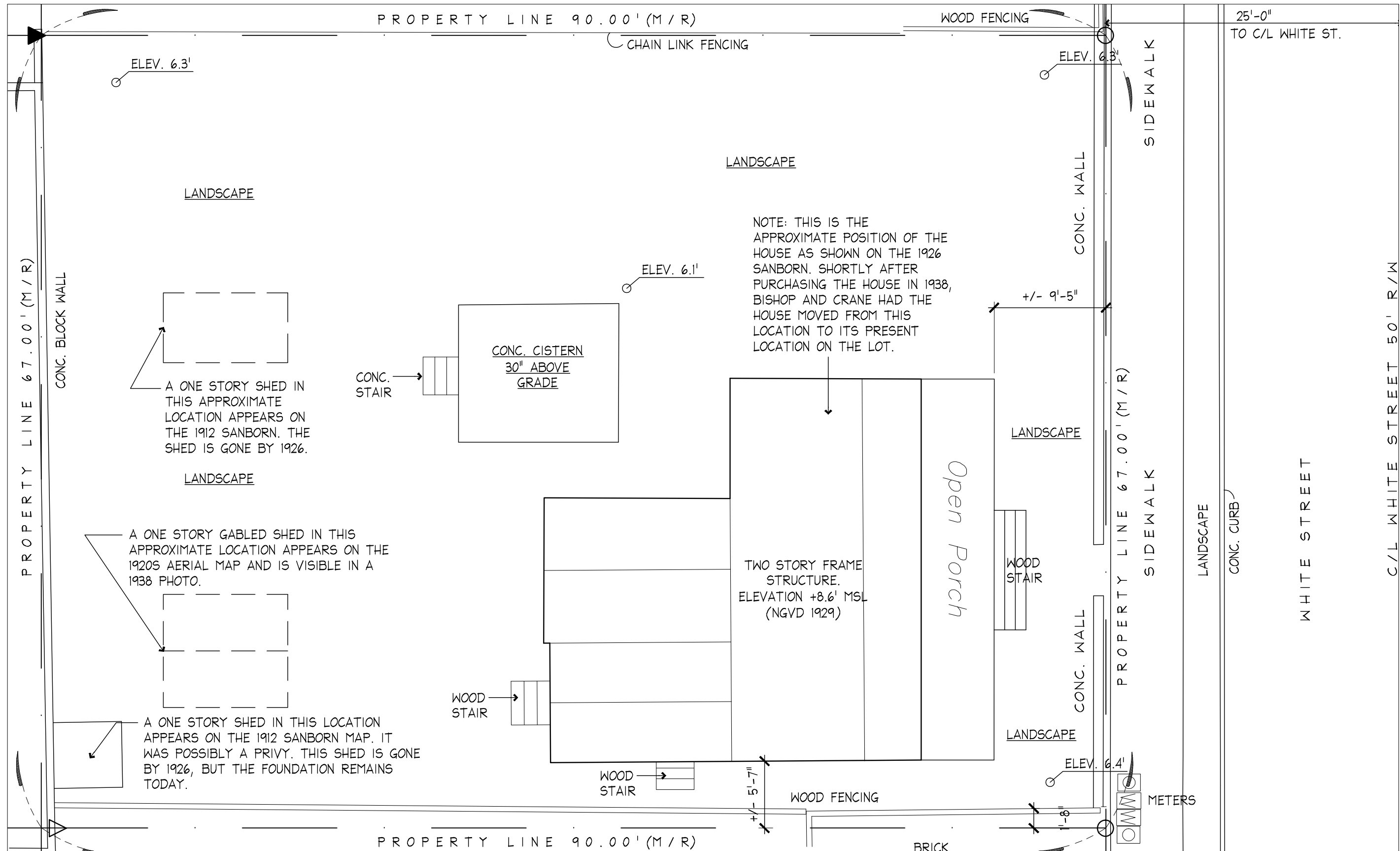
NOTE: THIS IS THE PROBABLE CONFIGURATION OF THE HOUSE IN 1938, JUST AFTER THE FIRST ROUND OF RENOVATIONS MADE BY LOUISE CRANE AND ELIZABETH BISHOP. BISHOP MADE MANY ALTERATIONS TO THE HOUSE IN THE FOLLOWING EIGHT YEARS. THESE DRAWINGS REPRESENT THE 'STARTING POINT' OF THESE ALTERATIONS IN 1938.



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 1938 HISTORIC
 EXTERIOR
 ELEVATIONS
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NOTE: THIS IS THE APPROXIMATE POSITION OF THE HOUSE AS SHOWN ON THE 1926 SANBORN. SHORTLY AFTER PURCHASING THE HOUSE IN 1938, BISHOP AND CRANE HAD THE HOUSE MOVED FROM THIS LOCATION TO ITS PRESENT LOCATION ON THE LOT.

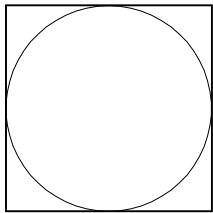
A ONE STORY SHED IN THIS APPROXIMATE LOCATION APPEARS ON THE 1912 SANBORN. THE SHED IS GONE BY 1926.

A ONE STORY GABLED SHED IN THIS APPROXIMATE LOCATION APPEARS ON THE 1920S AERIAL MAP AND IS VISIBLE IN A 1938 PHOTO.

A ONE STORY SHED IN THIS LOCATION APPEARS ON THE 1912 SANBORN MAP. IT WAS POSSIBLY A PRIVY. THIS SHED IS GONE BY 1926, BUT THE FOUNDATION REMAINS TODAY.

NOTE: THIS IS THE PROBABLE CONFIGURATION OF THE HOUSE IN 1938, WHEN IT IS PURCHASED BY LOUISE CRANE AND ELIZABETH BISHOP. BISHOP AND CRANE MADE MANY ALTERATIONS TO THE HOUSE IN THE FOLLOWING EIGHT YEARS. THESE DRAWINGS REPRESENT THE 'STARTING POINT' OF THESE ALTERATIONS.

ELIZABETH BISHOP HOUSE
 HISTORIC STRUCTURES REPORT
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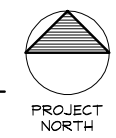
Project No. 1930
 EXISTING SITE PLAN
 CIRCA 1938
Date: 4/1/20

H12
 195

1
H12

SITE PLAN - BISHOP HOUSE - CIRCA 1938

SCALE 1/8"=1'-0"



14. FEMA Flood Maps

NOTE: These FEMA maps are accurate per January 2020. However, The FEMA flood maps are due to be updated in the next 18 months, with a probable significant increase in Flood Zone requirements to AE-8 or AE-9. Consult the FEMA website for the most accurate information.

It should be noted that raising the building will not be required, as it is protected under the 2017 Florida Building Code, Existing.

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 3/17/2020 at 2:33:30 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

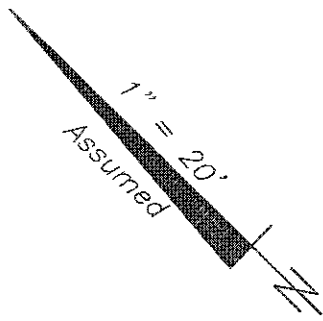
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

24°33'49.31"N

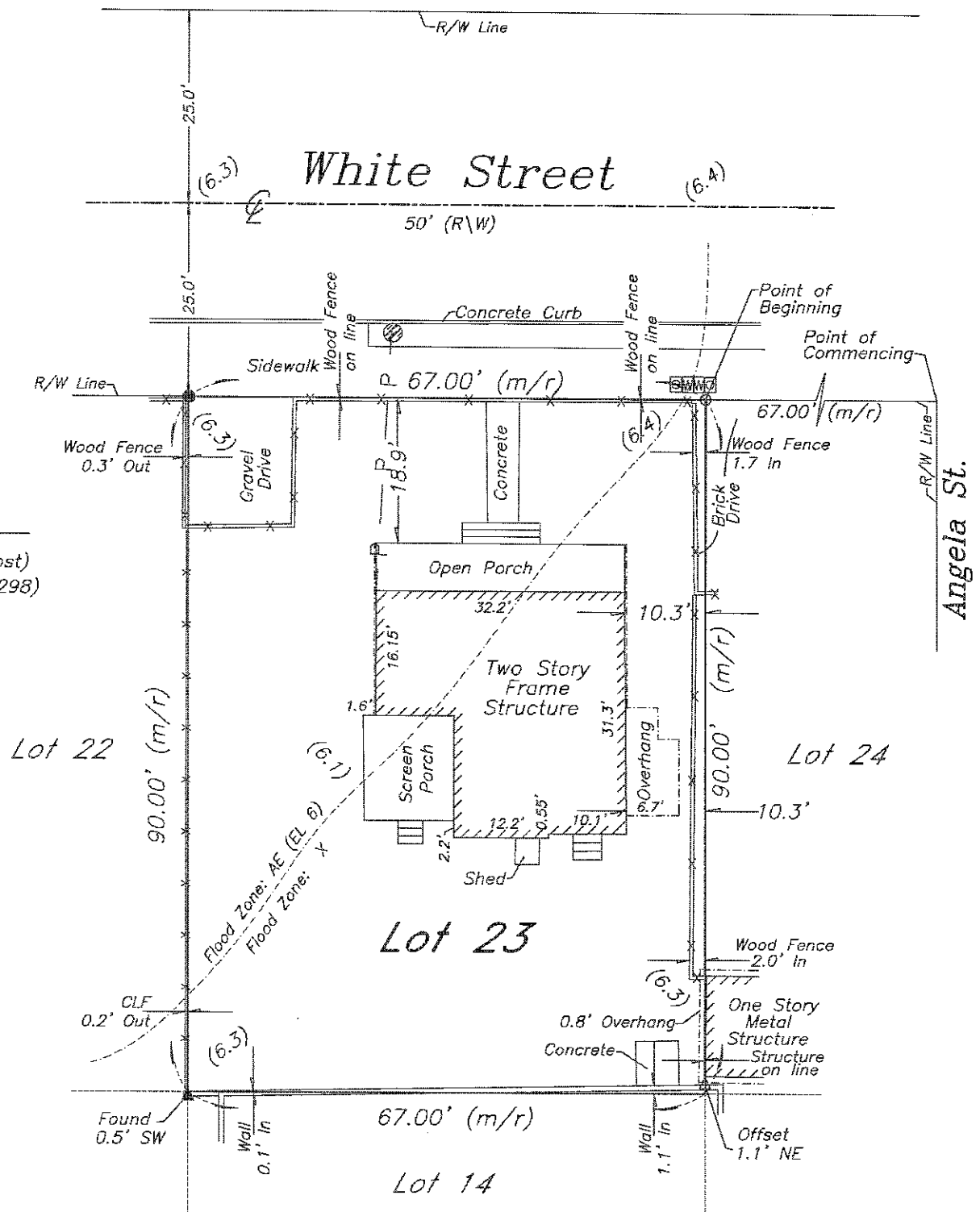


15. Property Survey and Elevation Certificate

Boundary Survey Map of part of Lot 1, Square 55, Island of Key West, Florida



- ### LEGEND
- ⊙ Found 2" Iron Pipe (Fence Post)
 - Set 3/4" Iron Pipe w/cap (5298)
 - Found 1/2" Iron Rod (No ID)
 - ▲ Found Nail & Disc (FHH)
 - △ Set Nail & Disc (6298)
 - (M) Measured
 - (R) Record
 - (M/R) Measured & Record
 - C.B.S. Concrete Block Structure
 - R\W Right of Way
 - CLF Chain Link Fence
 - ⊕ Centerline
 - ⊙ Wood Utility Pole
 - ⊠ Concrete Utility Pole
 - P- Overhead Utility Lines
 - ⊠ Sewer Cleanout
 - ⊠ Water Meter
 - (6.0) Spot Elevation (Typical)



- NOTES:**
1. The legal description shown hereon was furnished by the client or their agent. This survey does not determine or imply ownership.
 2. Underground foundations and utilities were not located.
 3. All angles are 90° (Measured & Record) unless otherwise noted.
 4. Street address: 624 White Street, Key West, FL.
 5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
 7. North Arrow is assumed and based on the legal description.
 8. Date of field work: October 3, 2019
 9. Ownership of fences is undeterminable, unless otherwise noted.
 10. Adjoiners are not furnished.
 11. Elevations are shown in parenthesis and refer to Mean Sea Level, N.G.V.D. 1929 Datum.
 12. Benchmark utilized: U 267
 13. Flood Insurance Rate Map Zones: X & AE (EL 8); Community Panel #120168; 1516K; dated 2/18/05.

BOUNDARY SURVEY OF: In the City of Key West, Monroe County, Florida, and is known on William A. Whitehead's map, of the Island of Key West, delineated 1829, as part of Lot One (1) Square Fifty-five (55), and more particularly described as follows: Beginning at a point Sixty-seven (67) feet from the corner of Angela and White Streets running thence in a Northwesterly direction along White Street, Sixty-seven (67) feet; thence at right angles in a Southwesterly direction Ninety (90) feet; thence at right angles in a Southeasterly direction Sixty-seven (67) feet, thence at right angles in a Northeasterly direction Ninety (90) feet, back to the Point of Beginning. Be the several dimensions more or less.

