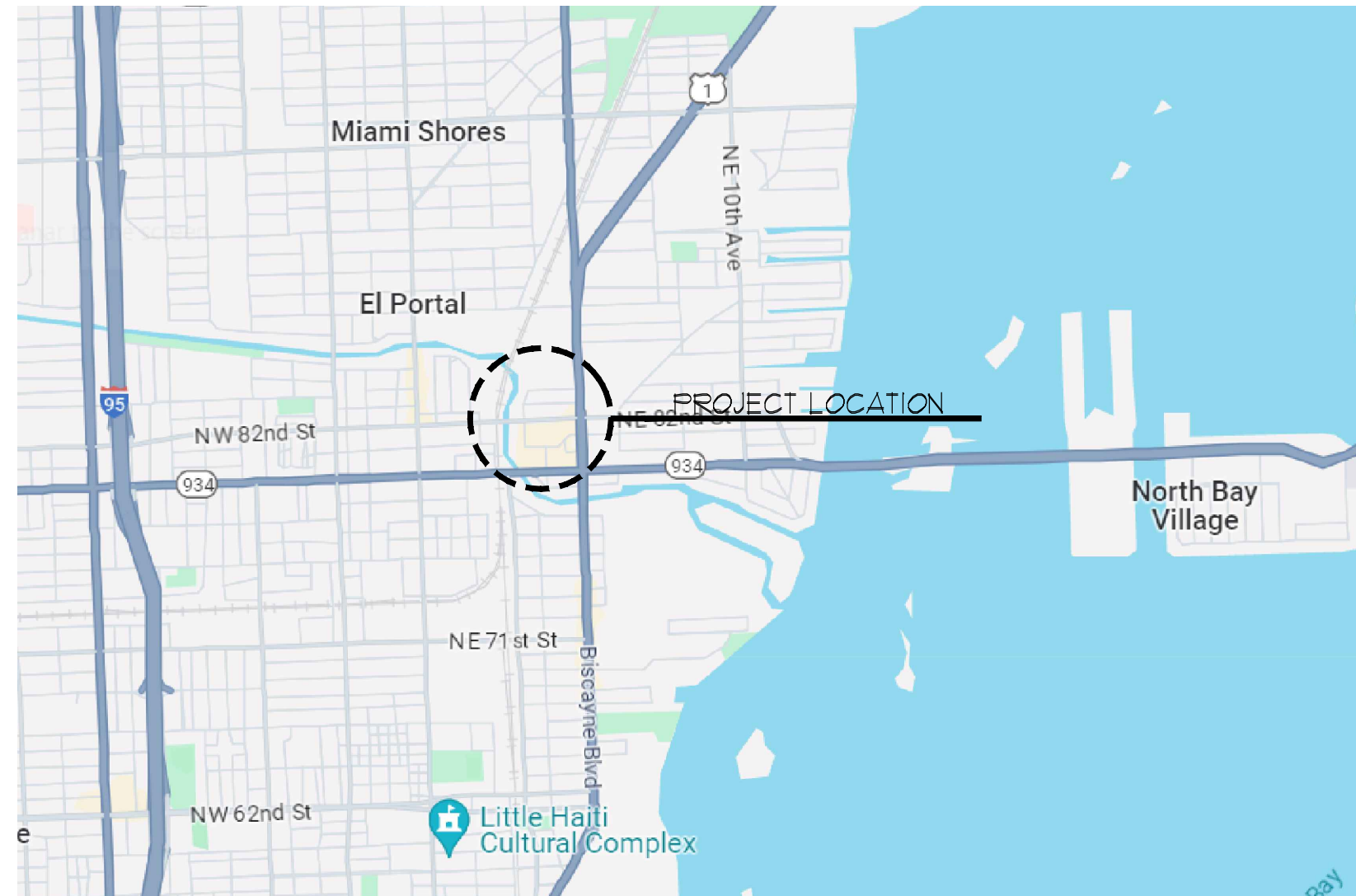


EXISTING OFFICE TO BE LEGALIZED

AT

THE BANK CONDO - UNIT C3
8101 BISCAYNE BOULEVARD
MIAMI, FL 33138



1 VICINITY MAP
A0.00 NTS

LEGAL DESCRIPTION

THE BANK CONDO UNIT C-3 UNDIV 3.360410% INT IN COMMON
ELEMENTS OFF REC 25657-0924

PROPERTY FOLIO #: 01-3207-089-0820

PROJECT DATA

MUNICIPALITY: CITY OF MIAMI
ZONING DISTRICT: T6-8 (Urban Core Zone)
TOTAL ENCLOSED AREA TENANT SPACE: 2,871 S.F.
OCCUPANCY TYPE: 1-A (FBC - 310.5)
CONSTRUCTION TYPE: 1-A SPRINKLERED
SEPARATED MIXED OCCUPANCY