BOUNDARY SURVEY FOR: Key West Literary Seminar, Inc.;
Helmerich Trust;
Oropeza Stones & Cardenas, PLLC;
Old Republic National Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298

October 12, 2019

THIS SURVEY
IS NOT
ASSIGNABLE

J. LYNN O'FLYNN, Inc.

Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name KEY WEST LITERARY SEMINAR, INC.				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 624 WHITE STREET				Company NAIC Number:	
City KEY WEST		State Florida		ZIP Code 33040	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) (Tax Parcel # 00010130-000000) (KW PT LOT 1 SQR 55)					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>					
A5. Latitude/Longitude: Lat. <u>24.5590 N</u> Long. <u>-81.7935 W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>5</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>0</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b <u>0</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>0</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number City of Key West 120168			B2. County Name Monroe		B3. State Florida
B4. Map/Panel Number 12087C1516	B5. Suffix K	B6. FIRM Index Date 02/18/2005	B7. FIRM Panel Effective/ Revised Date 06/12/2019	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 6
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 624 WHITE STREET			Policy Number:
City KEY WEST	State Florida	ZIP Code 33040	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.
 Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.
 Benchmark Utilized: BASIC Vertical Datum: 1929

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|---|-----|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | 8.6 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | 8.9 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | 0.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | 0.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | 6.8 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | 6.1 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | 6.5 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | 6.1 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name J. Lynn O'Flynn	License Number 6298	Place Seal Here
Title P.S.M.		
Company Name J. Lynn O'Flynn, Inc.		
Address 3430 Duck Avenue		
City Key West	State Florida	
Signature	Date 10/03/2019	Telephone (305) 296-7422

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

- C2. a) – SCREEN PORCH OVER CISTERN
- C2. b) – MAIN HOUSE
- C2. e) – WATER HEATER

LONGITUDE AND LATITUDE WERE DETERMINED BY USING GOOGLE EARTH.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 624 WHITE STREET			Policy Number:
City KEY WEST	State Florida	ZIP Code 33040	Company NAIC Number

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ . _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ . _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ . _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments

Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.	FOR INSURANCE COMPANY USE		
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 624 WHITE STREET	Policy Number:		
City KEY WEST	State Florida	ZIP Code 33040	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____
- G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name		Title
Community Name		Telephone
Signature		Date

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008
Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 624 WHITE STREET			Policy Number:
City KEY WEST	State Florida	ZIP Code 33040	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

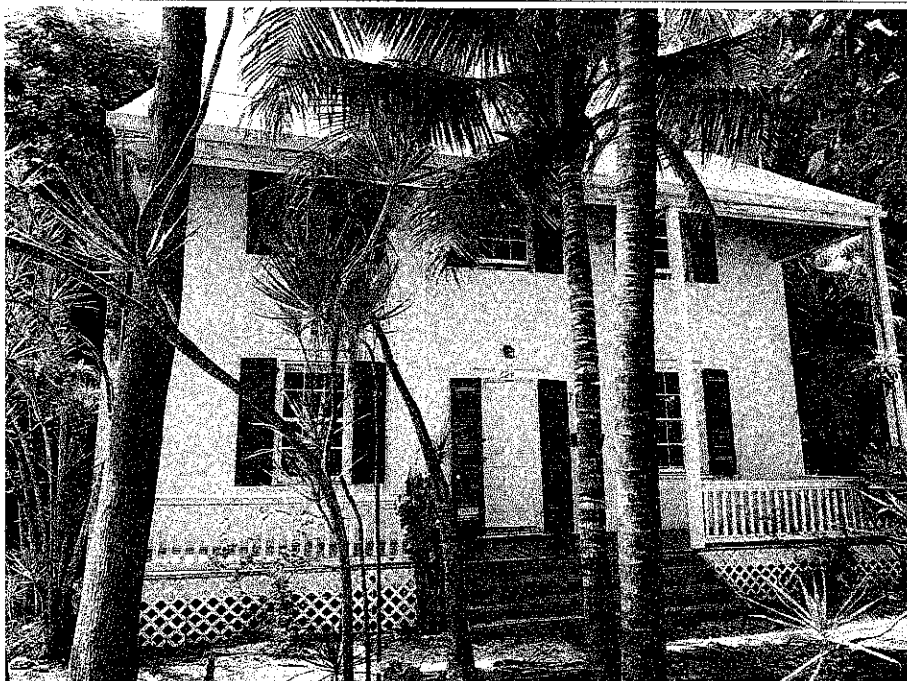


Photo One

Photo One Caption Front View 10/03/2019

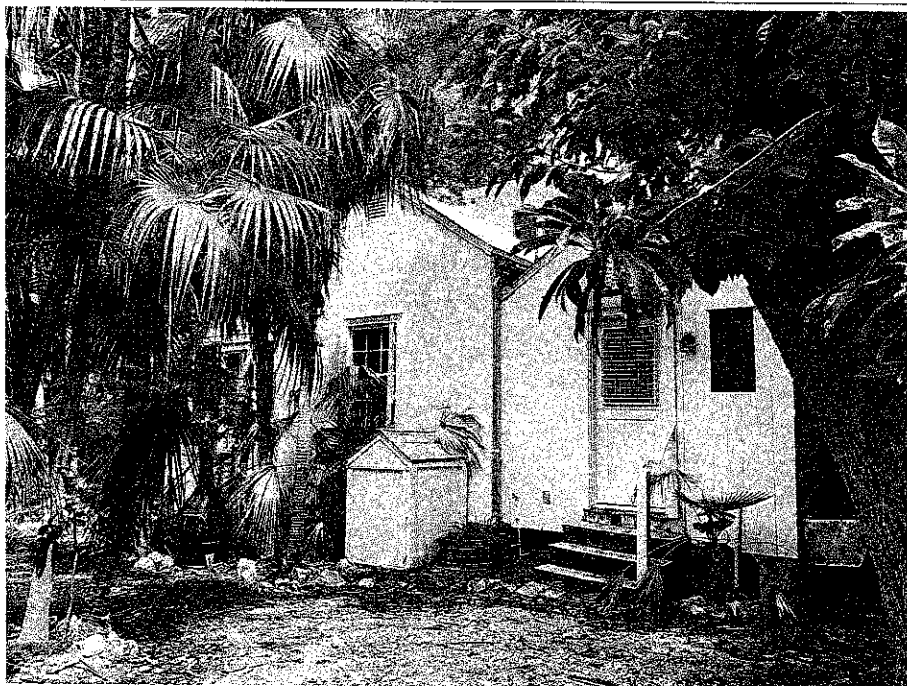


Photo Two

Photo Two Caption Rear View & Water Heater Shed 10/03/2019

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008
Expiration Date: November 30, 2018

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Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 624 WHITE STREET			Policy Number:
City KEY WEST	State Florida	ZIP Code 33040	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

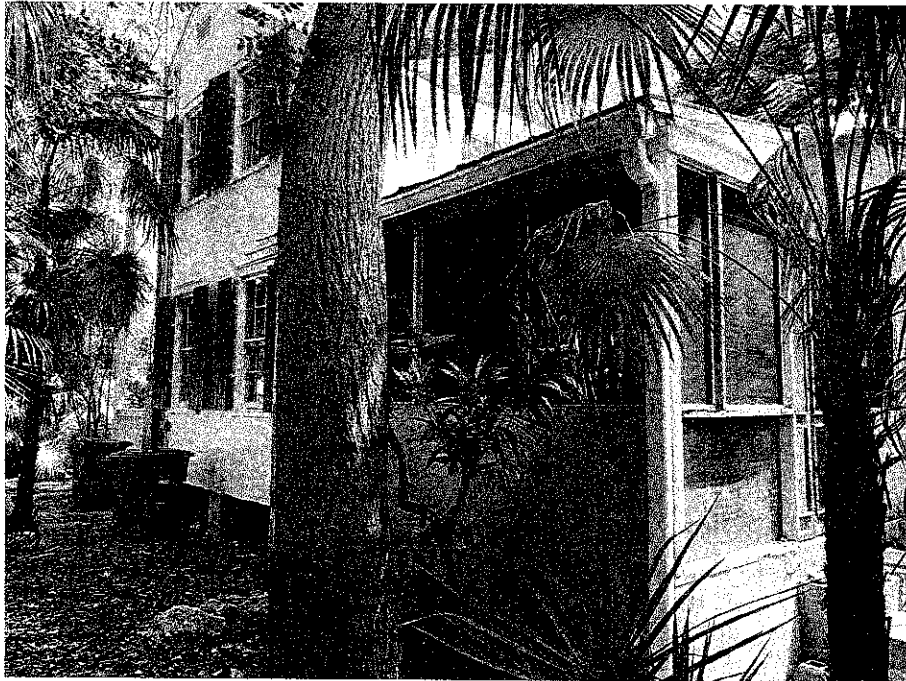


Photo One

Photo One Caption Side View & C2. a 10/03/2019

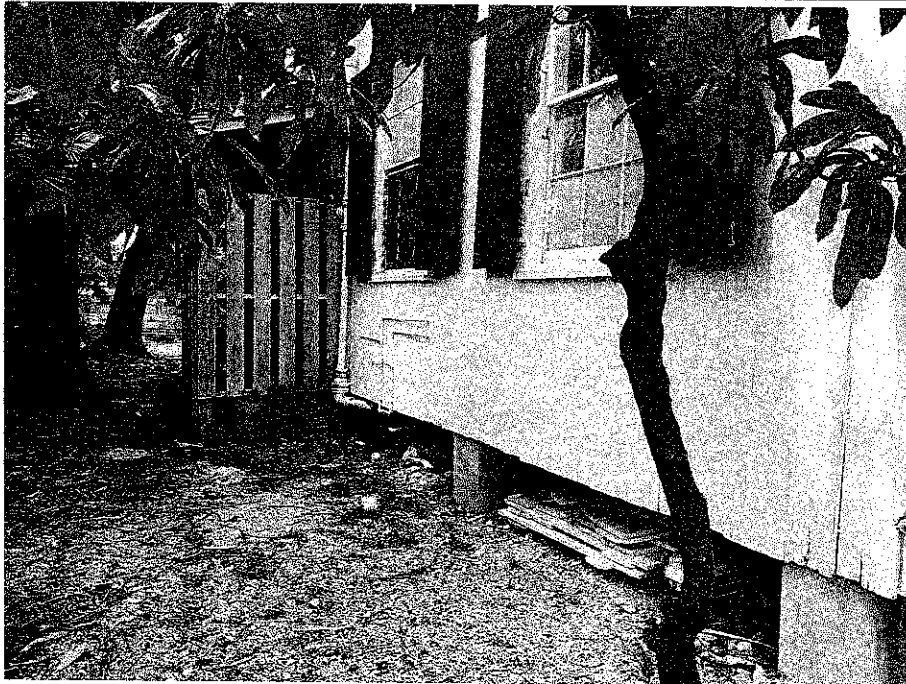
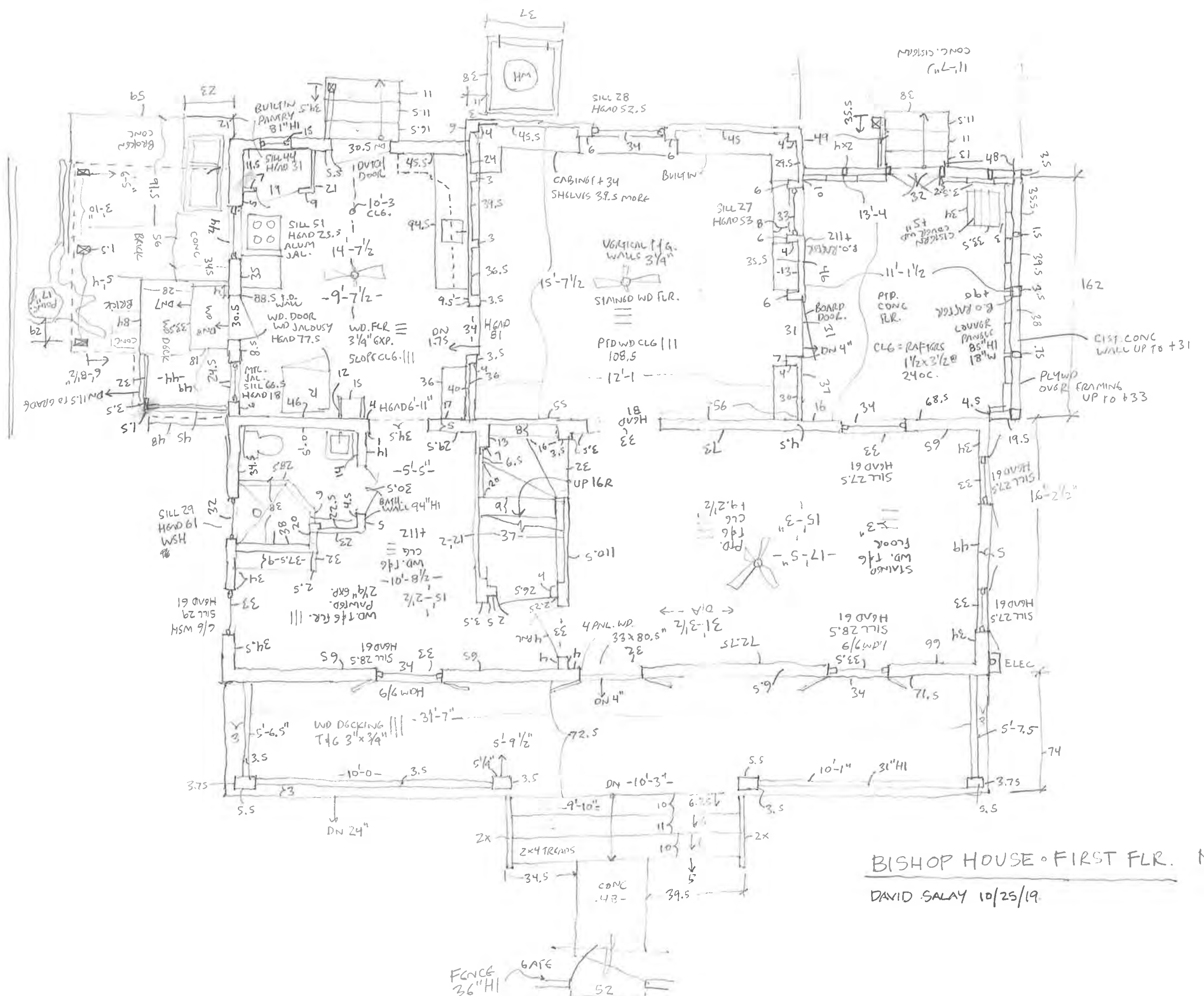


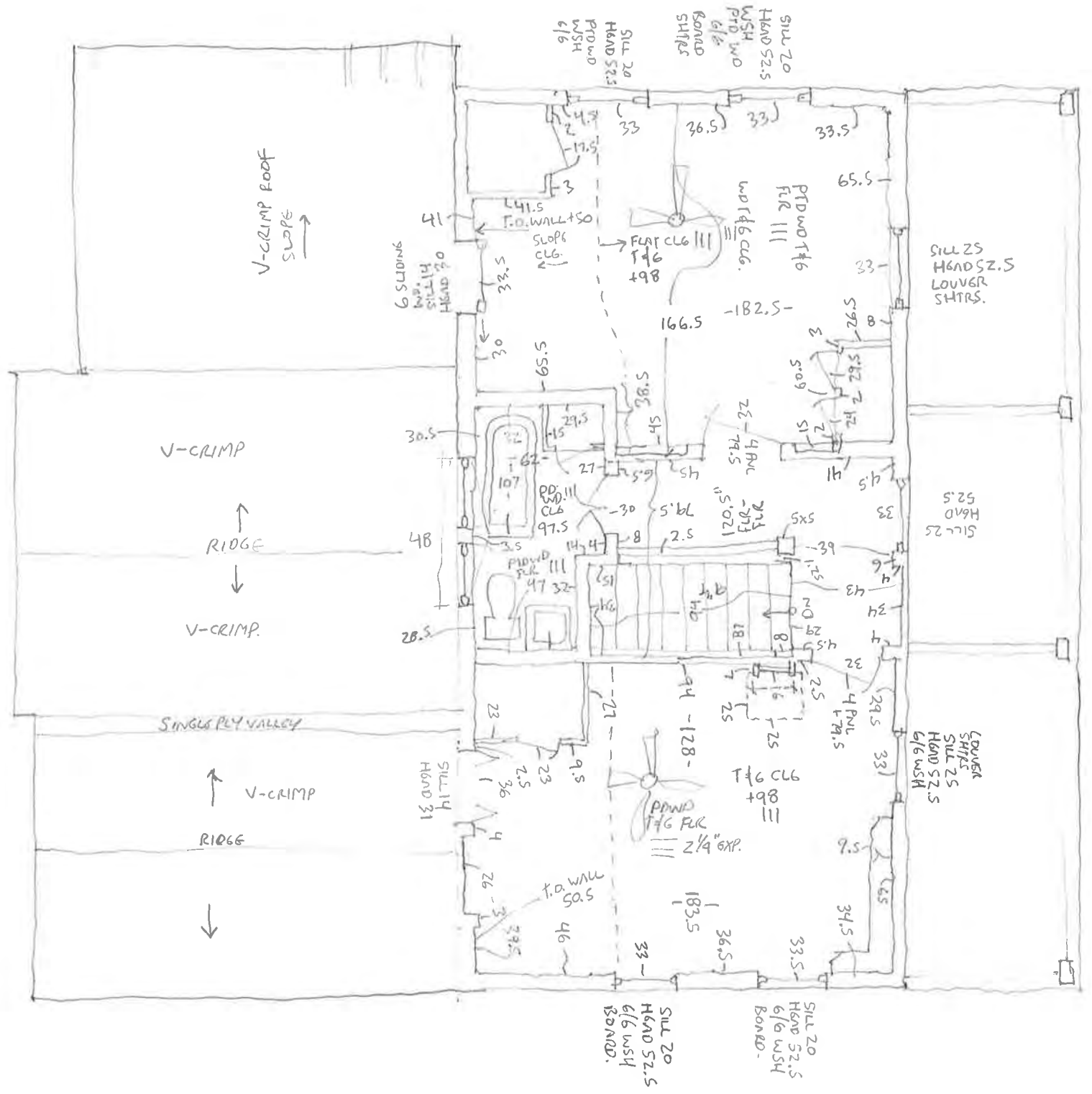
Photo Two

Photo Two Caption Side View 10/03/2019

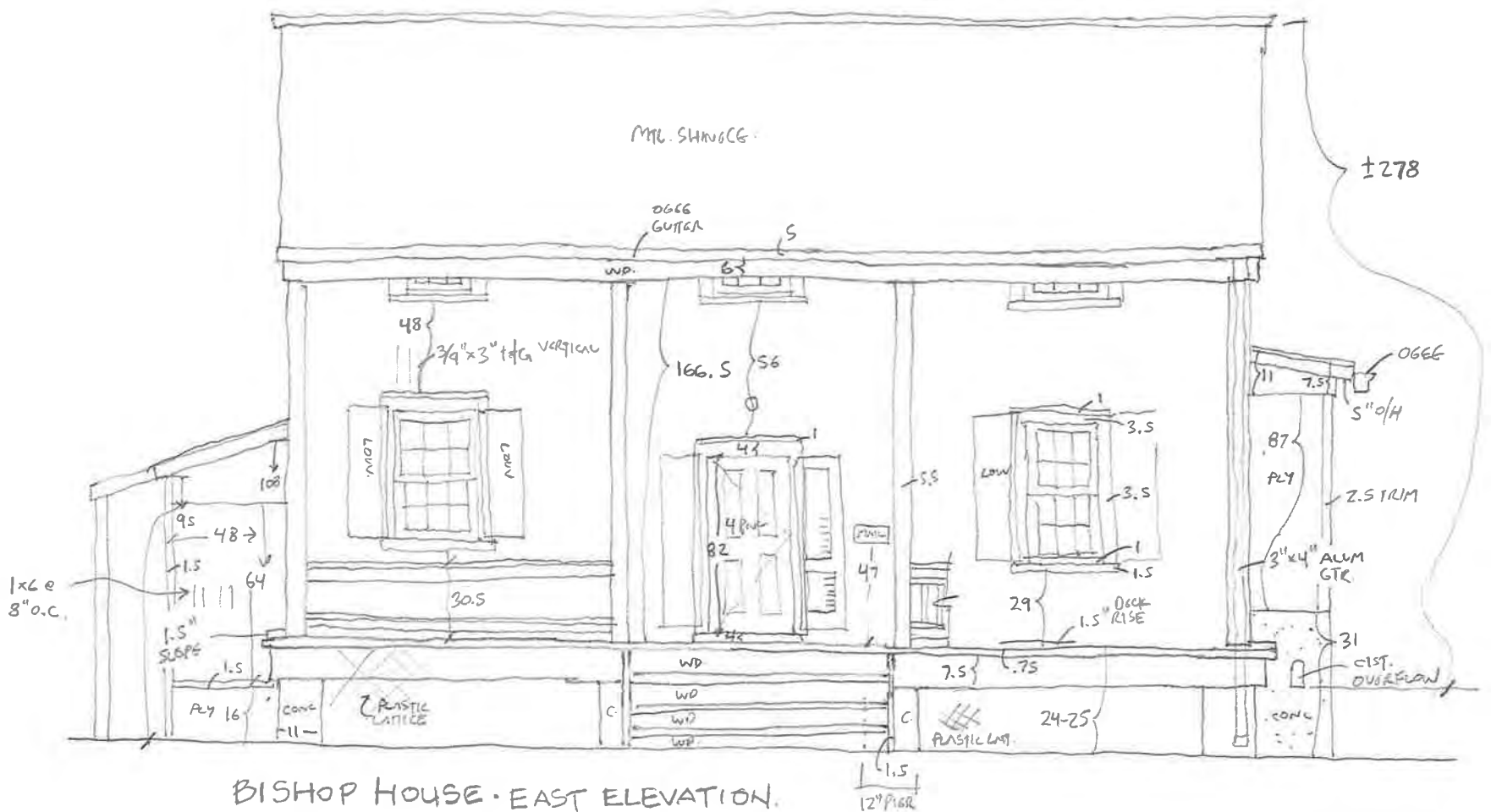
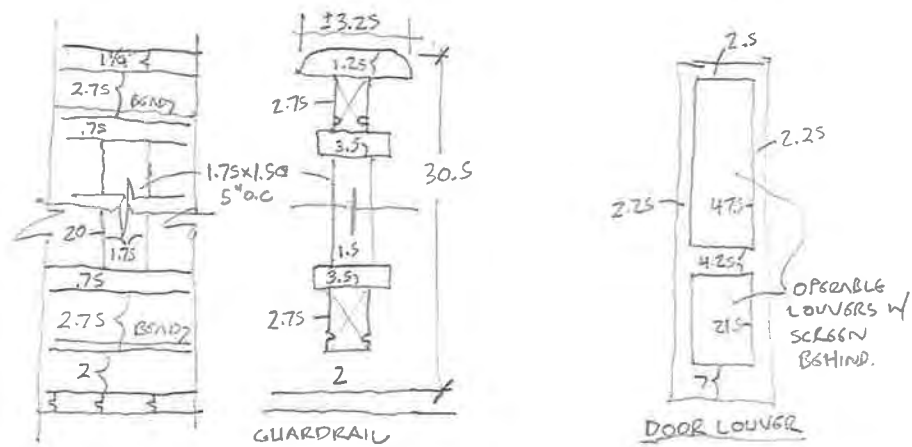
16. Existing Conditions Sketches

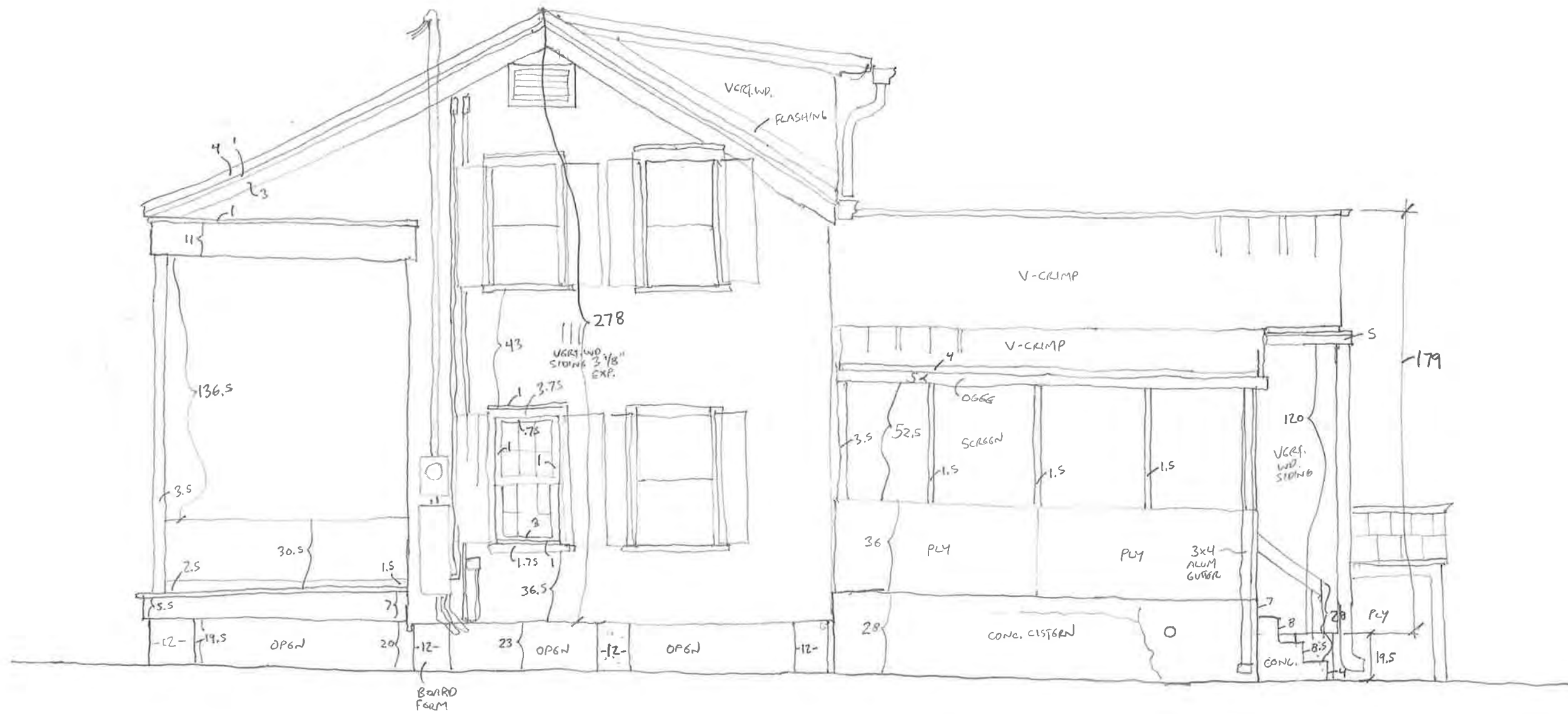


BISHOP HOUSE - FIRST FLR. ND
 DAVID SALAY 10/25/19.