SCOPE OF WORK

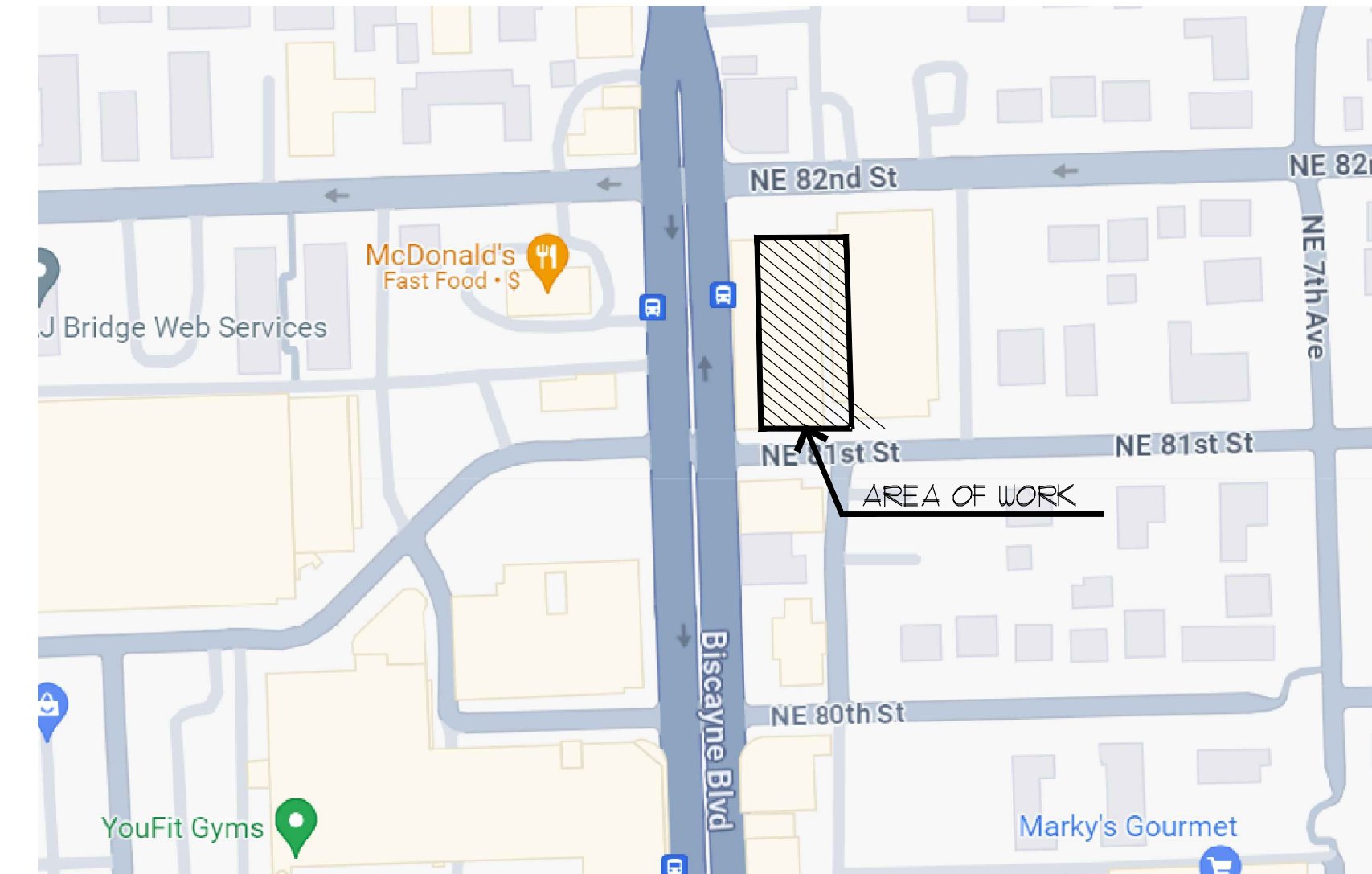
1. LEGALIZATION OF EXISTING GROUND FLOOR TENANT OFFICE SPACE IN EXISTING MULTI-USE BUILDING