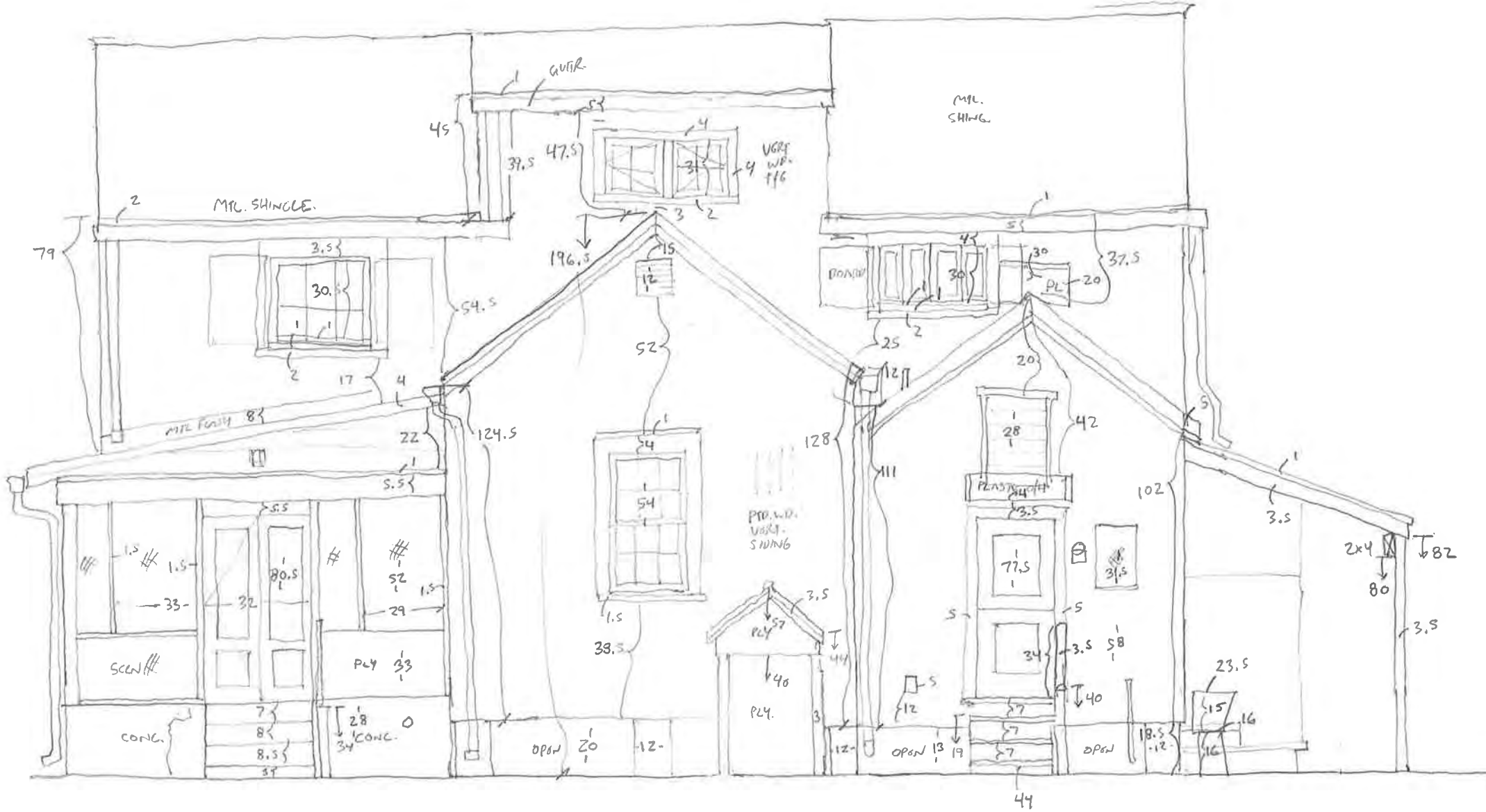


SECOND FLOOR PLAN \uparrow \rightarrow N

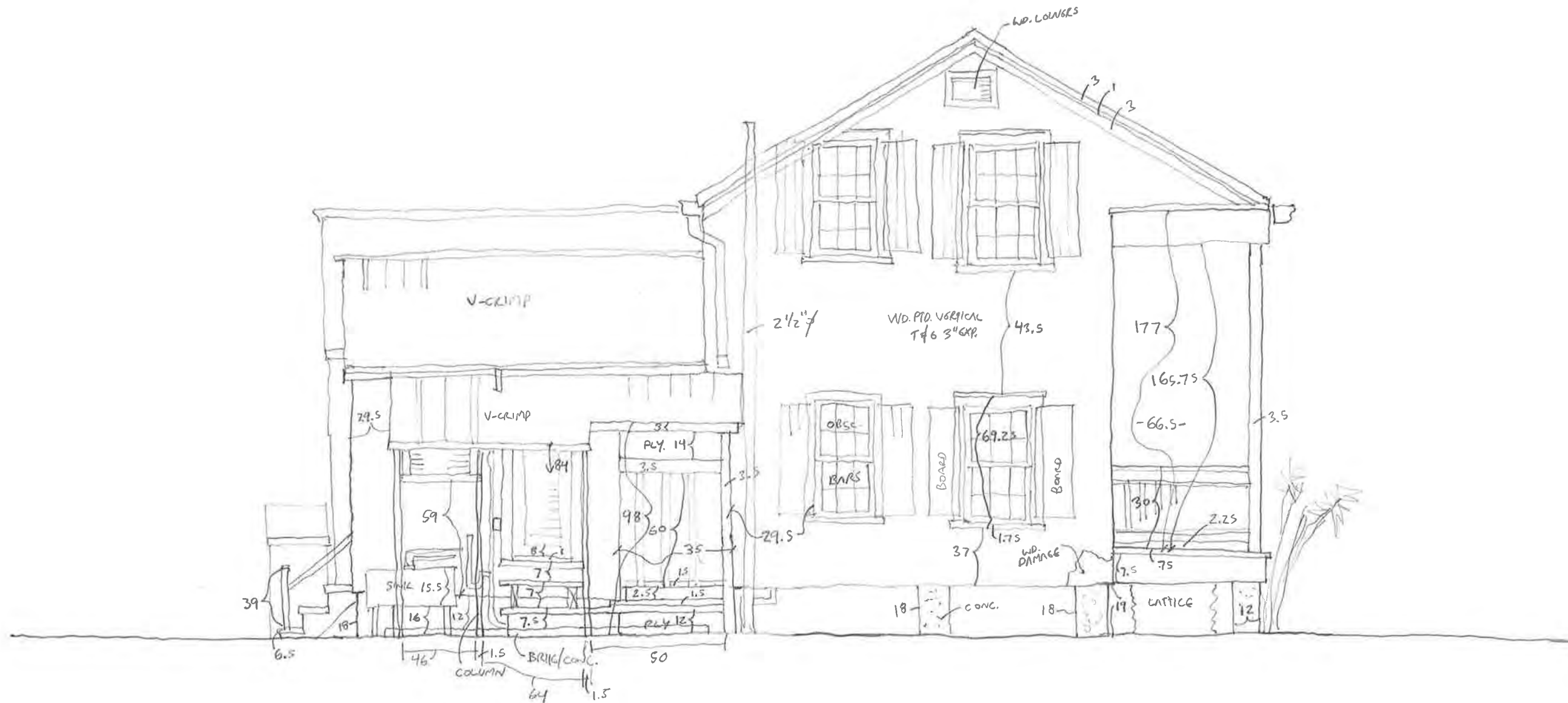




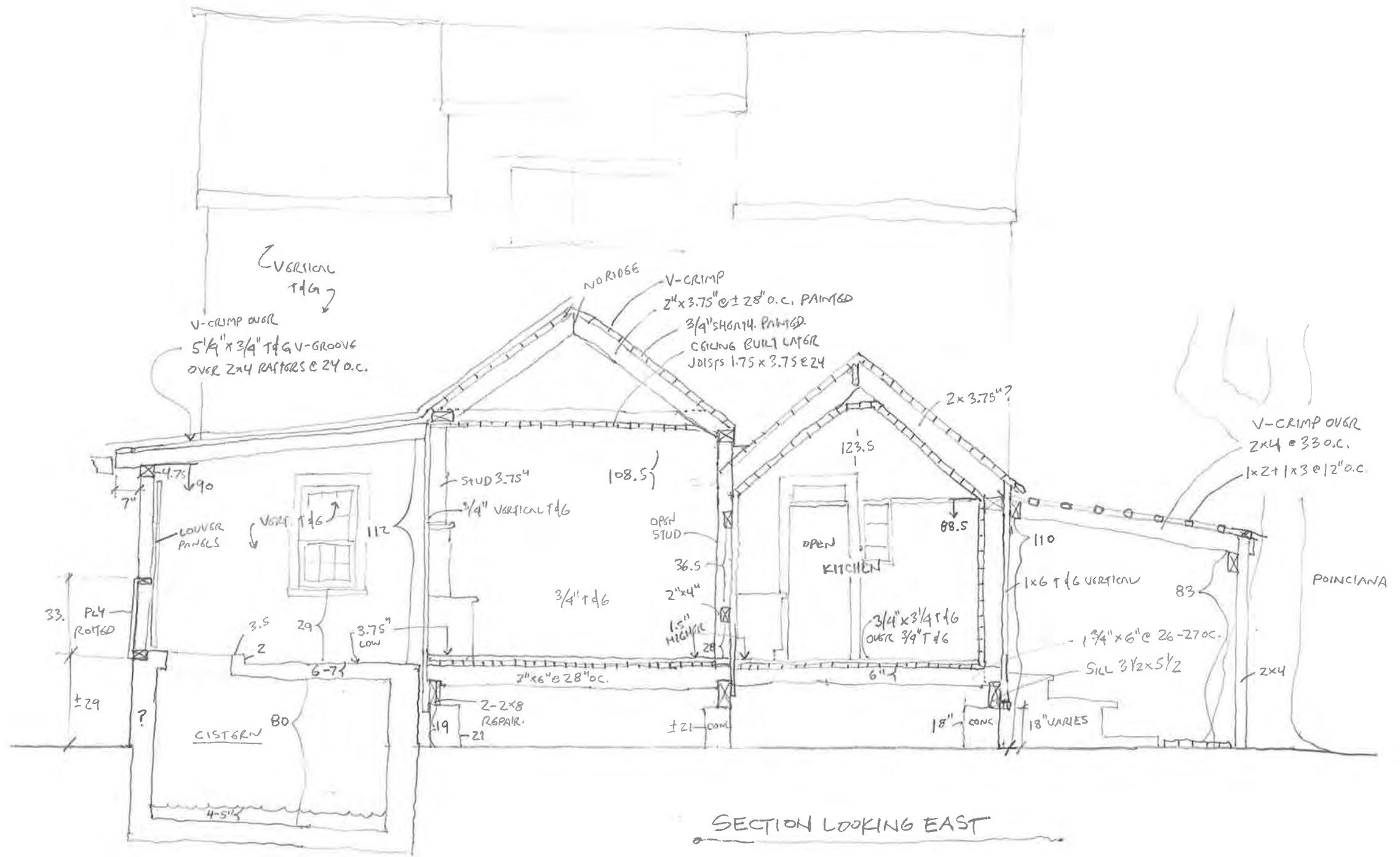
NORTH ELEVATION



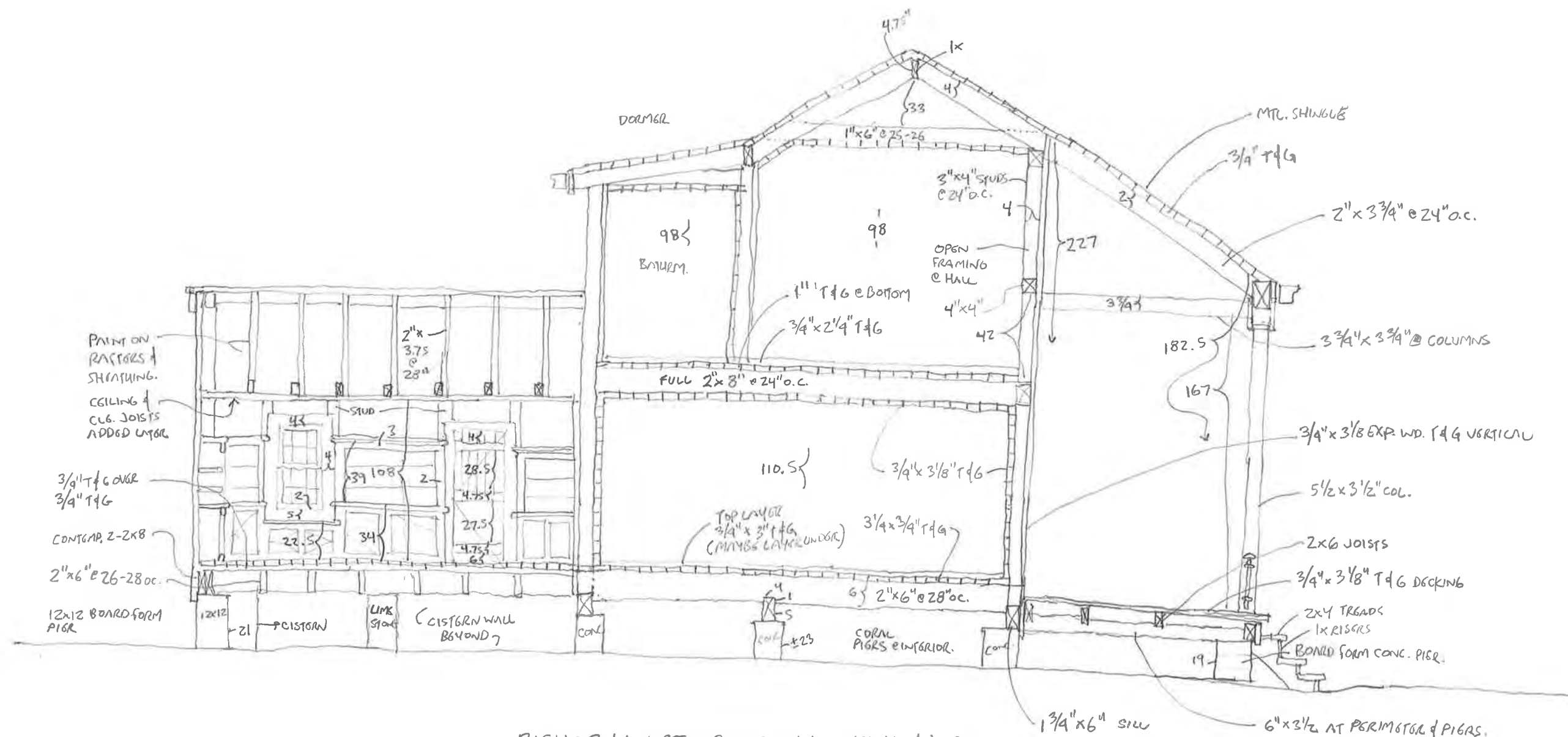
BISHOP HOUSE · WEST (REAR) ELEV.



BISHOP HOUSE - SOUTH ELEVATION



SECTION LOOKING EAST



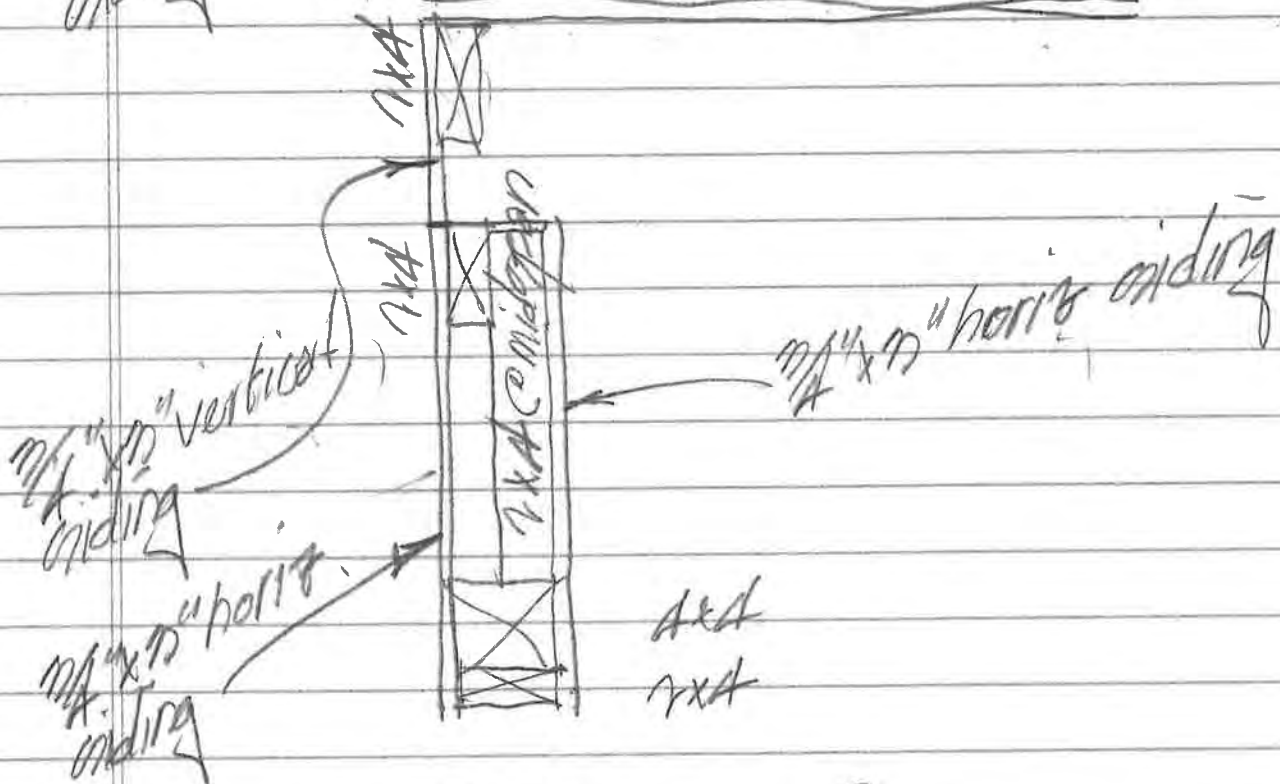
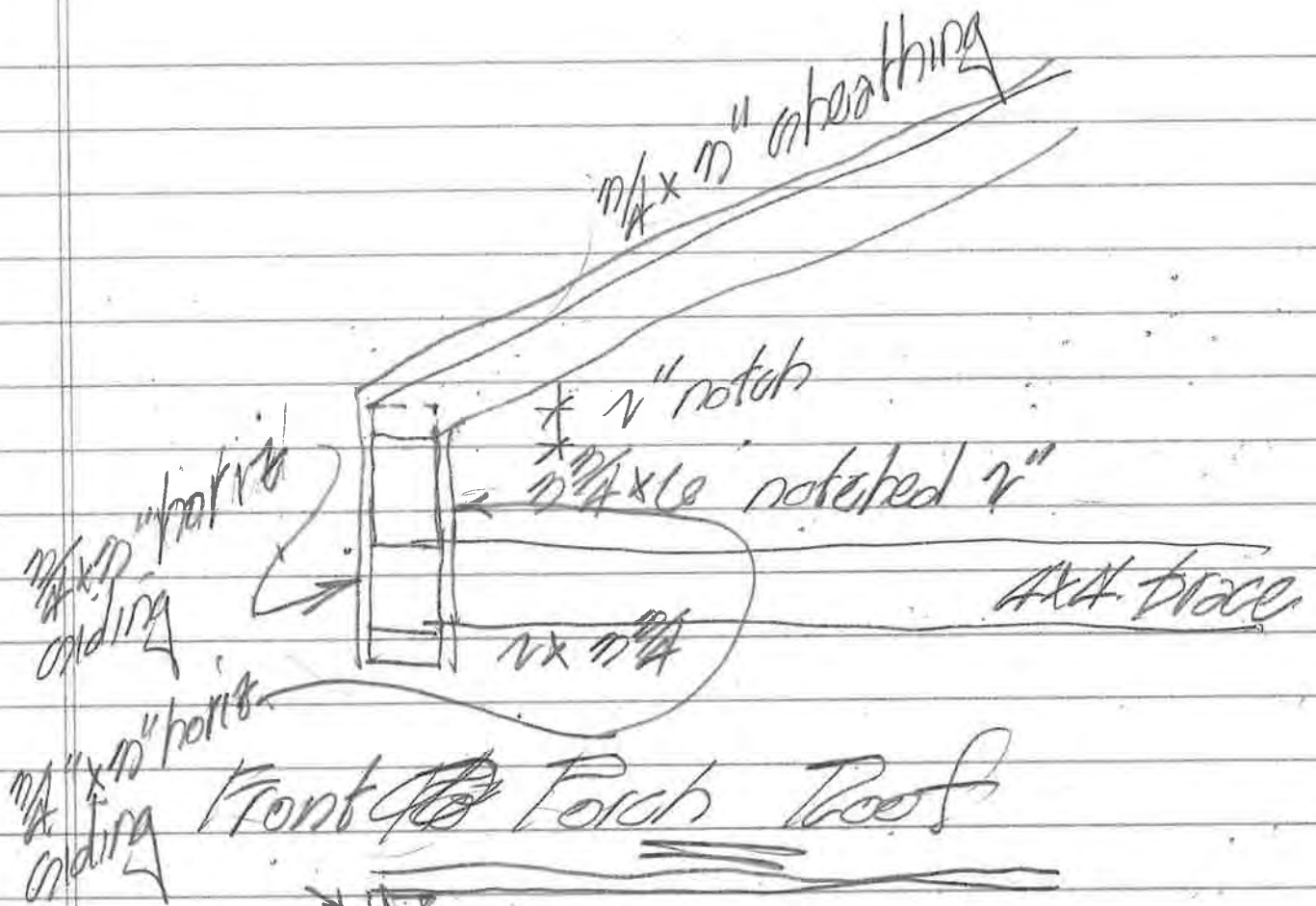
BISHOP HOUSE. SECTION LOOKING NORTH

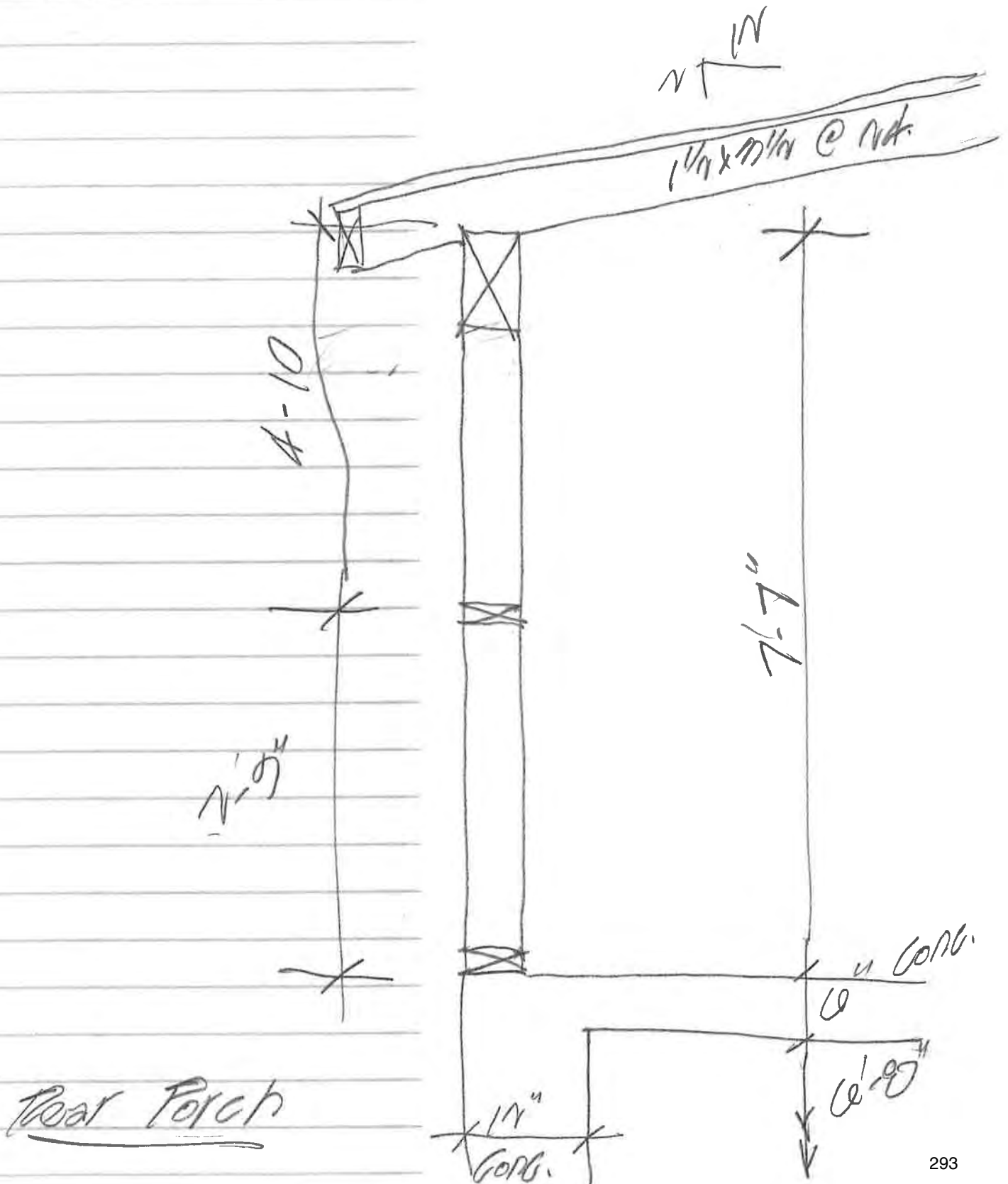
11/4/19

end White Street -

2nd floor wall - $2\frac{1}{2} \times 8$ vertical
T&G siding on $2\frac{1}{2} \times 8$ horizontal
T&G ~~panels~~ on 2×4 studs at window
jamb or 2×4 o.c. max. $1 \times 3\frac{1}{2}$ horizontal
pulleys @ third points