NO FIRE RATED PARTITIONS TO BE DISTURBED
THIS IS A FIRE SPRINKLERED BUILDING - EXISTING SYSTEM TO REMAIN

SCOPE OF WORK IN ACCORDANCE WITH

BUILDING: FLORIDA BUILDING CODE, BUILDING (FBC-B) - 8TH EDITION (2023)
FLORIDA BUILDING CODE, EXISTING BUILDING (FBC-EB) - 8TH EDITION (2023)
ENERGY CODE: FLORIDA BUILDING CODE, ENERGY CONSERVATION - 8TH EDITION (2023)
MECHANICAL: FLORIDA BUILDING CODE, MECHANICAL - 8TH EDITION (2023)
PLUMBING: FLORIDA BUILDING CODE, PLUMBING - 8TH EDITION (2023)
ELECTRICAL: FLORIDA BUILDING CODE, ELECTRICAL - 8TH EDITION (2023)
NATIONAL ELECTRICAL CODE (NFPA 70) (2017 EDITION)
FIRE/LIFE SAFETY: FLORIDA FIRE PREVENTION CODE (FFPC) - 7TH EDITION (2020)
FBC 901 AND EXISTING BUILDING CODE 804
BASED ON N.F.P.A. 101 (2018) WITH FLORIDA AMENDMENTS
N.F.P.A. 1 FIRE CODE (2018) WITH FLORIDA AMENDMENTS
ACCESSIBILITY: FLORIDA BUILDING CODE, ACCESSIBILITY - 8TH EDITION (2023)

NOTE: IN ADDITION, ALL WORK TO CONFORM TO APPLICABLE TRADE CODES, LAW & REGULATIONS.



2 LOCATION MAP
A0.00 NTS

GENERAL NOTES

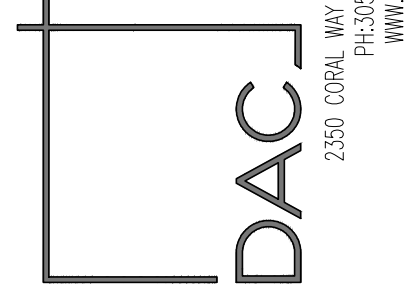
- ALL WORK SHALL BE IN ACCORDANCE WITH THE FBC, 2023 8TH EDITION, 2023 SUPPLEMENTS, AND ANY OTHER APPLICABLE CODES OR ORDINANCES AS WELL AS THE 2020 FLORIDA FIRE PREVENTION CODE (NFPA 101, 2019 EDITION).
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES, ERROR OR OMISSIONS ENCOUNTERED ON PLANS. COMMENCEMENT OF WORK SHALL CONSTITUTE FULL ACCEPTANCE OF SITE CONDITIONS. DO NOT SCALE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER TRADES AND THEIR WORK TO ENSURE COMPLIANCE WITH THE DRAWINGS.
- PERMITS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND FEES (INCLUDING BUILDING PERMIT) REQUIRED TO COMPLETE THE PROJECT AND OBTAIN A CERTIFICATE OF OCCUPANCY.
- QUALIFICATION OF CONTRACTOR: THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE LICENSED BY THE STATE OF FLORIDA, AND BE INSURED.

- PROTECTION: THE CONTRACTOR SHALL PROTECT ADJACENT PARTS OF EXISTING BUILDING FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION, AND BE LIABLE FOR SAME.
- WORKMANSHIP: ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE NEW AND ALL WORKMANSHIP SHALL BE FIRST CLASS FOLLOWING THE MANUFACTURERS SPECIFICATIONS ALONG WITH THE BEST TRADE PRACTICES AND STANDARDS.
- GENERAL CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS AND EQUIPMENT (UNLESS OTHERWISE NOTED) REQUIRED FOR THE COMPLETION OF THE JOB IN ACCORDANCE WITH THESE DRAWINGS.
- CLEAN UP ALL RUBBISH, REFUSE, SCRAP MATERIALS AND DEBRIS CAUSED BY THIS PROJECT AT THE END OF EACH DAY AND INSURE THAT THE SITE OF WORK SHALL PRESENT A NEAT ORDERLY AND WORKMANLIKE APPEARANCE.
- GENERAL CONTRACTOR SHALL PRESENT THE JOB TO THE OWNER FOR ACCEPTANCE. CLEANED AND READY FOR OCCUPANCY, ALL GLASS SHALL BE CLEANED AND POLISHED, FLOORS SWEEP BROOM CLEAN, FIXTURES WASHED AND ALL LABELS REMOVED.