1st floor wall - $2\frac{1}{2} \times 8$ vertical
T&G siding on 2×4 studs at window
jamb or 2×4 o.c. max. - $1 \times 3\frac{1}{2}$ -
horizontal pulleys at third points
 $2\frac{1}{2} \times 8$ horizontal T&G horiz. paneling.





max 100 f
sheathing

max 10" horiz.
sheathing

max 1/2" at
control
points

max 1/4" @
net

max 1/2" @
net

4' 10"

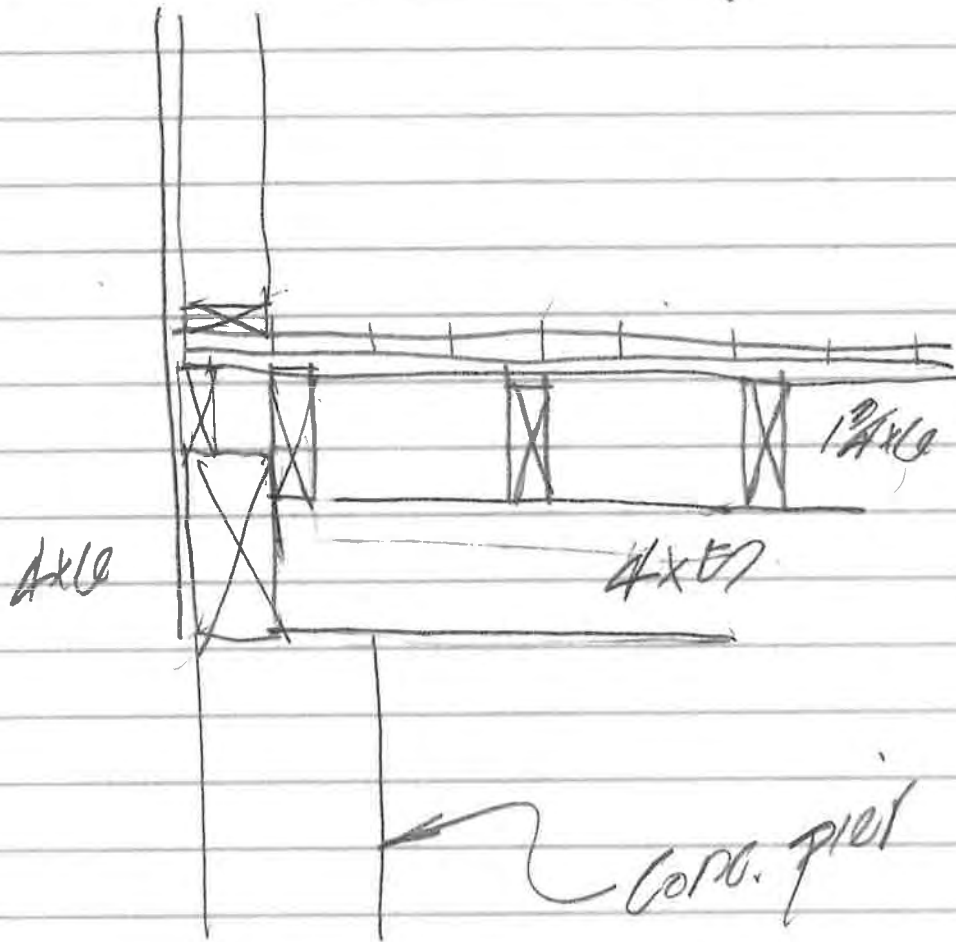
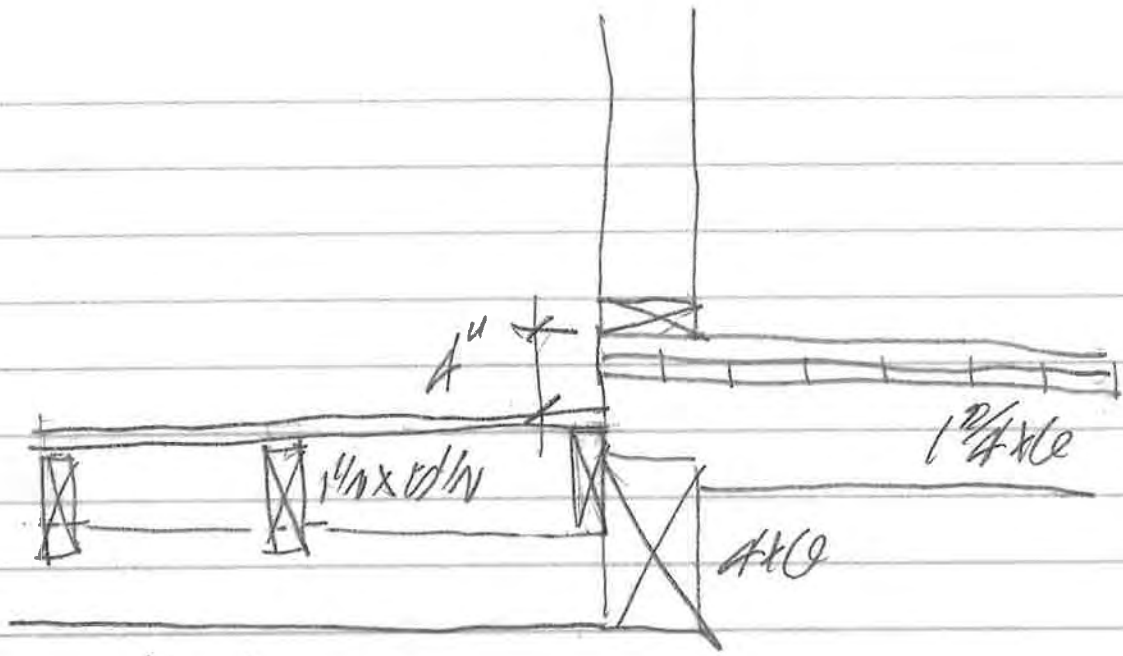
1' 10"

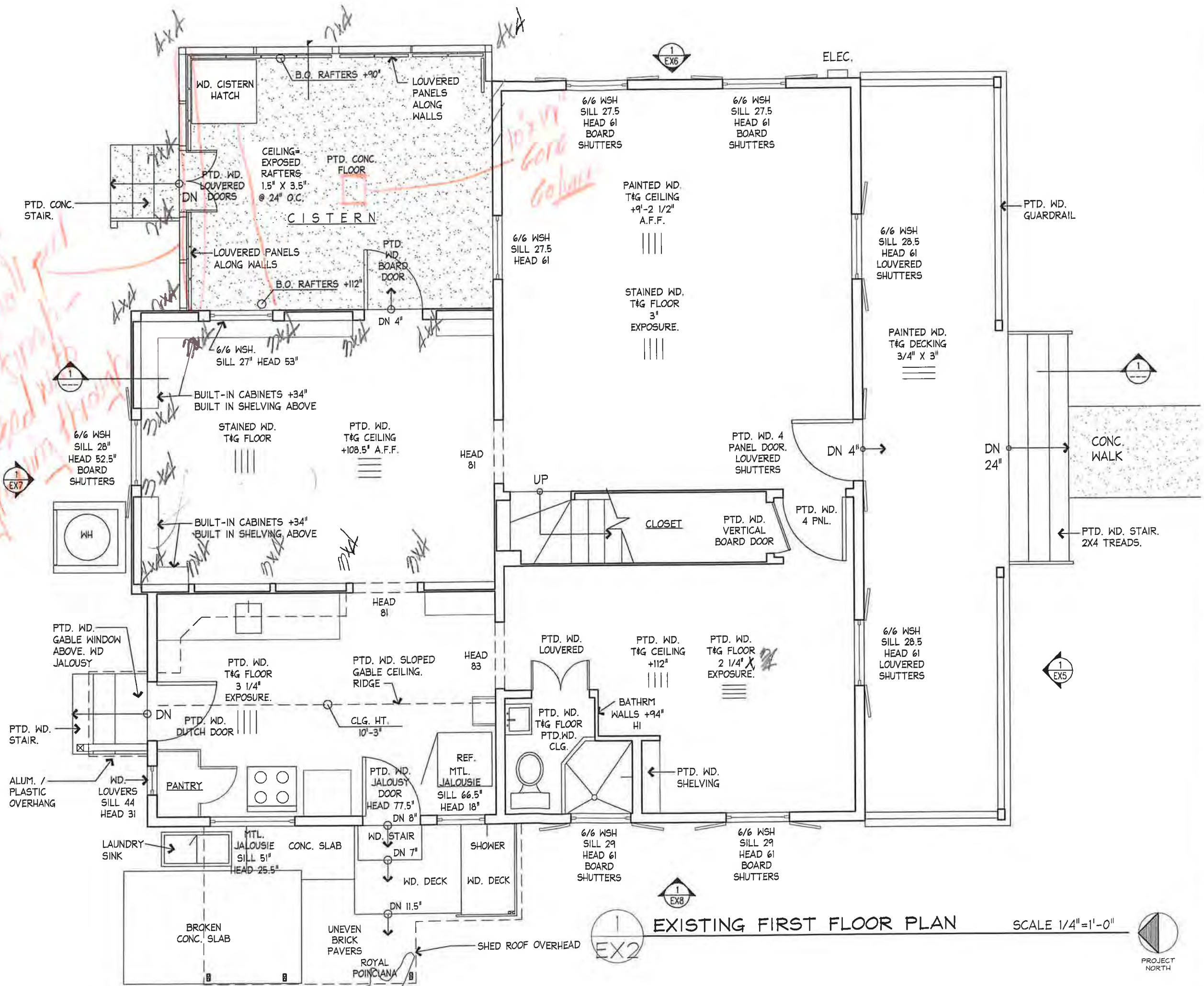
6" Conc.

6' 0"

17" Conc.

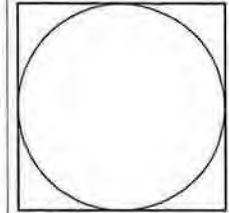
Rear Porch





EXISTING FIRST FLOOR PLAN SCALE 1/4" = 1'-0"

ELIZABETH BISHOP HOUSE
 HISTORIC STRUCTURES REPORT
 624 WHITE STREET - KEY WEST FLORIDA
 KEY WEST LITERARY SEMINAR

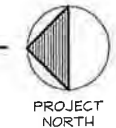


410 Angela Street
 Key West, Florida 33040
 Telephone (305) 296-1347
 Facsimile (305) 296-2727
 Florida License AAC002022

Bender & Associates
 ARCHITECTS
 p.c.

Project No. 1930
 EXISTING FIRST FLOOR PLAN
 Date: 2/20/20

EX2
 296



ELIZABETH BISHOP HOUSE

HISTORIC STRUCTURES REPORT
624 WHITE STREET - KEY WEST FLORIDA
KEY WEST LITERARY SEMINAR

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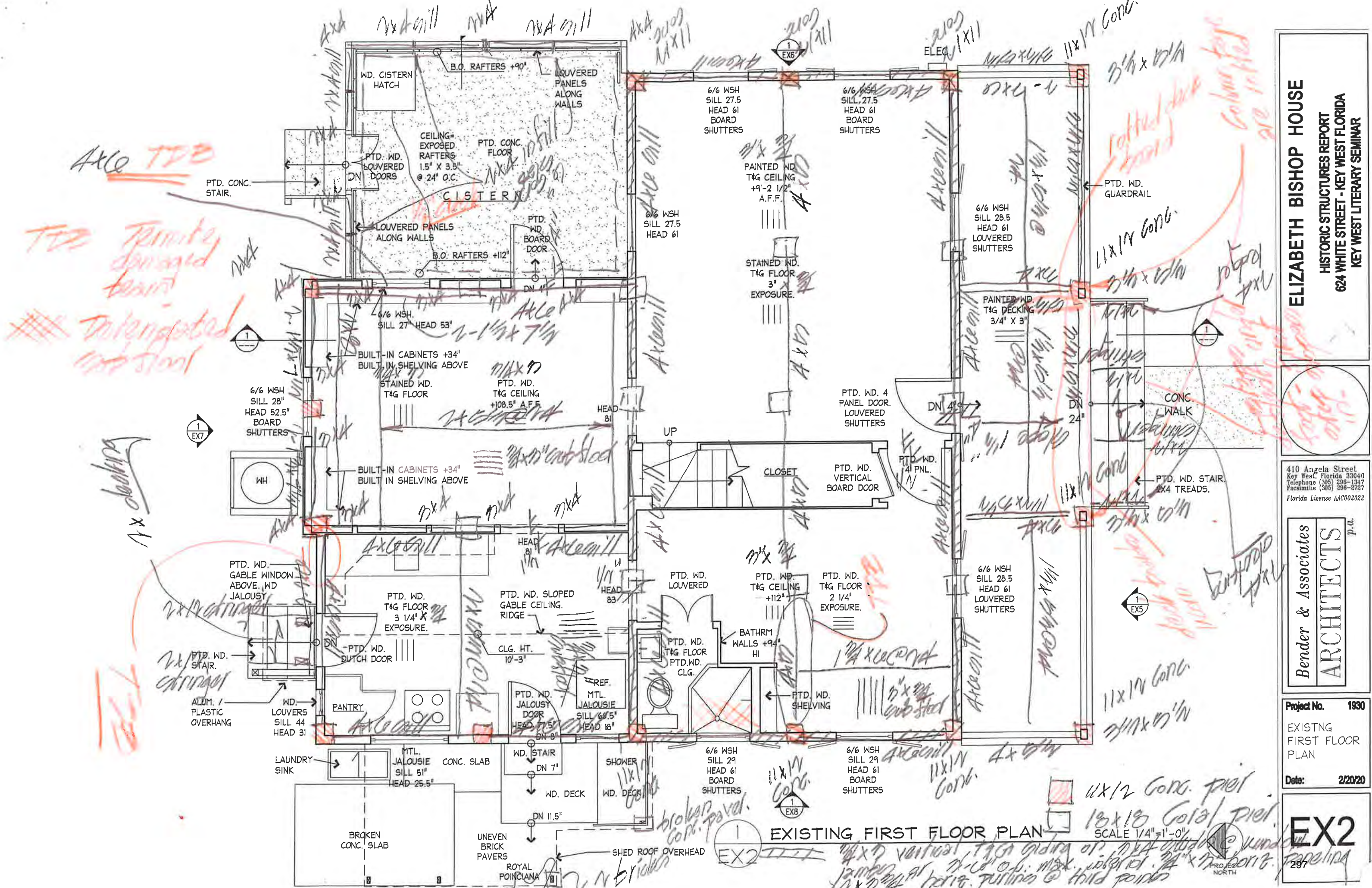
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P.A.