LIST OF DRAWINGS

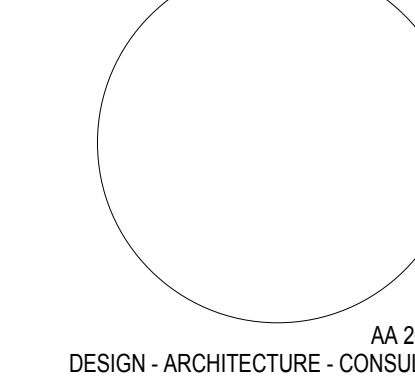
SHEET #	DESCRIPTION	PERMIT	REV 1	REV 2
A0.00	LIST OF DRAWINGS, PROJECT DATA & GENERAL NOTES	X	X	X
A1.01	EXISTING GROUND AND SECOND FLOOR PLANS	X	X	X
A2.01	ADA NOTES & DETAILS		X	X
LS1.01	LIFE SAFETY & OCCUPANT LOAD FOR GROUND & 2nd FLOORS	X	X	X
M-01	MECHANICAL GROUND FLOOR PLAN		X	X
M-02	MECHANICAL SECOND FLOOR PLAN		X	X
M-03	MECHANICAL DETAILS AND NOTES		X	X
E-01	ELECTRICAL POWER GROUND FLOOR PLAN		X	X
E-02	ELECTRICAL POWER SECOND FLOOR PLAN		X	X
E-03	ELECTRICAL LIGHTING GROUND FLOOR PLAN		X	X
E-04	ELECTRICAL LIGHTING SECOND FLOOR PLAN		X	X
E-05	ELECTRICAL RISER, NOTES AND PANEL SCHEDULES		X	X
FA-01	FIRE ALARM GROUND FLOOR PLAN		X	X
FP-01	FIRE PROTECTION GROUND FLOOR PLAN		X	X
FP-02	FIRE PROTECTION SECOND FLOOR PLAN		X	X
P-01	PLUMBING SANITARY GROUND FLOOR PLAN		X	X
P-02	PLUMBING WATER GROUND FLOOR PLAN		X	X
P-03	PLUMBING DETAILS AND NOTES		X	X

DESIGN + ARCHITECTURE CONSULTANTS



DAC 2024
ALL RIGHTS RESERVED

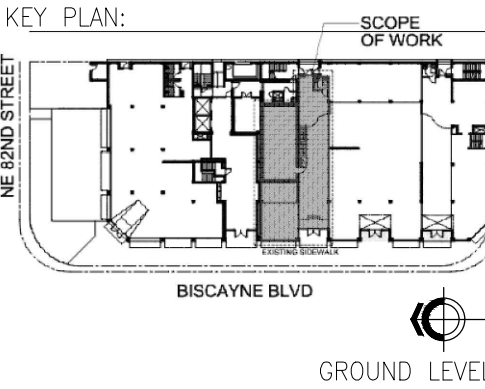
SEAL:



TO THE BEST OF MY KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND FIRE-SAFETY STANDARDS AS DETERMINED BY THE CITY OF MIAMI IN ACCORDANCE WITH 2023 FBC SECTION 110.8.4.4 AND CHAPTER 633 OF THE FLORIDA STATUTES.

EXISTING OFFICE TO BE LEGALIZED

THE BANK CONDO-UNIT C3
8101 BISCAYNE BOULEVARD
MIAMI, FL 33138



ISSUE RECORD:

02-26-24 PERMIT SET

REVISIONS:

No.	Date	Description
1	1/1/24	RESPONSE TO PERMIT COMMENTS
2	8/1/24	RESPONSE TO PERMIT COMMENTS

Comm. No. 0003_2407-01
Scale:
Drawn:
Checked:
CADD File:

SHEET TITLE LIST OF DWGS., UNIT DATA & GEN. NOTES

SHEET No.
A0.00