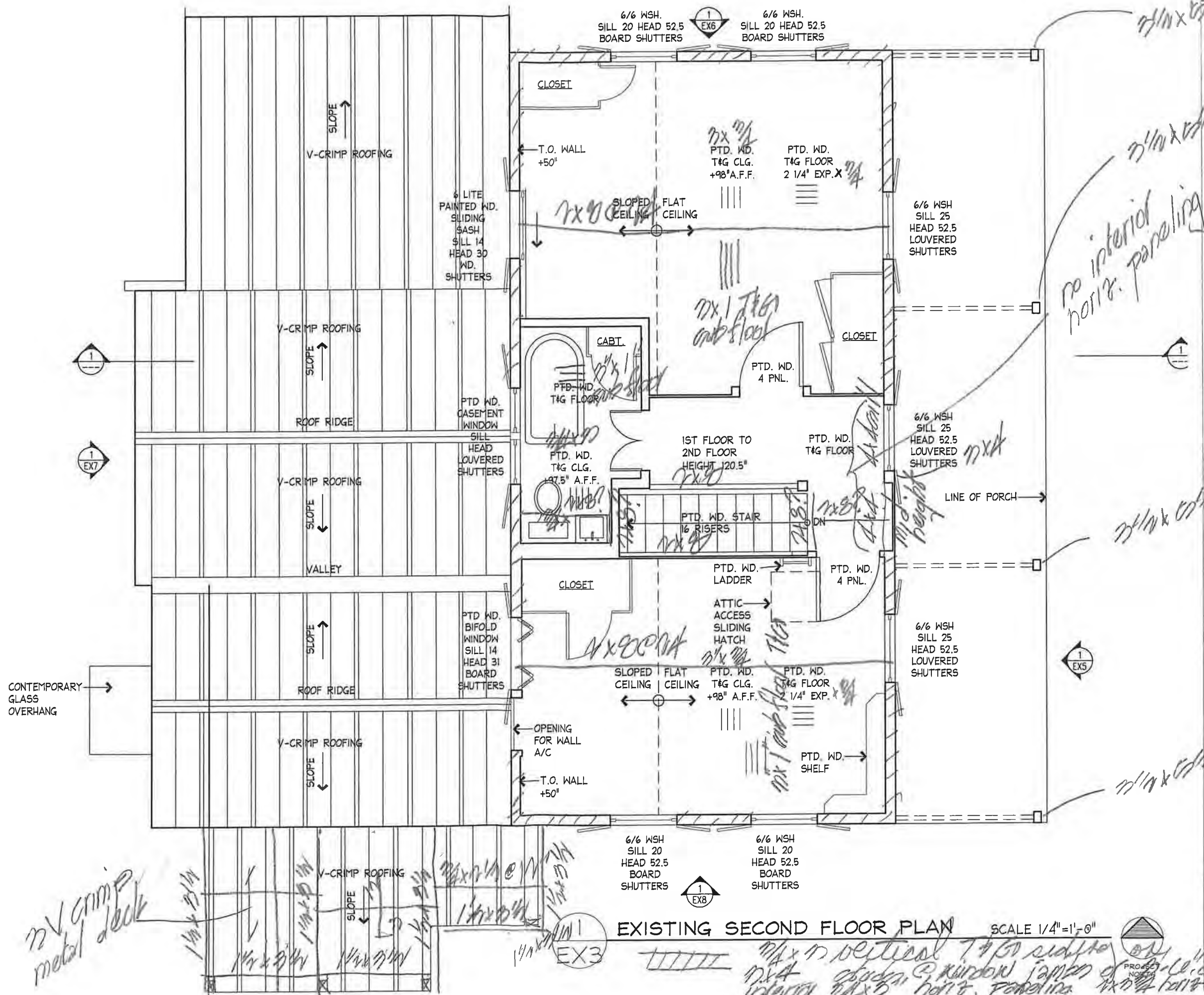
Project No. 1930

EXISTING
FIRST FLOOR
PLAN

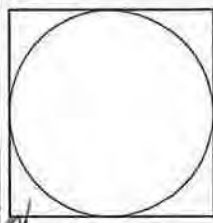
Date: 2/20/20

EX2





ELIZABETH BISHOP HOUSE
 HISTORIC STRUCTURES REPORT
 624 WHITE STREET - KEY WEST FLORIDA
 KEY WEST LITERARY SEMINAR



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Project No. 1930
 EXISTING SECOND FLOOR PLAN
 Date: 2/20/20

EX3
 298

EXISTING SECOND FLOOR PLAN SCALE 1/4"=1'-0"

no V-crimp metal deck

no interior horiz. paneling
no interior paneling
max vertical T&G siding
max 4' stud @ window jamb
interior max 8' horiz. paneling
 PROJECT NO. 1930
 DATE 2/20/20

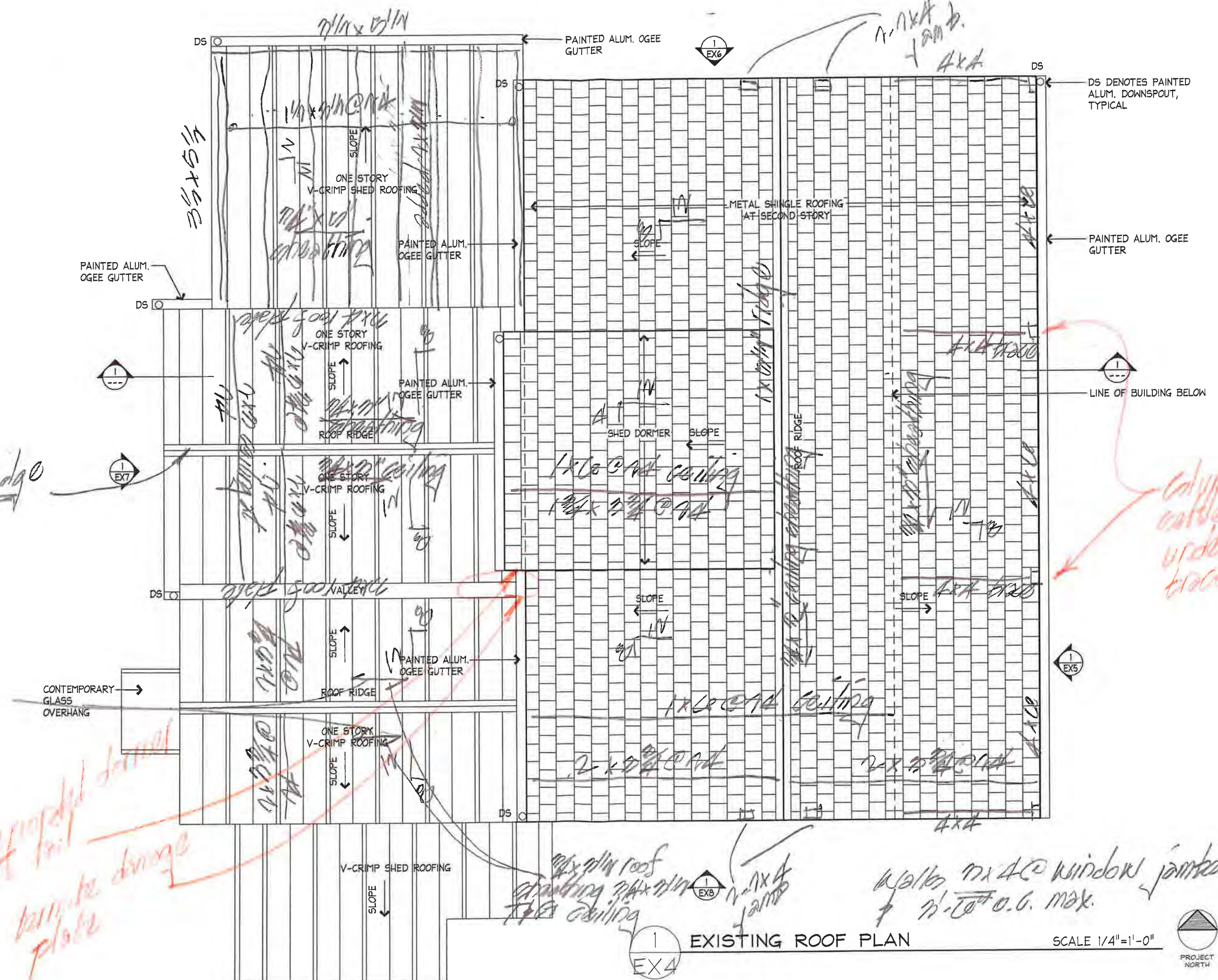
ELIZABETH BISHOP HOUSE
HISTORIC STRUCTURES REPORT
624 WHITE STREET - KEY WEST FLORIDA
KEY WEST LITERARY SEMINAR

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 Key West, Florida 33040
 Telephone (305) 296-1347
 Facsimile (305) 296-2727
 Florida License AAC002022

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Project No. 1930
 EXISTING ROOF PLAN
 Date: 2/20/20

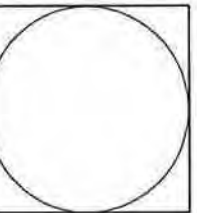
EX4
 299



1 EX4 EXISTING ROOF PLAN

SCALE 1/4"=1'-0"



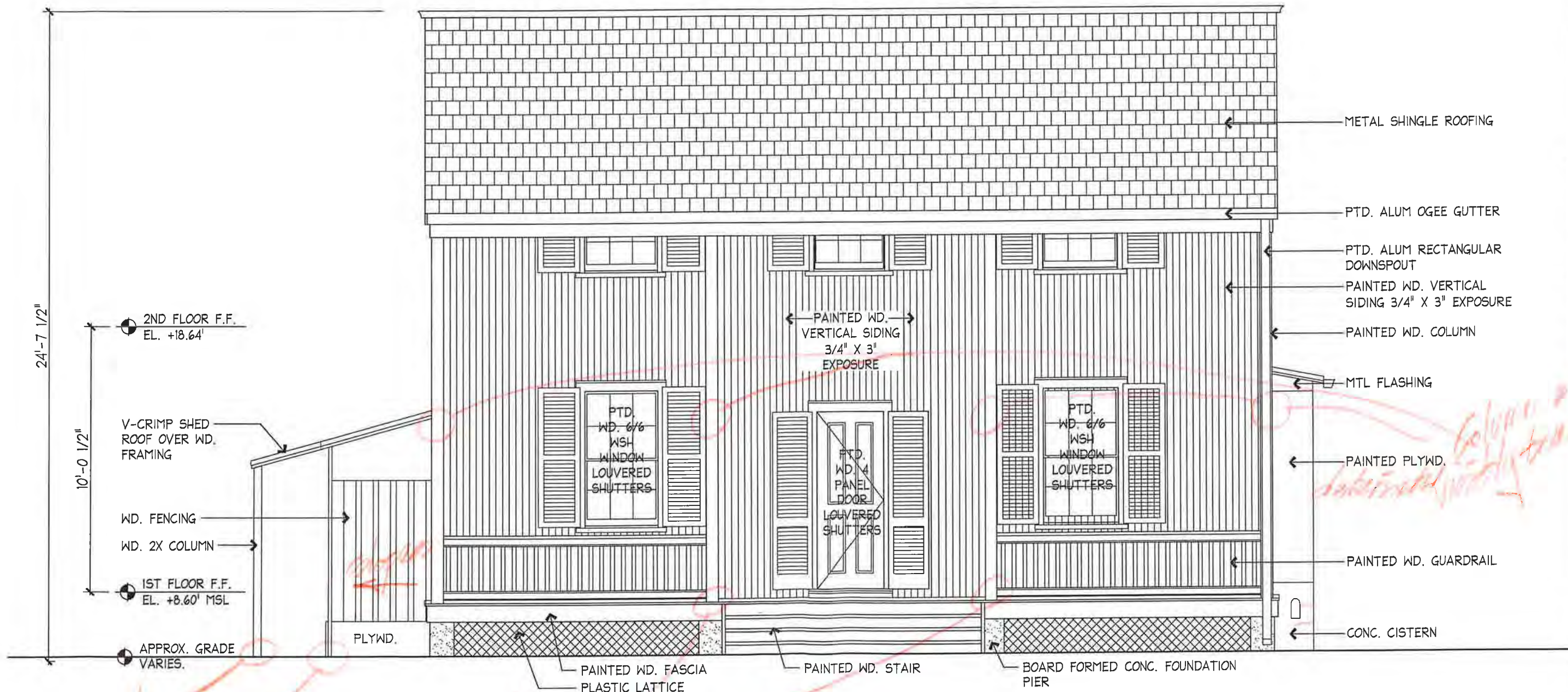


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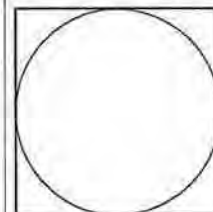
Project No. 1930
 EXISTING
 EXTERIOR
 ELEVATIONS
Date: 2/20/20

EX5
 300



1 EX5
EXISTING EAST (FRONT) EXTERIOR ELEVATION

SCALE 1/4" = 1'-0"

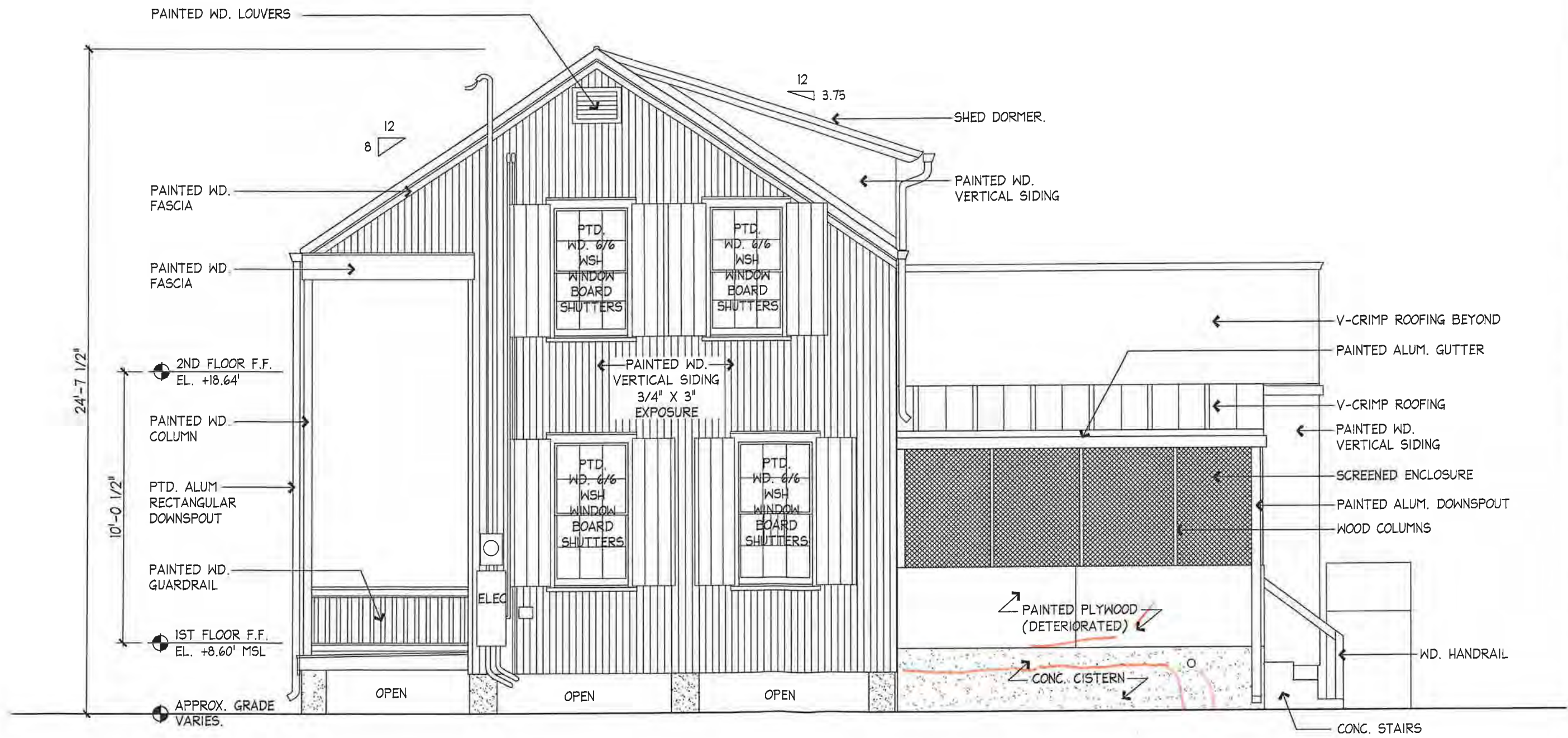


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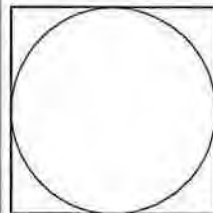
Project No. 1930
 EXISTING EXTERIOR ELEVATIONS
Date: 2/20/20

EX6
 301



1
EX6
EXISTING NORTH EXTERIOR ELEVATION

SCALE 1/4" = 1'-0"

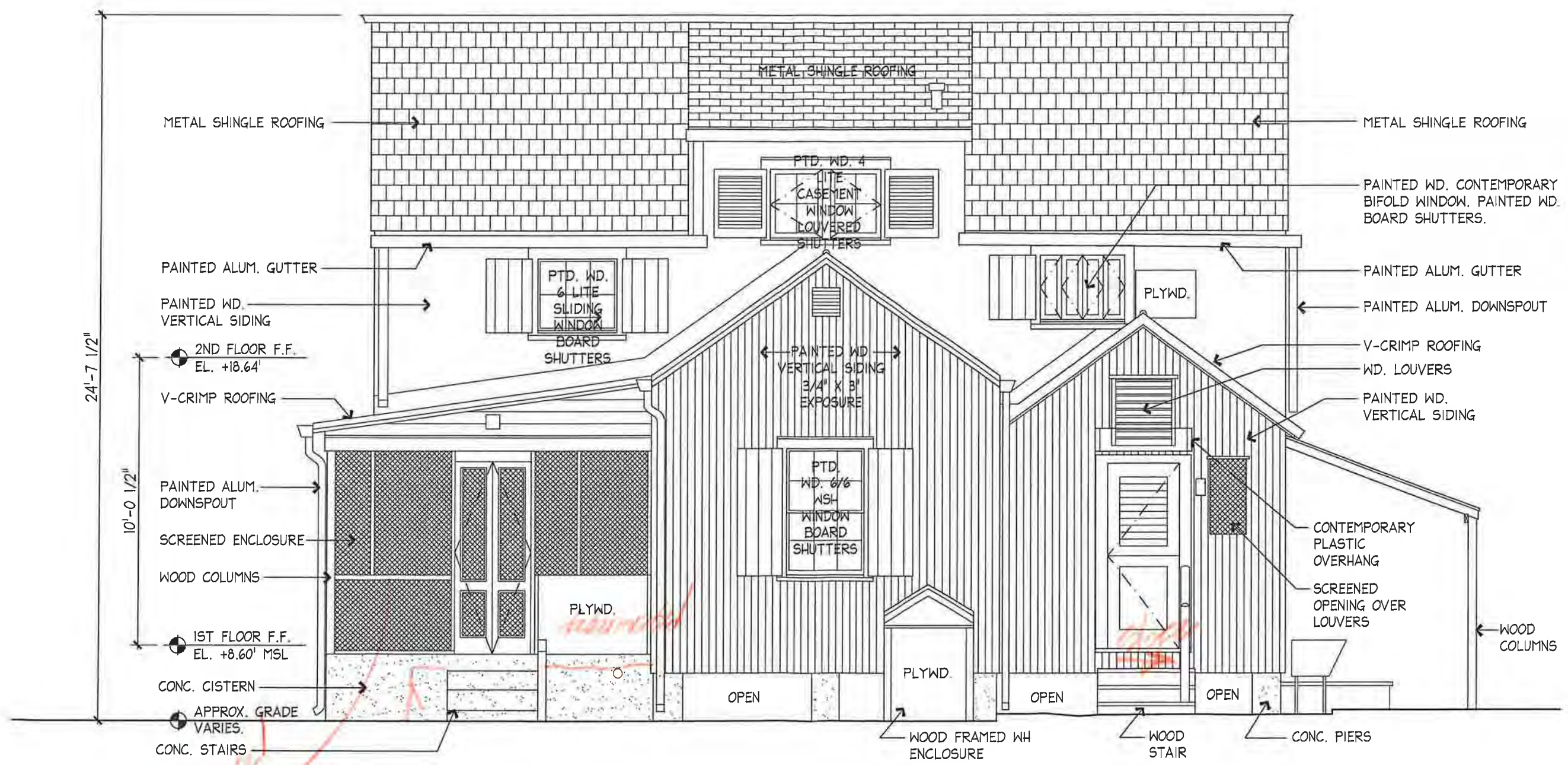


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ARCHITECTS

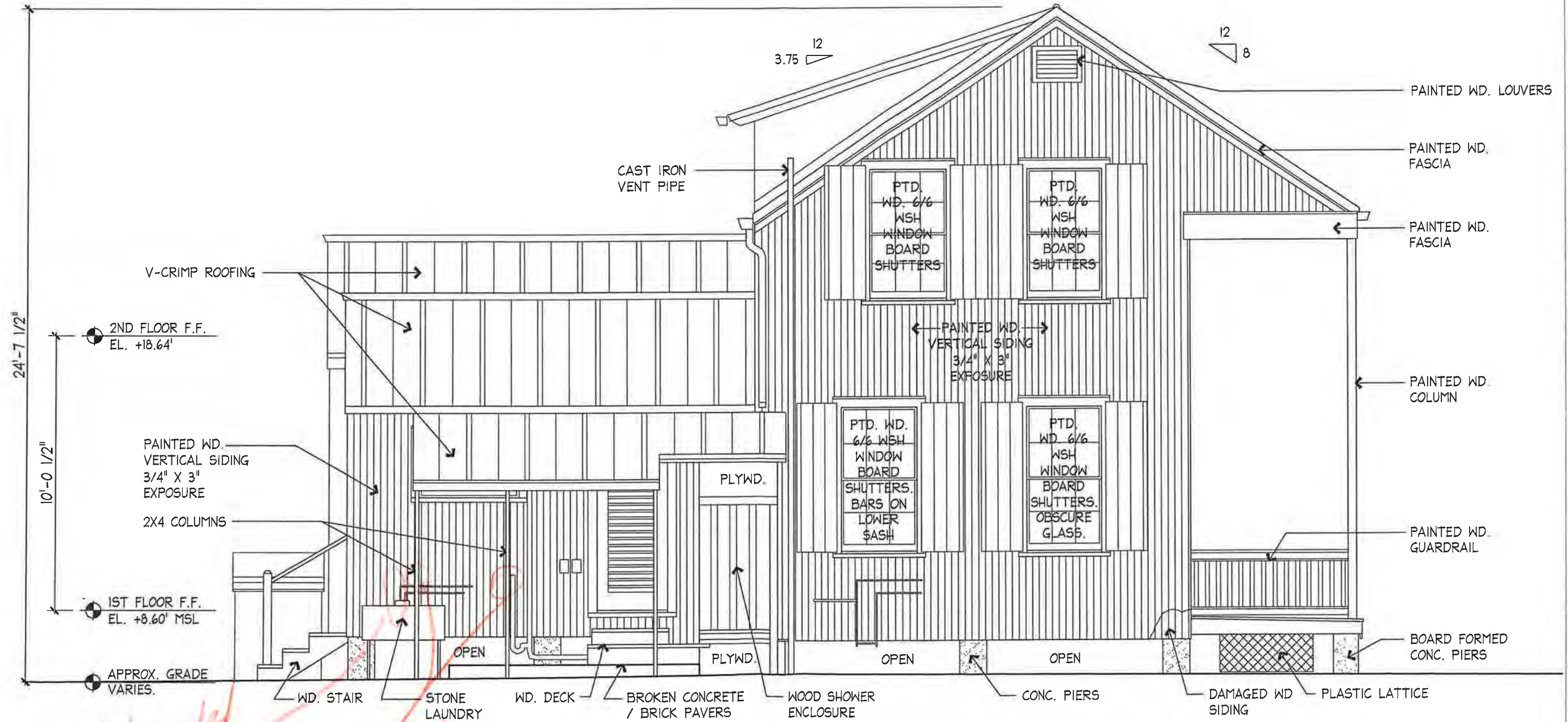
Project No. 1830
 EXISTING
 EXTERIOR
 ELEVATIONS
Date: 2/20/20

EX7
 302



1
EX7
EXISTING WEST (REAR) EXTERIOR ELEVATION

SCALE 1/4"=1'-0"



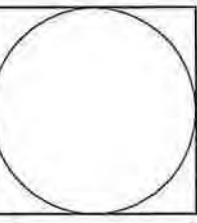
24'-7 1/2"
 10'-0 1/2"
 2ND FLOOR F.F.
 EL. +18.64'
 1ST FLOOR F.F.
 EL. +8.60' MSL
 APPROX. GRADE
 VARIES.

*detached
 main
 columns
 columns*

1
 EX8

EXISTING SOUTH EXTERIOR ELEVATION

SCALE 1/4" = 1'-0"



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ARCHITECTS
 p.c.

Project No. 1930
 EXISTING
 EXTERIOR
 ELEVATIONS
Date: 2/20/20

EX8
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